

**NORTHERN BEACHES**  
BASED ON  
WARRINGAH DCP 2011

<b>SITE AREA:</b>	685.8 SQM
<b>PROPOSED ROOF COVERAGE</b>	
ROOF COVERAGE AREA:	259.95 SQM
<b>LANDSCAPED AREA</b>	
TOTAL LANDSCAPED AREA:	401.87 SQM
EXCL. ALL HARD SURFACES, MINIMUM DIMENSION OF 2M	58.6 %
MIN. REQUIRED BY COUNCIL:	40 %

<b>STORMWATER CALCULATION</b>	
HARD LANDSCAPE AREAS (INCL. ROOF/DRIVEWAY/PATHS ETC)	302.88 SQM
SITE COVERAGE RATIO:	44.16 %
MAX. ALLOWABLE SITE COVERAGE PRIOR TO O.S.D. REQUIRED:	40 %
<b>PRIVATE OPEN SPACE</b>	
PRIVATE OPEN SPACE:	60 SQM
MIN. REQUIRED BY COUNCIL: MINIMUM DIMENSION OF 5M	60 SQM

<b>BUILDING ENVELOPE</b>	
PROVIDE 45 DEGREE PLANE PROJECTED AT 50M HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL.	
<b>BUILDING HEIGHT RESTRICTION</b>	
MAXIMUM 8.5M RIDGE HEIGHT MAXIMUM 7.2M CEILING HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)	

<b>MAXIMUM 1000 MM CUT</b>	
<b>MAXIMUM 1000MM FILL</b>	
DEEP EDGE BEAM TO NATURAL GROUND NO EXPOSED FILL PERMITTED	

<b>DEMOLITION REQUIREMENTS</b>	
SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELLED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L.	

<b>BUILDING ADJACENT SEWER</b>	
SEWER PEGOUT AND DETAILS REQUIRED	

**SURVEYORS NOTES**

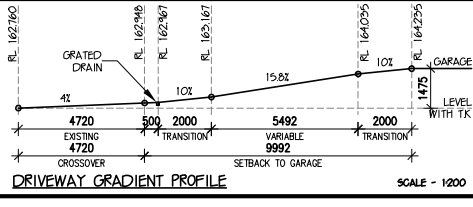
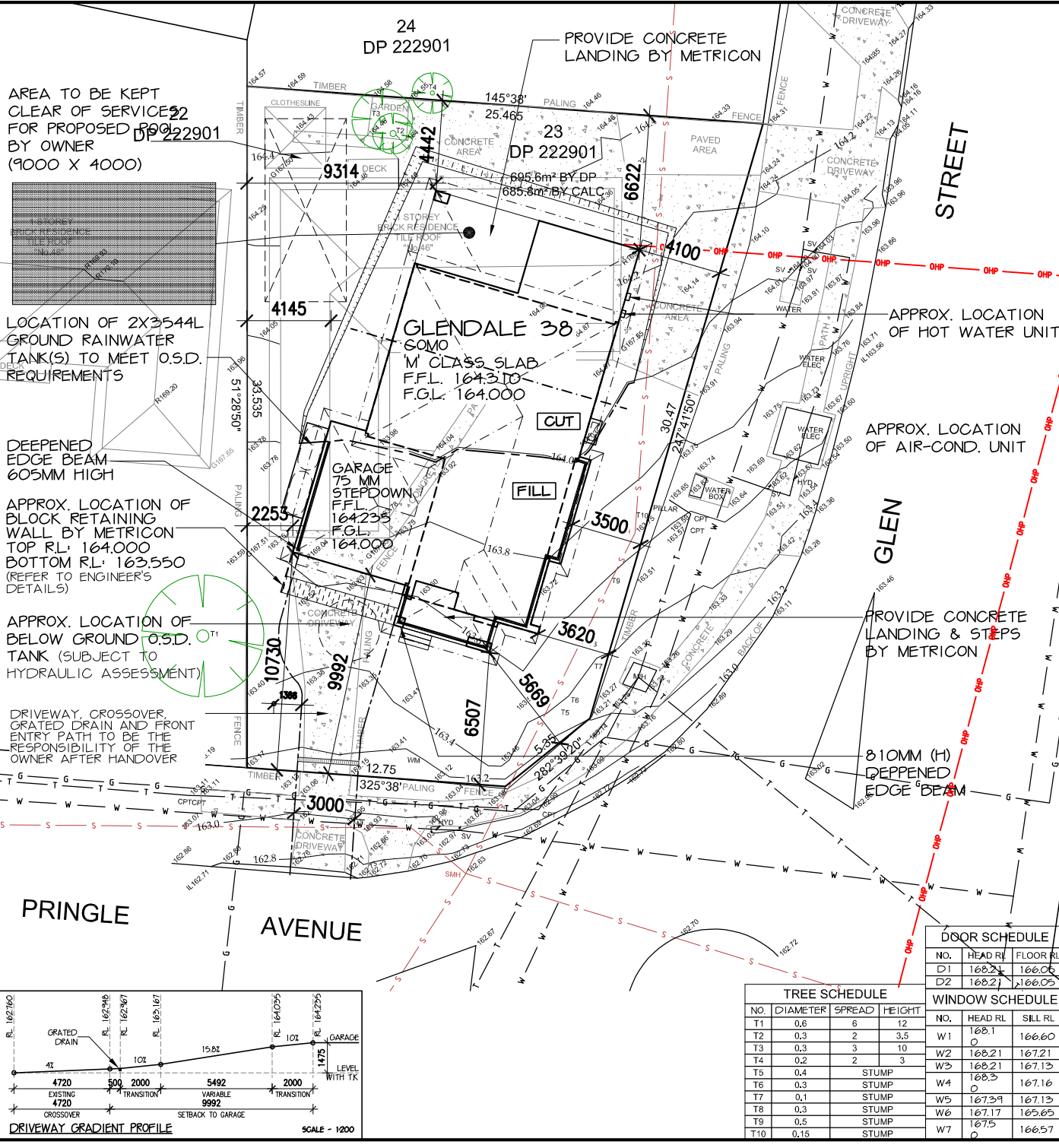
A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.

B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

<b>DRAWINGS AMENDMENTS</b>	
C 04.02.20 RESITE	S2H
- - - - -	- - -
- - - - -	- - -



**TREE SCHEDULE**

NO.	DIAMETER	SPREAD	HEIGHT
T1	0.6	6	12
T2	0.3	2	3.5
T3	0.3	3	10
T4	0.2	2	3
T5	0.4		STUMP
T6	0.3		STUMP
T7	0.1		STUMP
T8	0.3		STUMP
T9	0.5		STUMP
T10	0.15		STUMP

**DOOR SCHEDULE**

NO.	HEAD RL	FLOOR RL
D1	168.24	166.06
D2	168.21	166.05

**WINDOW SCHEDULE**

NO.	HEAD RL	SILL RL
W1	168.1	166.60
W2	168.21	167.21
W3	168.21	167.13
W4	168.3	167.16
W5	167.39	167.13
W6	167.17	165.65
W7	167.5	166.57

LOT NO:	23
DEPOSITED PLAN:	222901
COUNCIL / LG:	NORTHERN BEACHES
SLAB CLASS:	M
WIND SPEED:	N2

**EXCAVATION NOTES:**  
50MM (+/-) TOLERANCE TO NOMINATED RL'S

EXCAVATE APPROX. 400MM ON RL 164.000 AND RETAIN FILL WITH DEEP EDGE BEAM

EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT

IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY

**IMPORTANT NOTES:**  
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD

**STORMWATER TO DRAIN TO STREET VIA ON-SITE DETENTION AND RAINWATER TANK(S)**  
REFER TO HYDRAULIC ENGINEER'S DETAILS

**TEMPORARY SITE FENCING:**  
METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)

**ALL WEATHER ACCESS:**  
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

**SURVEY LEGEND**

[Symbol] GULLY PIT	[Symbol] SEWER LINE
[Symbol] HYD HYDRANT	[Symbol] VEHICLE CROSSING
[Symbol] SIP SURFACE INLET PIT	[Symbol] STOP WALL
[Symbol] SIC SEWER INSPECTION COVER	[Symbol] DEEP EDGE BEAM
[Symbol] SMH SEWER MANHOLE	[Symbol] GAS METER
[Symbol] WM WATER METER	[Symbol] LIGHT POLE
[Symbol] E ELECTRICITY BOX	[Symbol] INV INVERT
[Symbol] SMH STORMWATER MANHOLE	[Symbol] TK TOP OF KERB
[Symbol] TP TELSTRA PIT	[Symbol] KO KERB OUTLET

INTRAX SURVEY DATE: 22.01.20  
CONTOUR INTERVALS: 200MM  
LEVELS TO: AFD

**SITE PLAN**

**m metricon**

Build E Level 4 32 Levington Dr, Baulkham Hills NSW 2563  
P.O. Box 7510, Norwest Business Park NSW 2163  
Tel: 02 8887 9000 Fax: 02 8079 6901  
Contractor Licence No: 174 699  
A.C.N. 005 108 752 www.metricon.com.au

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**MRS IGNACIO**  
LOT 23 (NO. 46) PRINGLE AVENUE  
**BELROSE**

JOB No. 706658

DATE 06.11.19 DRAWN PG  
SCALE: 1:200 SHEET: 1 OF 11  
UBD REF: SYD 156 E13

**IMPORTANT NOTE:**  
REFER TO FACADE DETAIL  
REF. NO. 5-TYP-COMO-01

PROVIDE RENDERED EPS CLADDING  
TO FIRST FLOOR ELEVATIONS  
(UNLESS NOTED OTHERWISE)  
REFER TO DETAIL: 5-TYP-CLAD-06

PROVIDE SELECTED FACE BRICKWORK  
TO ALL ELEVATIONS  
(UNLESS NOTED OTHERWISE)

135X125MM LOSP MERBAU POST PARTLY  
ENCASSED IN BRICK PIER (REFER DETAIL)  
NOTE: EAVE WIDTH TAKEN  
FROM STUD FRAME

NOTE: EAVE WIDTH TAKEN  
FROM BALCONY BEAM

135X18 V-JOINT MERBAU  
LINING BOARDS TO BALCONY  
BEAM (REFER TO ENGINEERING)  
ALUMIN. SLIDING  
DOOR W/- DECAL  
TO BED 1

NOTE: EAVE WIDTH TAKEN  
FROM BALCONY BEAM

NOTE: EAVE WIDTH TAKEN  
FROM BALCONY BEAM

DENOTES WINDOWS/DOORS WITH 4MM  
OBSCURE DECOR SATIN GLAZING

DENOTES WINDOWS/DOORS WITH  
TRANSLUCENT GLAZING

**SYMBOL LEGEND**

- RECESSED ELECTRICITY METER BOX
- ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
- DOWNSPIPE W/- RAINWATER HEAD
- ROTATING ROOF VENTILATOR

TIMBER FRAMED BALCONY WITH  
VERTICAL BATTENS & 135X18  
V-JOINT MERBAU LINING  
BOARDS (REFER DETAIL)

ROOF TILES AT  
225 DEG. PITCH

2655 (GAR. OVER PLATES)  
2625 (GAR. FLR. CEIL.)  
2150 (GAR. OPENING)

NOTE: GARAGE  
STEPDOWN

RETAINING WALL  
BY METRICON

DOUBLE COLORBOND  
SECTIONAL OVERHEAD DOOR

470 X 470MM  
BRICK PIER

TIMBER FRONT  
ENTRY DOOR FRAME  
W/ TRANSLUCENT  
GLAZING

DEPPENED  
EDGE BEAM  
1190 X 470MM  
BRICK PIER

F.F.C.L. R.L. 169.850

F.F.F.L. R.L. 167.270

G.F.C.L. R.L. 166.890

G.F.F.L. R.L. 164.310

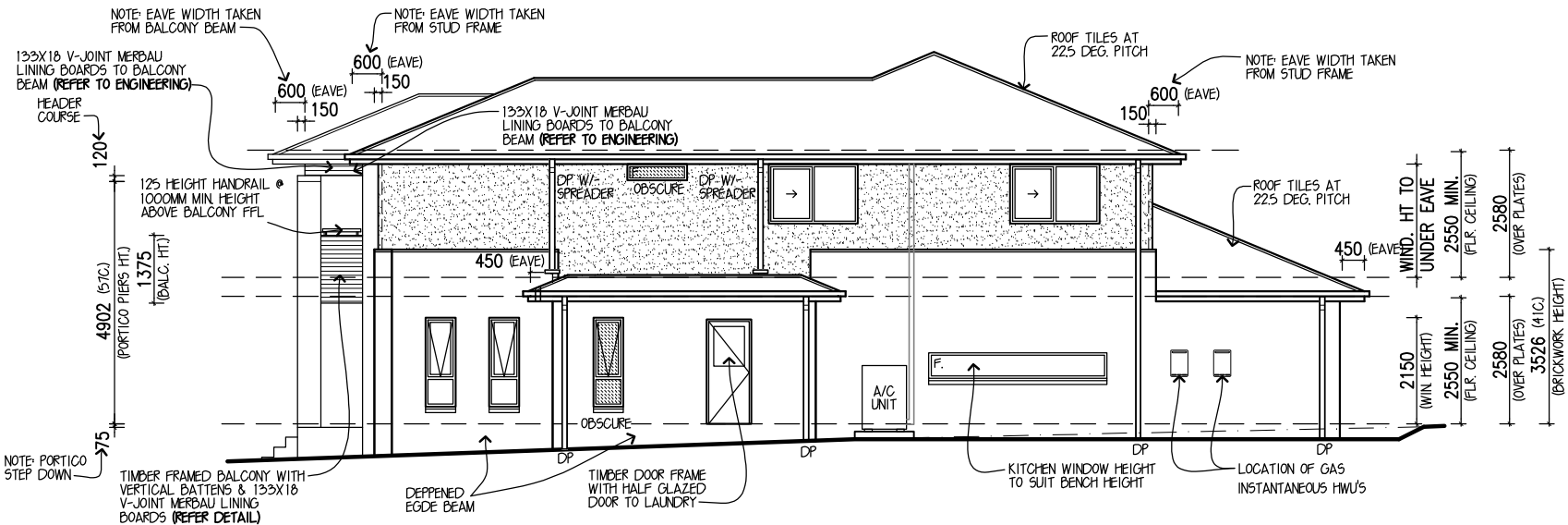
WIND. HT. TO  
UNDER EAVE  
120  
2550 MIN. (FLR. CEILING)  
2580 (OVER PLATES)  
3526 (41C.) (BRICKWORK HEIGHT)

4902 (57C.) (PORTICO PIERS FT.)  
120 (BALC. FT.)  
2550 MIN. (FLR. CEILING)  
2580 (OVER PLATES)  
3526 (41C.) (BRICKWORK HEIGHT)

75 (WIN HEIGHT)  
2322 (27C.)  
75 (PORTICO STEPDOWN)

NOTE: PORTICO  
STEPDOWN

**ELEVATION A (WEST)**



**ELEVATION B (SOUTH)**

DESIGN: **GLENDALE 38**  
FACADE: **COMO** CEILING: 25, L  
GARAGE: **DOUBLE** LOCATION: **F**

**ELEVATIONS**

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BY METRICON  
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OWNER: **MRS IGNACIO**  
**LOT 23 (NO.46) PRINGLE AVENUE**  
**BELROSE**

JOB No: <b>706658</b>	DATE: <b>06.11.2019</b>
FC DATE: <b>DD.MM.YYYY</b>	MST VER: <b>10.04.2018</b>
SCALE: <b>1:100 ON A3 SHEET</b>	REVISION: <b>D</b>
DRAWN: <b>PG</b>	CHECK: <b>NMU</b> SHEET: <b>4 of 11</b>

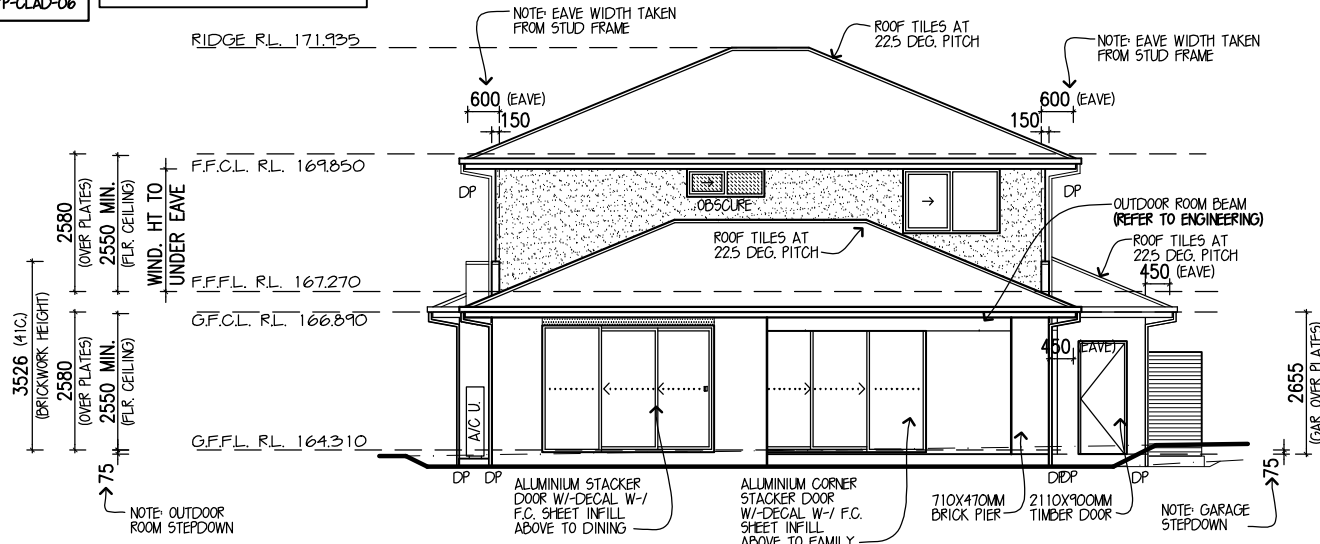
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PROVIDE SELECTED FACE BRICKWORK TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)

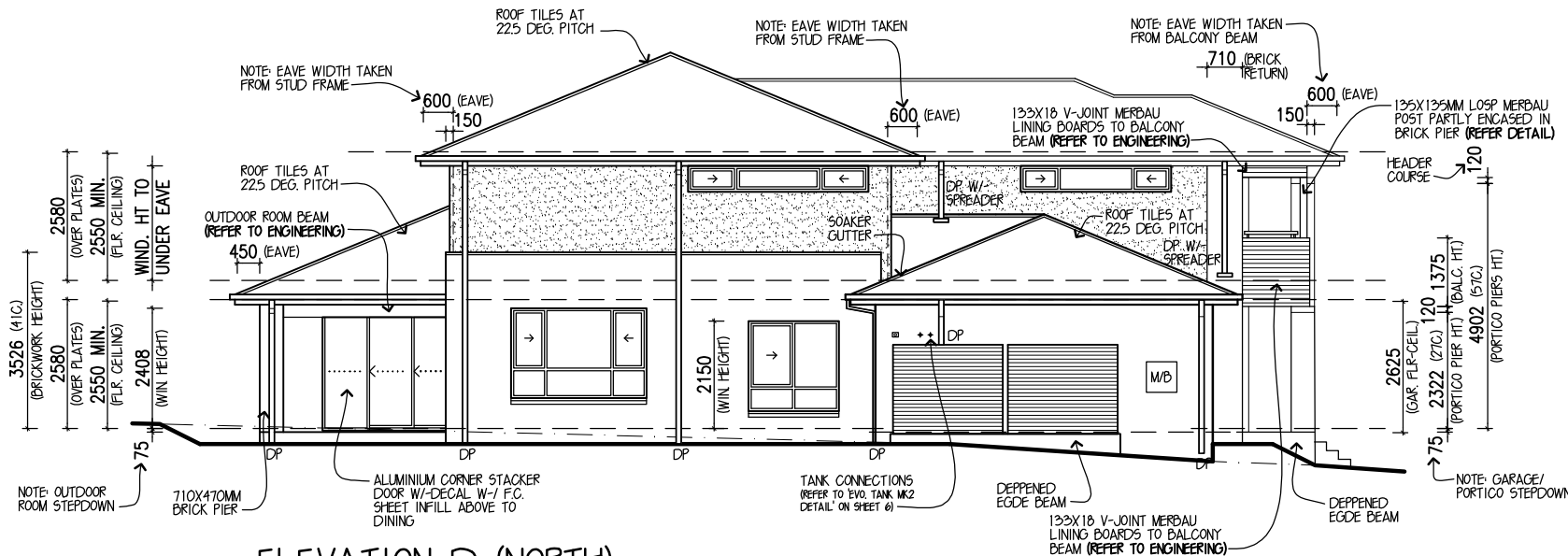
▨ DENOTES WINDOWS/DOORS WITH 4MM OBSCURE DECOR SATIN GLAZING

**SYMBOL LEGEND**

- M/B RECESSED ELECTRICITY METER BOX
- ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
- DOWNPIPE W/- RAINWATER HEAD
- ROTATING ROOF VENTILATOR



ELEVATION C (EAST)



ELEVATION D (NORTH)

DESIGN: **GLENDALE 38**  
 FACADE: **COMO** CEILING: 25, L  
 GARAGE: **DOUBLE** LOCATION: F

**ELEVATIONS**

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