

SITE CALCULATIONS

SITE AREA	870 SM
SITE ZONING	E4 Environmental Living
LOCAL GOVERNMENT AREA	PITTWATER
PRESENT GROUND FLOOR	203.88 SM
GROUND FLOOR AT COMPLETION	124.7 SM
PROPOSED GROUND FLOOR ADDITION	96 SM
PROPOSED FIRST FLOOR ADDITION	80 SM
TOTAL FLOOR AREA AT COMPLETION	300.7 SM
PROPOSED FSR	0.345:1
PRESENT SITE COVER	36% (312.48 SM)
PROPOSED SITE COVER	40.6% (353.7 SM)
REQUIRED LANDSCAPE AREA	60%
LANDSCAPE AREA AVAILABLE	58.6%

DRAWING SCHEDULE

2480 DA 00	COVER SHEET & BASIX COMMITMENTS
2480 DA 01	SITE ANALYSIS
2480 DA 02	SITE PLAN
2480 DA 03	EXISTING GROUND FLOOR PLAN
2480 DA 04	PROPOSED GROUND FLOOR PLAN
2480 DA 05	PROPOSED FIRST FLOOR PLAN
2480 DA 06	ROOF PLAN
2480 DA 07	ELEVATIONS
2480 DA 08	ELEVATIONS
2480 DA 09	SECTIONS
2480 DA 10	GARAGE & LOFT DETAILS
2480 DA 11	AREA CALCULATIONS
2480 DA 12	EQUINOX SHADOW DIAGRAMS
2480 DA 13	SHADOW DIAGRAMS JUNE 21st 9.00AM
2480 DA 14	SHADOW DIAGRAMS JUNE 21st MIDDAY
2480 DA 15	SHADOW DIAGRAMS JUNE 21st 3.00PM
2480 DA 16	CONSTRUCTION MANAGEMENT PLAN

BASIX COMMITMENTS

The applicant must install the windows, glazed doors & shading devices in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window & glazed door. The dwelling may have 1 skylight(<0.7sm) and up to 2 windows/glazed doors(<0.7sm) which are not listed in the table. The following requirements must also be satisfied in relation to each window and door: Except where the glass is "single clear" or "single toned", each window and glazed door must have a U-value no greater than that listed and a SHGC +/- 10% of that listed.Total system U-values and SHGCs must be in accordance with NFRC conditions. The leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500mm above the head of the window or glazed door, except that a projection >500mm and up to 1500mm above the head must be twice the value of the table. Pergolas with polycarbonate roof or similar material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glaxed door above which they are situated, unless the pergola also shades a perpendicular window. Spacing between battens must be max 50mm. Vertical external louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.

WINDOWS & GLAZED DOORS GLAZING REQUIREMENTS

WINDOW No	GLASS AREA	FRAME & GLASS TYPE	SHADING DEVICE	OVER SHADOWING
W1	1.32 sm	Standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)	600mm eaves	NONE
W2	1.95 sm	Standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)	600mm eaves	NONE
W3	12.0 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W4	10.4 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W5	0.81 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W6	0.90 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W7	2.00 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W8	0.84 sm	Standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)	600mm eaves	NONE
W9	1.68 sm	Standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)	NONE	2.5M high 1.1M distance
W10	1.68 sm	Standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)	NONE	3.4M high 1.1M distance
W11	3.15 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W12	1.50 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W13	3.15 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W14	2.70 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W15	1.55 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W16	2.20 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W17	0.72 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W18	4.20 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W19	4.20 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W20	5.25 sm	Standard aluminium, single clear, (or U-value 7.63, SHGC 0.75)	600mm eaves	NONE
W21	3.30 sm	Standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)	600mm eaves	NONE
W22	2.53 sm	Standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)	NONE	NONE
W23	2.53 sm	Standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)	600mm eaves	NONE

GLAZED ROOFS GLAZING REQUIREMENTS

WINDOW No	GLASS AREA	FRAME & GLASS TYPE	SHADING DEVICE
G1	2.00 sm	Standard aluminium, single pyrolytic low-e, (U-value 5.7, SHGC 0.47)	NONE

THERMAL COMFORT COMMITMENTS

Insulation specified in BASIX certificate to be installed in accordance with Part 3.12.1.1 of BCA. The new construction (floors, walls & ceilings) to be in accordance with the the following specification: INSULATION REQUIREMENTS The applicant must construct the new or altered construction, floors, walls, and ceilings/roofs, in accordance with the specifications listed in the table below, except that (a) additional insulation is not required where the area of new construction is less than 2 sq metres (b) insulation specified is not required for parts of altered construction where insulation already exists.

CONSTRUCTION	ADDITIONAL INSULATION REQ'D	OTHER SPECIFICATION
Suspended floor with enclosed subfloor : framed (R0.7)	R0.60 (down) (or R1.30 including construction)	
External wall : framed (cladding)	R1.30 (or R1.70 including construction)	
Flat ceiling, flat roof	Ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorption 0.475-0.70)

FIXTURES AND SYSTEMS

ARTIFICIAL LIGHTING The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent or LED lamps. FIXTURES The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres/minute or minimum 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres/average flush or minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres/minute or minimum 3 star water rating.

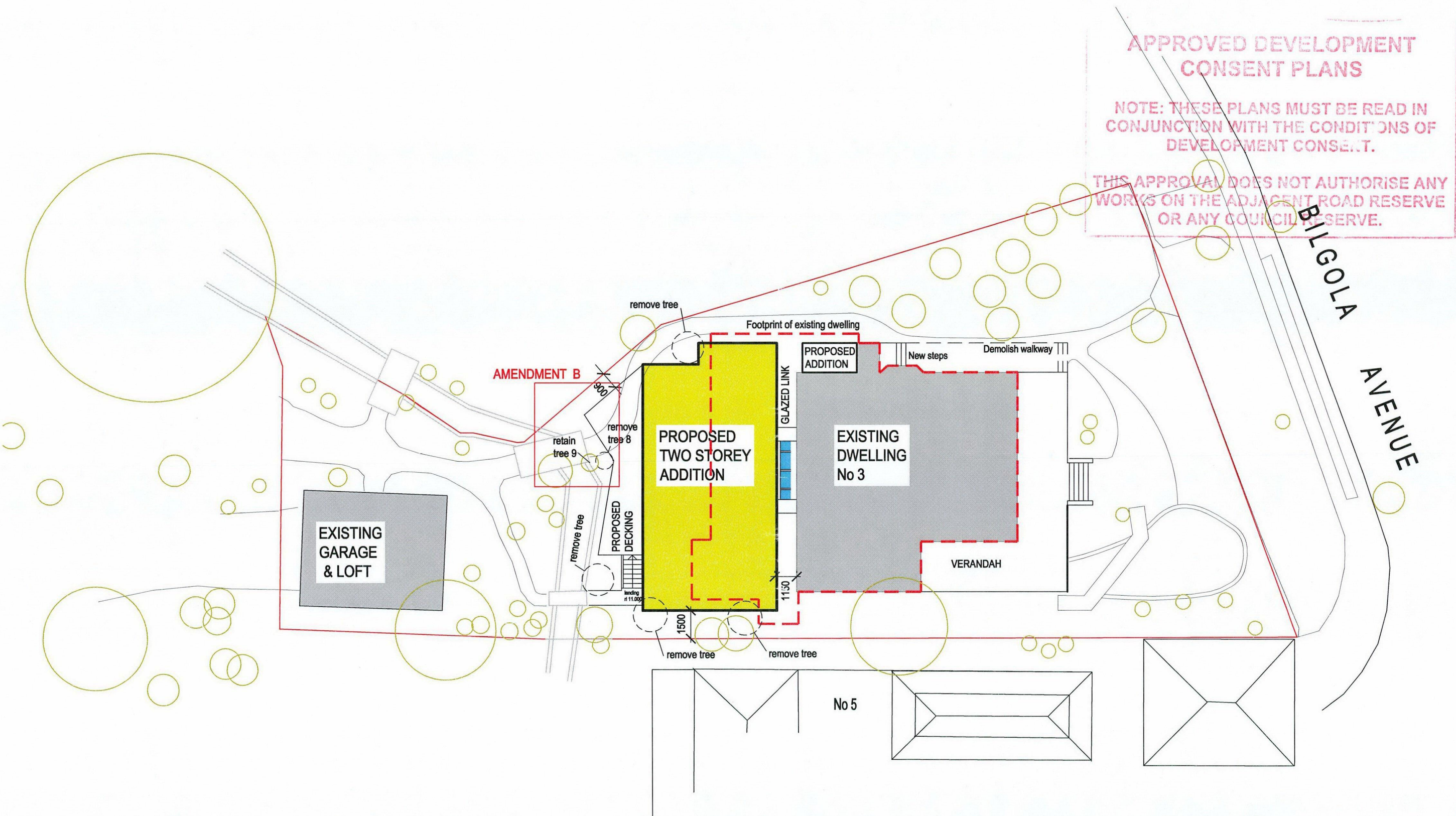


This drawing forms part of a set of documents for which copyright is vested in THE SITE FOREMAN. It is an offence under the Copyright Act, to copy,use or reproduce, in whole or in part, any part of these documents without the written permission of the Copyright holder. Any breach of this provision will result in legal action against the person, parties or entity deemed to be responsible.

t: 1300 728 006 f: 1300 728 440  
w: THESITEFORMAN.COM.AU  
a: LEVEL 1, 381 LIVERPOOL ROAD ASHFIELD 2131 NSW

ISSUE	REVISIONS	DATE	PROJECT	ALTERATIONS & ADDITIONS TO DWELLING	JOB NO	2480
A	ISSUED FOR DA	12.7.16	ADDRESS	3 BILGOLA AVENUE, BILGOLA BEACH	DRAWING NO	DA 00 A





**THE SITE FOREMAN**

This drawing forms part of a set of documents for which copyright is vested in **THE SITE FOREMAN**. It is an offence under the Copyright Act, to copy, use or reproduce, in whole or in part, any part of these documents without the written permission of the Copyright holder. Any breach of this provision will result in legal action against the person, parties or entity deemed to be responsible.

t: 1300 728 006 f: 1300 728 440  
w: [THESITEFORMAN.COM.AU](http://THESITEFORMAN.COM.AU)  
a: LEVEL 1, 381 LIVERPOOL ROAD ASHFIELD 2131 NSW

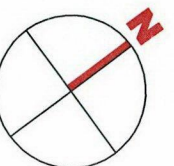
ISSUE	REVISIONS	DATE
A	ISSUED FOR DA	12.7.16
B	DECK AMENDED	7.9.16

PROJECT ALTERATIONS & ADDITIONS TO DWELLING

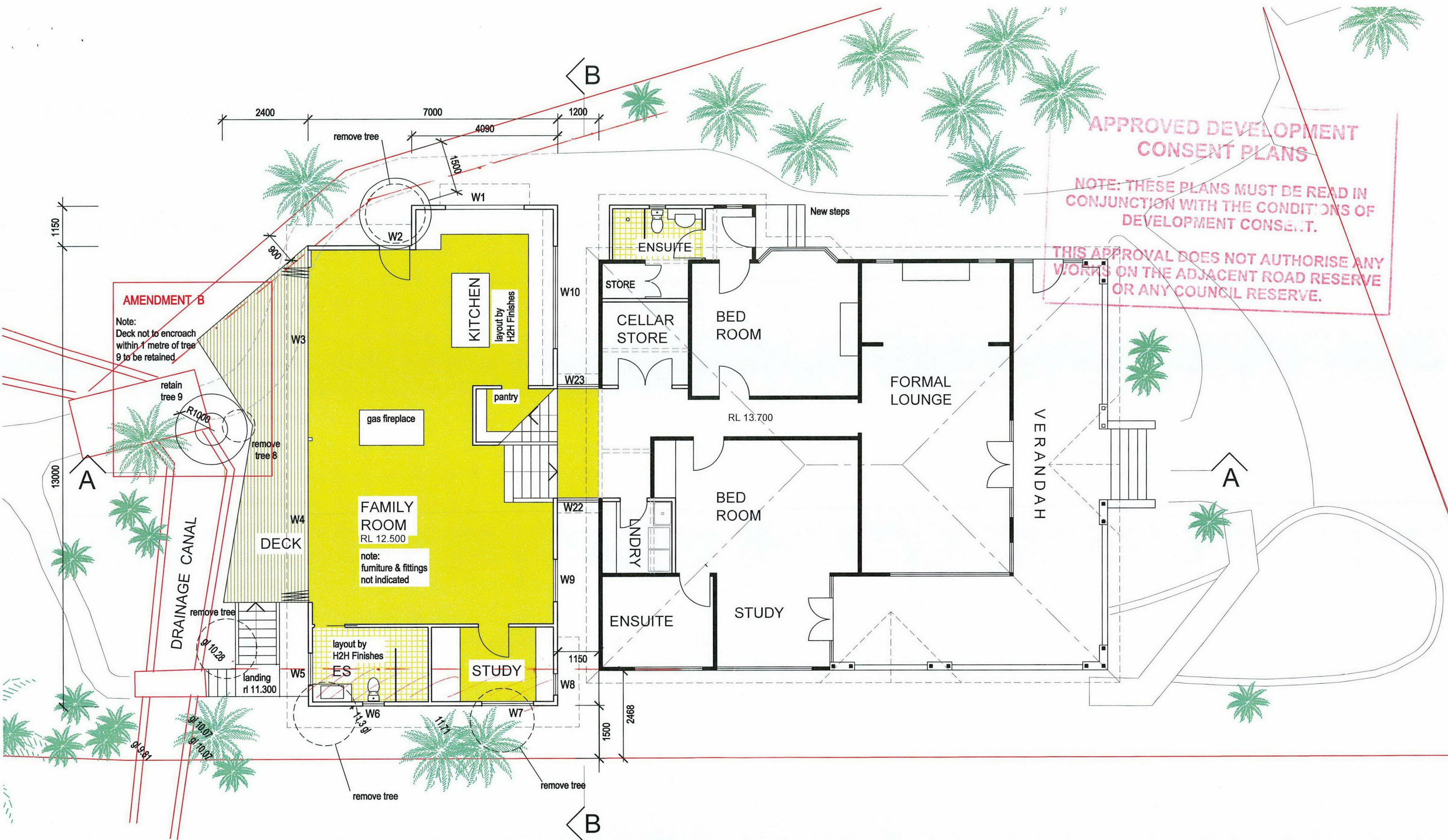
SITE PLAN

ADDRESS 3 BILGOLA AVENUE, BILGOLA BEACH

DRAWN BY	PW
SCALE	1:100
JOB NO	2480
DRAWING NO	DA 02 B







**THE SITE FOREMAN**

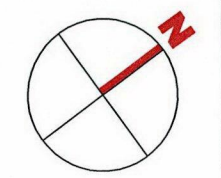
This drawing forms part of a set of documents for which copyright is vested in THE SITE FOREMAN. It is an offence under the Copyright Act, to copy, use or reproduce, in whole or in part, any part of these documents without the written permission of the Copyright holder. Any breach of this provision will result in legal action against the person, parties or entity deemed to be responsible.

t: 1300 728 006 f: 1300 728 440  
w: THESITEFORMAN.COM.AU  
a: LEVEL 1, 381 LIVERPOOL ROAD ASHFIELD 2131 NSW

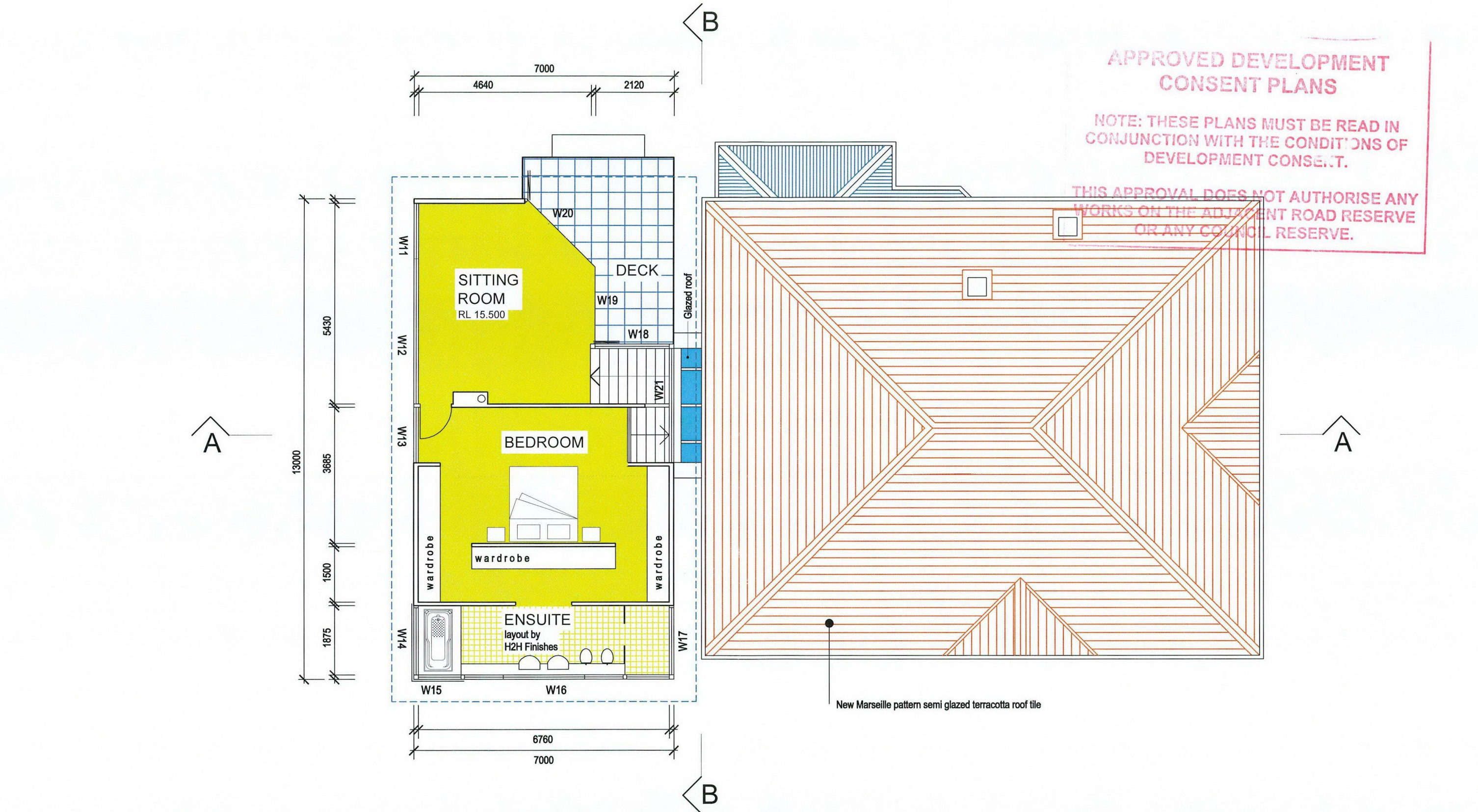
ISSUE	REVISIONS	DATE
A	ISSUED FOR DA	12.7.16
B	DECK AMENDED	7.9.16


PROJECT ALTERATIONS & ADDITIONS TO DWELLING  
PROPOSED GROUND FLOOR PLAN  
ADDRESS 3 BILGOLA AVENUE, BILGOLA BEACH

DRAWN BY	PW
SCALE	1:100
JOB NO	2480
DRAWING NO	DA 04 B

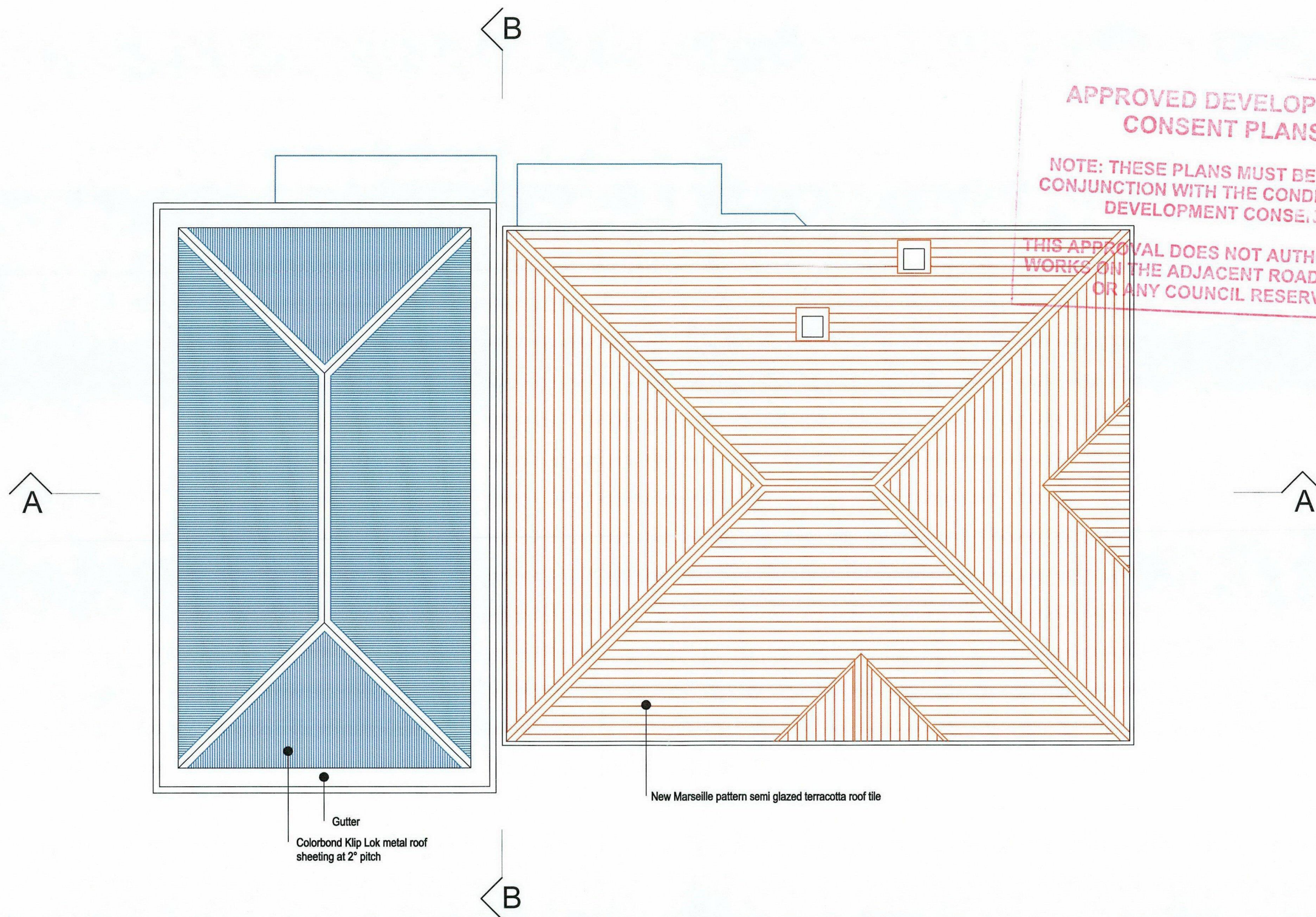






<div><div>THE SITE FOREMAN</div><div>This drawing forms part of a set of documents for which copyright is vested in THE SITE FOREMAN. It is an offence under the Copyright Act, to copy,use or reproduce, in whole or in part, any part of these documents without the written permission of the Copyright holder. Any breach of this provision will result in legal action against the person, parties or entity deemed to be responsible.</div></div>	t: 1300 728 006 f: 1300 728 440		PROJECT	ALTERATIONS & ADDITIONS TO DWELLING	DRAWN BY	PW	
	w: THESITEFORMAN.COM.AU				SCALE	1:100	
	a: LEVEL 1, 381 LIVERPOOL ROAD ASHFIELD 2131 NSW				JOB NO	2480	
	ISSUE REVISIONS DATE				DRAWING NO	DA 05 A	
	A ISSUED FOR DA 12.7.16						
			ADDRESS	3 BILGOLA AVENUE, BILGOLA BEACH			





**THE SITE FOREMAN**

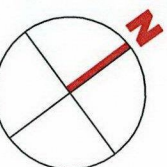
This drawing forms part of a set of documents for which copyright is vested in THE SITE FOREMAN. It is an offence under the Copyright Act, to copy, use or reproduce, in whole or in part, any part of these documents without the written permission of the Copyright holder. Any breach of this provision will result in legal action against the person, parties or entity deemed to be responsible.

t: 1300 728 006 f: 1300 728 440  
w: THESITEFORMAN.COM.AU  
a: LEVEL 1, 381 LIVERPOOL ROAD ASHFIELD 2131 NSW

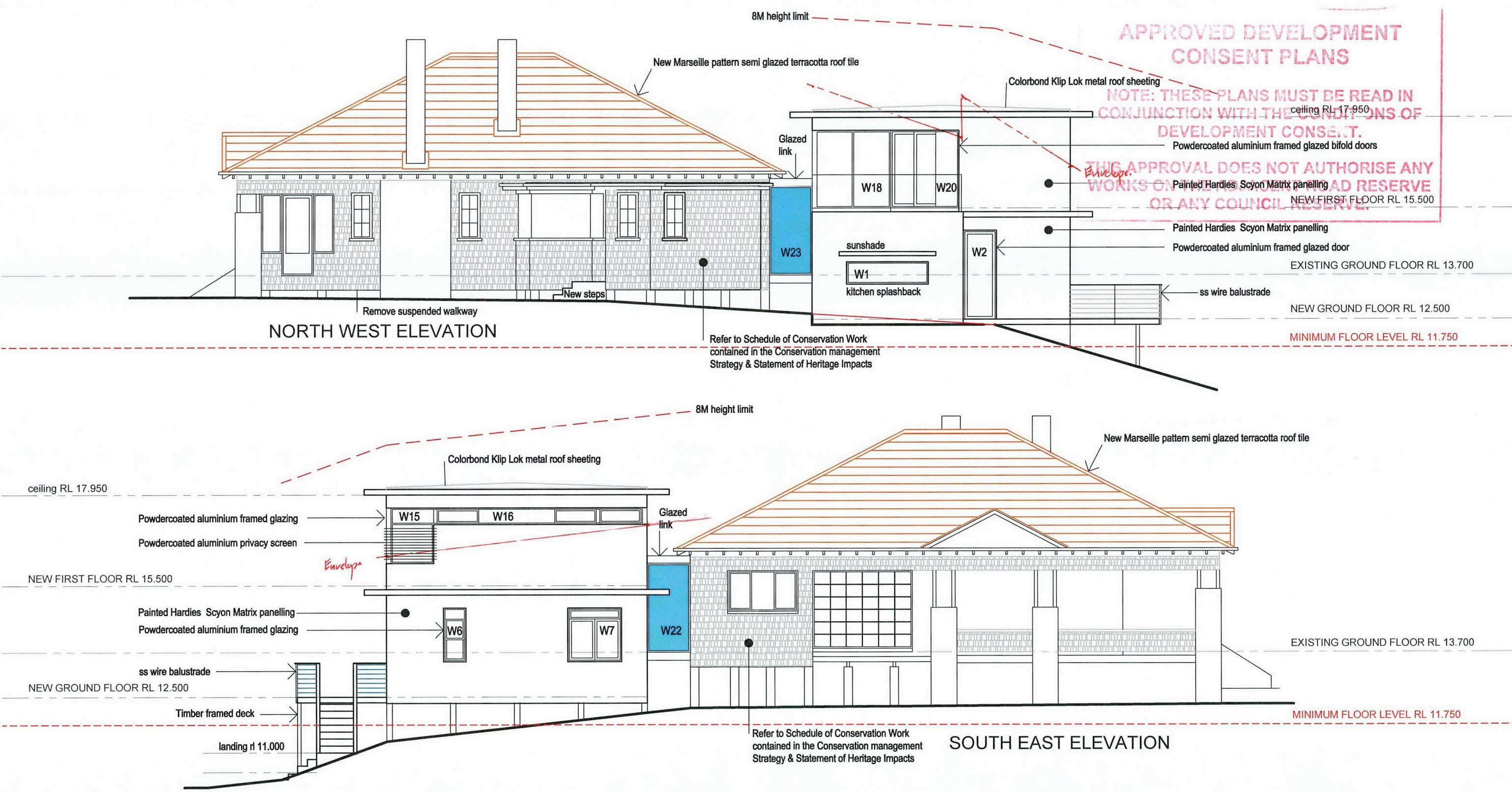
ISSUE	REVISIONS	DATE
A	ISSUED FOR DA	12.7.16

PROJECT ALTERATIONS & ADDITIONS TO DWELLING  
ROOF PLAN  
ADDRESS 3 BILGOLA AVENUE, BILGOLA BEACH

DRAWN BY	PW
SCALE	1:100
JOB NO	2480
DRAWING NO	DA 06 A







**THE SITE FOREMAN**

This drawing forms part of a set of documents for which copyright is vested in THE SITE FOREMAN. It is an offence under the Copyright Act, to copy, use or reproduce, in whole or in part, any part of these documents without the written permission of the Copyright holder. Any breach of this provision will result in legal action against the person, parties or entity deemed to be responsible.

t: 1300 728 006 f: 1300 728 440  
w: THESITEFORMAN.COM.AU  
a: LEVEL 1, 381 LIVERPOOL ROAD ASHFIELD 2131 NSW

ISSUE	REVISIONS	DATE
A	ISSUED FOR DA	12.7.16

PROJECT

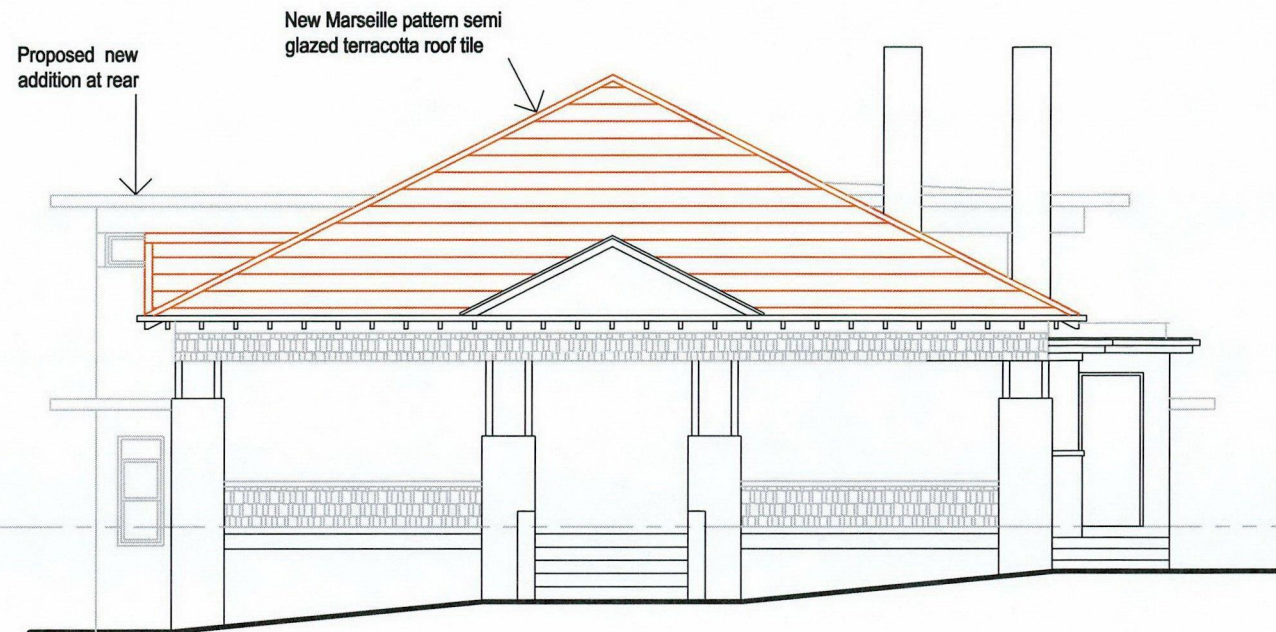
ALTERATIONS & ADDITIONS TO DWELLING ELEVATIONS

ADDRESS

3 BILGOLA AVENUE, BILGOLA BEACH

DRAWN BY	PW
SCALE	1:100
JOB NO	2480
DRAWING NO	DA 07 A





NORTH EAST ELEVATION

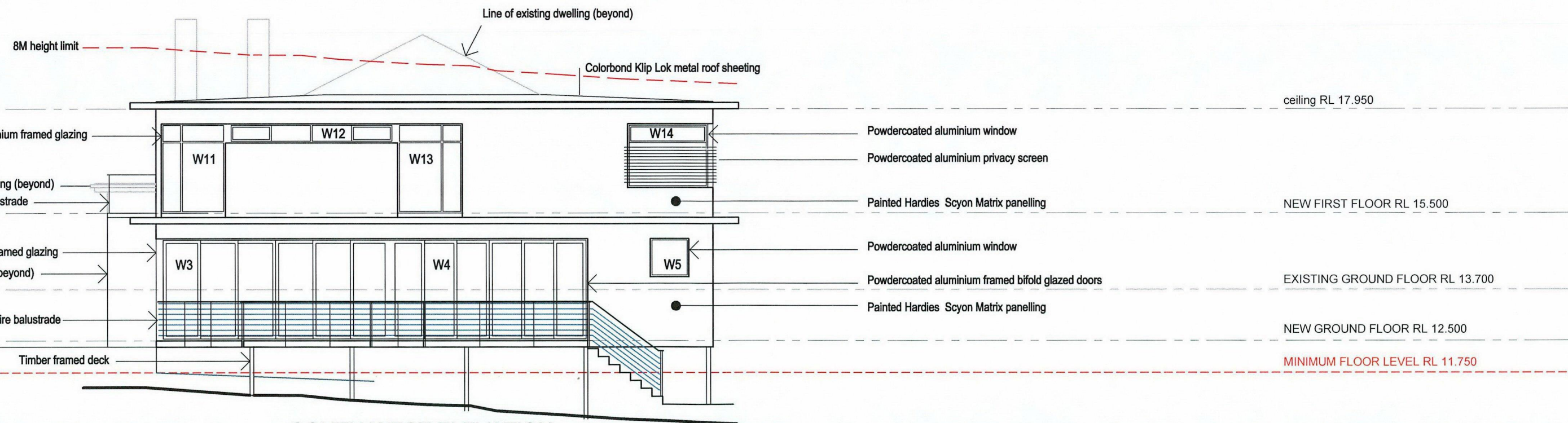
APPROVED DEVELOPMENT  
CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN  
CONJUNCTION WITH THE CONDITIONS OF  
DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANY  
WORKS ON THE ADJACENT ROAD RESERVE  
OR ANY COUNCIL RESERVE.

NOTE:  
Refer to Schedule of Conservation Work contained in the  
Conservation management Strategy & Statement of Heritage  
Impacts for all works associated with the existing cottage.

EXISTING GROUND FLOOR RL 13.700



SOUTH WEST ELEVATION

**THE SITE FOREMAN**

This drawing forms part of a set of documents for which copyright is vested in **THE SITE FOREMAN**. It is an offence under the Copyright Act, to copy, use or reproduce, in whole or in part, any part of these documents without the written permission of the Copyright holder. Any breach of this provision will result in legal action against the person, parties or entity deemed to be responsible.

t: 1300 728 006 f: 1300 728 440  
w: THESITEFORMAN.COM.AU  
a: LEVEL 1, 381 LIVERPOOL ROAD ASHFIELD 2131 NSW

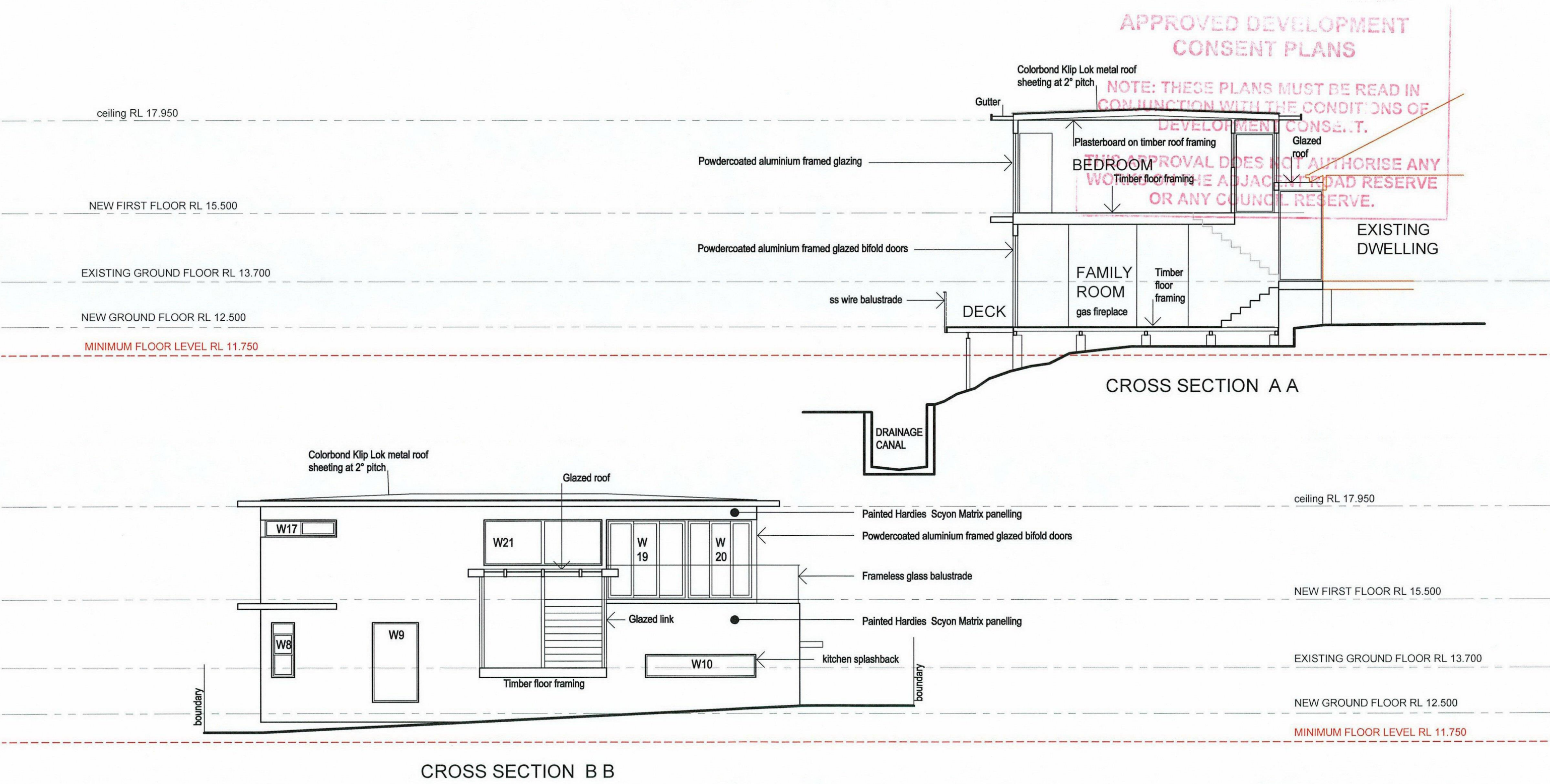
ISSUE	REVISIONS	DATE
A	ISSUED FOR DA	12.7.16

PROJECT ALTERATIONS & ADDITIONS TO DWELLING  
ELEVATIONS

ADDRESS 3 BILGOLA AVENUE, BILGOLA BEACH

DRAWN BY	PW
SCALE	1:100
JOB NO	2480
DRAWING NO	DA 08 A





**THE SITE FOREMAN**

This drawing forms part of a set of documents for which copyright is vested in **THE SITE FOREMAN**. It is an offence under the Copyright Act, to copy, use or reproduce, in whole or in part, any part of these documents without the written permission of the Copyright holder. Any breach of this provision will result in legal action against the person, parties or entity deemed to be responsible.

t: 1300 728 006 f: 1300 728 440  
w: THESITEFORMAN.COM.AU  
a: LEVEL 1, 381 LIVERPOOL ROAD ASHFIELD 2131 NSW

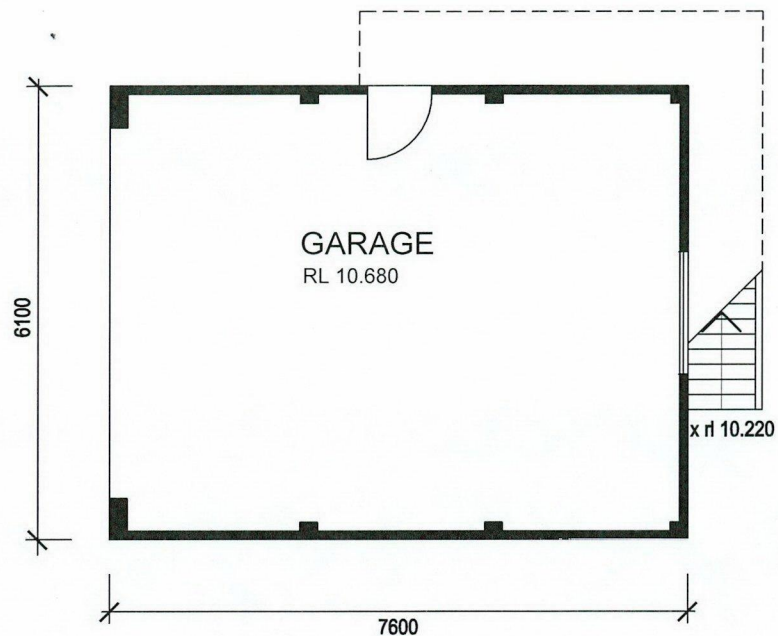
ISSUE	REVISIONS	DATE
A	ISSUED FOR DA	12.7.16

PROJECT ALTERATIONS & ADDITIONS TO DWELLING  
SECTIONS

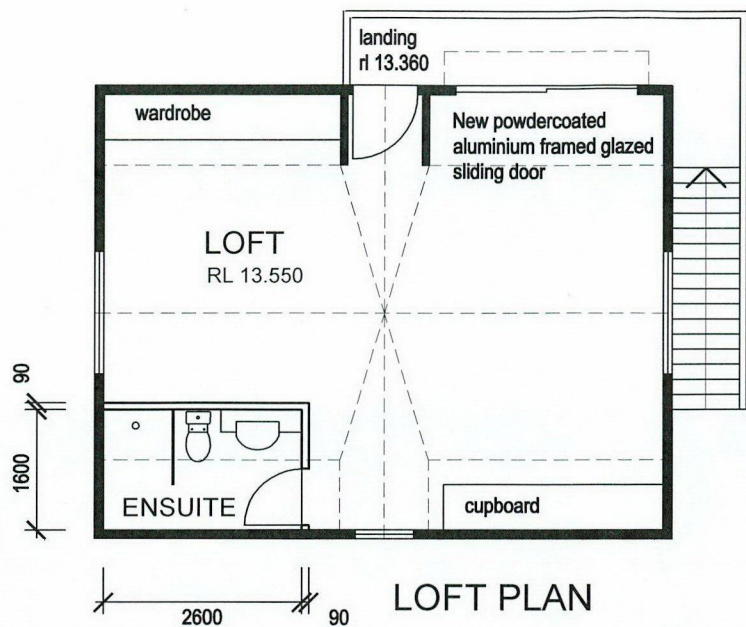
ADDRESS 3 BILGOLA AVENUE, BILGOLA BEACH

DRAWN BY	PW
SCALE	1:100
JOB NO	2480
DRAWING NO	DA 09 A

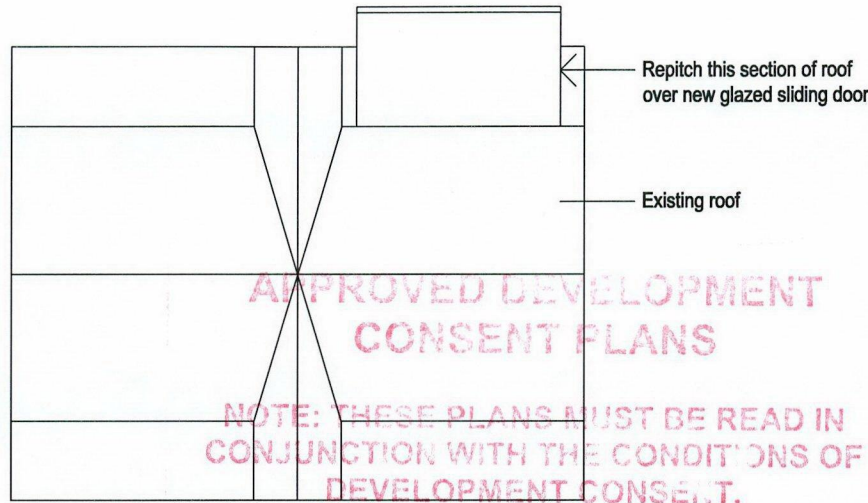




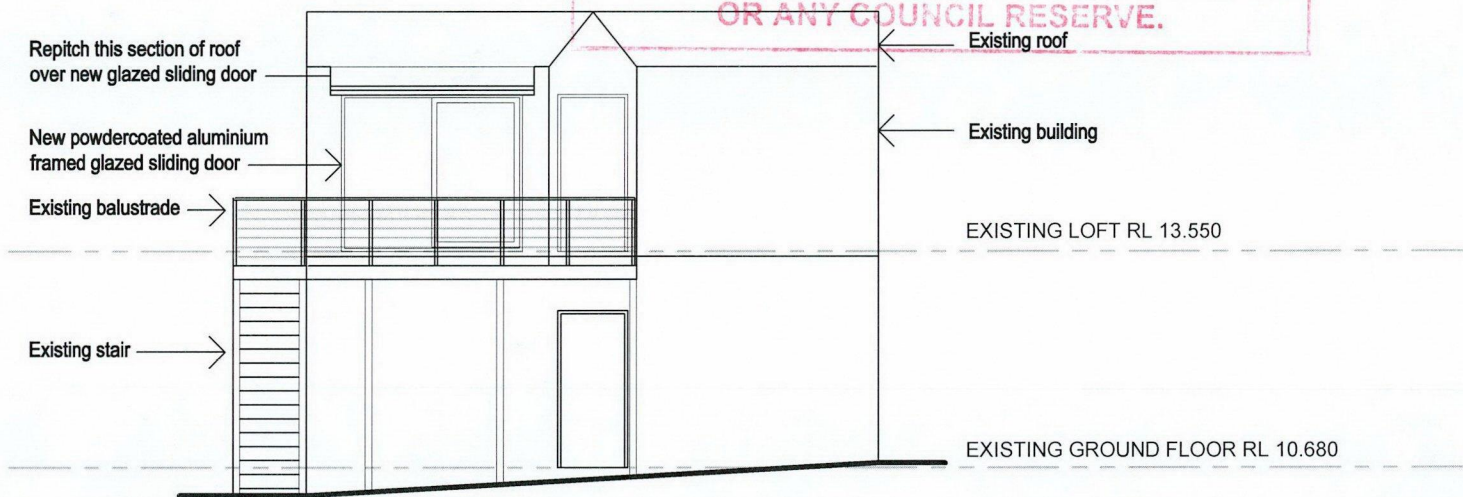
GROUND FLOOR PLAN



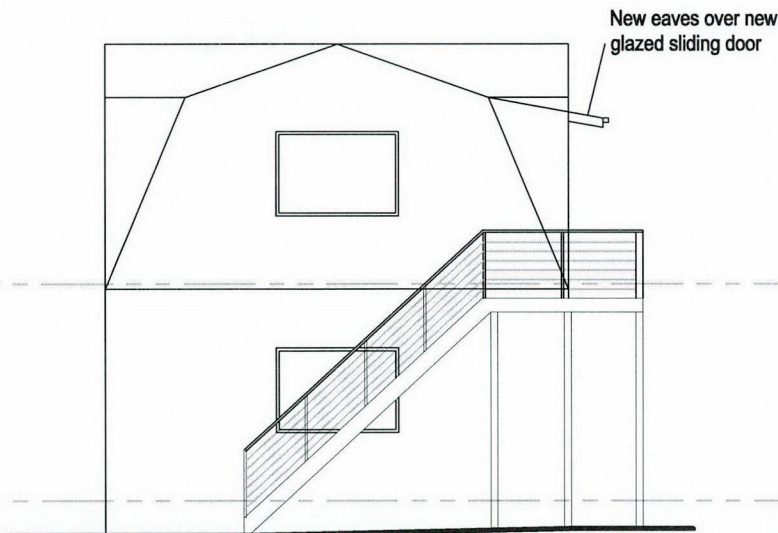
LOFT PLAN



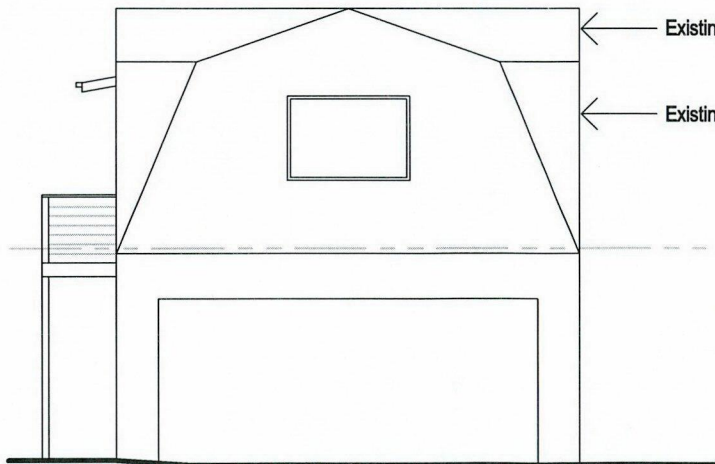
ROOF PLAN DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.



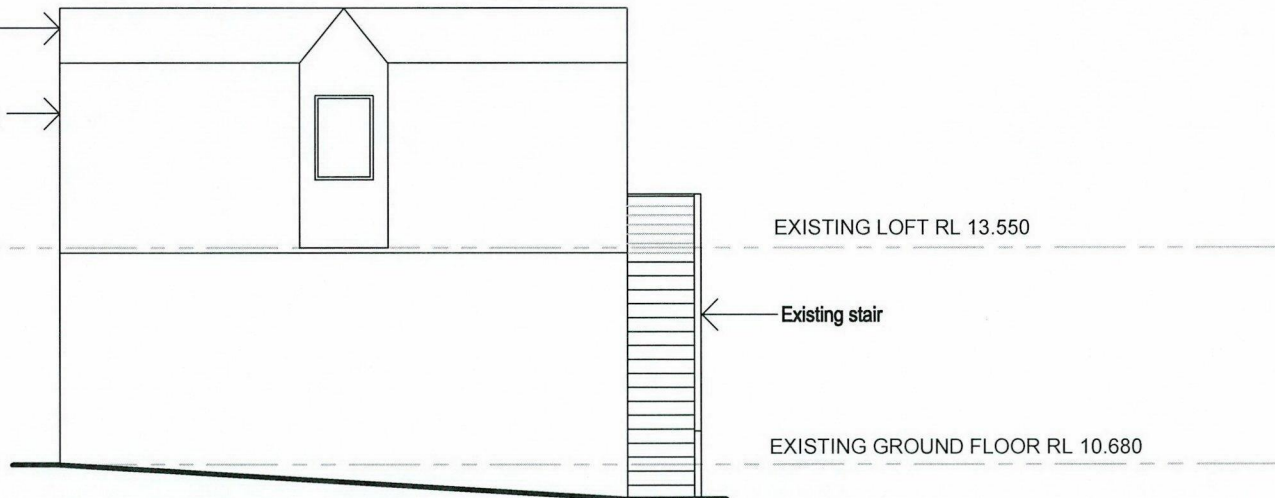
NORTH WEST ELEVATION



NORTH EAST ELEVATION



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION

**THE SITE FOREMAN**

This drawing forms part of a set of documents for which copyright is vested in THE SITE FOREMAN. It is an offence under the Copyright Act, to copy, use or reproduce, in whole or in part, any part of these documents without the written permission of the Copyright holder. Any breach of this provision will result in legal action against the person, parties or entity deemed to be responsible.

t: 1300 728 006 f: 1300 728 440  
w: THESITEFORMAN.COM.AU  
a: LEVEL 1, 381 LIVERPOOL ROAD ASHFIELD 2131 NSW

ISSUE	REVISIONS	DATE
A	ISSUED FOR DA	12.7.16

PROJECT

ALTERATIONS & ADDITIONS TO DWELLING  
GARAGE & LOFT DETAILS

ADDRESS

3 BILGOLA AVENUE, BILGOLA BEACH

DRAWN BY

PW

SCALE

1:100

JOB NO

2480

DRAWING NO

DA 10 A

