

DEVELOPMENT APPLICATION - 10/2018

ARCHITECTURAL DRAWINGS

- JUSTIN LONG DESIGN
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- A00 TITLE PAGE, GENERAL NOTES & SCHEDULE OF EXTERNAL FINISHES
 - A01 EXISTING GROUND FLOOR PLAN
 - A02 EXISTING FIRST FLOOR PLAN
 - A03 EXISTING SECOND FLOOR PLAN
 - A04 PROPOSED GROUND FLOOR PLAN
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 - A06 PROPOSED SECOND FLOOR PLAN
 - A07 PROPOSED ROOF & CONCEPT STORMWATER DRAINAGE PLAN
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- A19 SHADOW DIAGRAM – WINTER SOLSTICE: 9AM
- A20 SHADOW DIAGRAM – WINTER SOLSTICE: 12NOON
- A21 SHADOW DIAGRAM – WINTER SOLSTICE: 3PM

COMPLIANCE NOTES

STANDARD OF WORK & REGULATIONS
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH:
– BUILDING CODE OF AUSTRALIA 2016
– AUSTRALIAN STANDARDS
– CONDITIONS OF COUNCIL
– CONDITIONS OF SERVICE SUPPLY AUTHORITIES
– ALL RELEVANT AUSTRALIAN STANDARDS INCLUDING BUT NOT LIMITED TO THE STANDARDS LISTED BELOW.

DEMOLITION & RECYCLED MATERIAL
DEMOLITION IN ACCORDANCE WITH METRO WASTE BOARD GUIDE.

SITE MANAGEMENT
NO BUILDING ACTIVITIES ON COUNCIL LAND.
ESTABLISH SEDIMENT CONTROLS AS REQUIRED BY ALL AUTHORITIES.

EARTHWORKS & EXCAVATION
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.1.1
– AS 2870

STORMWATER DISPOSAL
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.1.2 & BCA PART 3.5.2
– AS/NZ 3500.3.2

TERMITE PROTECTION
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.1.3
– AS 3660.1

FOOTINGS, SLAB DESIGN & RETAINING WALLS
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE ENGINEERS DRAWINGS, SPECIFICATIONS AND THE FOLLOWING:
– BCA PART 3.2
– AS 2870

MASONRY CONSTRUCTION
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.3
– AS 3700

STRUCTURAL STEEL FRAMING
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE ENGINEERS DRAWINGS, SPECIFICATIONS AND THE FOLLOWING:
– BCA PART 3.4.2
– AS 1250 & AS 3623

TIMBER FRAMING
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
BCA PART 3.4.3
– AS 1684
ALL TIMBER IS TO BE FROM SUSTAINABLE SOURCES (PLANTATION &/OR RECYCLED TIMBERS) AS FOLLOWS:
– ALL FRAMING SHOULD BE IN PLANTATION RADIATA PINE OR NZ DOUGLAS FIR
– ALL STRUCTURAL TIMBER SHALL BE PLANTATION GROWN GLUE LAMINATED TIMBER
– ALL FLOORING SHALL BE FROM RECYCLED TIMBER OR BAMBOO T+G FLOORING

ROOF CLADDING
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.5.1
– AS 1562.1

GUTTERS & DOWNPIPES
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.5.2
– AS 3500.3.2

WALL CLADDING
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.5.3

EXTERNAL WINDOWS & DOORS
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.5.4 & BCA PART 3.6
– AS 2047

INSTALLATION OF GLAZING
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.6
– AS 1288 OR AS 2047

VENTILATION OF EXHAUST FANS
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 2.4 & BCA PART 3.8.5
– AS 1668.2

CONSTRUCTION OF ROOF, WALLS & FLOOR
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.5 & BCA PART 3.12

HOT WATER SUPPLY SYSTEM
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.12.5
– AS/NZ 3500.4 OR AS 3500.5

FIRE SEPARATION
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.7.1

SMOKE ALARMS
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.7.2
– AS 3786

BUILDING FABRIC THERMAL INSULATION
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 2.3.1
– AS/NZ 4859.1
– BASIX COMPLIANCE
SPECIFICALLY THE INSULATION VALUES SHALL BE A MINIMUM TOTAL OF R3.0 FOR ALL ROOFS & CEILINGS & R1.5 FOR ALL WALLS

SOUND INSULATION
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.8.6

WATERPROOFING OF WET AREAS
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.8.1
– AS 3740


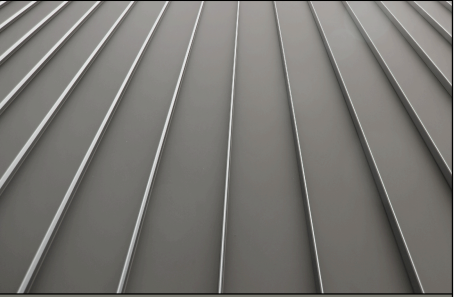
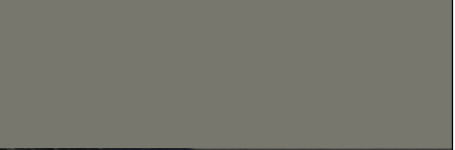
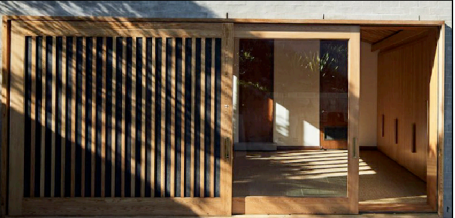

FACILITIES (HEALT & AMENITY)
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING:
– BCA PART 3.8.3
– AS 1668.2

HYDRAULICS
ALL TAPWARE & PLUMBING FIXTURES SHALL BE AAA RATED.
HOT WATER SERVICE PIPES SHALL BE PROVIDED WITH INSULATION IN ACCORDANCE WITH:
– BCA PART 3.12.1
– AS 3500

BASIX NOTES

- THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS GAS HOT WATER SYSTEM
- ALL NEW TIMBER FRAMED SUSPENDED FLOORS WITH OPEN SUBFLOORS MUST HAVE ADDITIONAL INSULATION WITH AN R-VALUE OF R0.8 (DOWN) (OR 1.50 INCLUDING CONSTRUCTION)
- ALL NEW EXTERNAL TIMBER FRAMED, WEATHERBOARD CLAD WALLS MUST HAVE ADDITIONAL INSULATION WITH AN R-VALUE OF 1.30 (OR 1.70 INCLUDING CONSTRUCTION)
- ALL NEW FLAT CEILINGS MUST HAVE ADDITIONAL INSULATION WITH AN R-VALUE OF R3.00 (UP)
- ALL NEW ROOFS MUST HAVE FOIL/SARKING & A MEDIUM SOLAR ABSORPTANCE (SOLAR ABSORPTANCE 0.475 – 0.70)
- WINDOWS & DOORS GENERALLY TO HAVE A TIMBER FRAME WITH SINGLE CLEAR GLAZING (U-VALUE: 5.71, SHGC: 0.66)

SCHEDULE OF EXTERNAL FINISHES

AREA	FINISH	COMMENT	IMAGE
EXTERNAL CLADDING	SELECTED VERTICAL TIMBER CLADDING	GREYED KEBONY TIMBER	
METAL SHEET ROOFING	PRE-FINISHED KLIP-LOK METAL SHEET ROOFING FOR ROOFS WITH A PITCH >5' PRE-FINISHED COLORBOND CUSTOM-ORB METAL SHEET ROOFING FOR ROOFS WITH A PITCH <5'	PRE-FINISHED – COLOUR: 'WALLABY'	
GUTTERS & DOWNPIPES	PRE-FINISHED COLORBOND GUTTERS & DOWNPIPES	PRE-FINISHED – COLOUR: 'WALLABY'	
DOORS & WINDOWS	TIMBER FRAMED DOORS & WINDOWS, NATURAL FINISH	NATURAL FINISH	
TIMBER DECKING & STEPS	HARDWOOD DECKING & TIMBER STEPS WITH HARDWOOD DECKING TO ENCLOSED TREADS & RISERS	GREYED KEBONY TIMBER	

1167 BARRENJOEY ROAD, PALM BEACH, NSW

ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING
FOR MICHAEL MILLS

Contractors Must verify all dimensions on site prior to starting any work or making any shop drawings.
Figured dimensions are to be taken in preference to scale readings. This drawing is copyright and the property of Justin Long Design.

Architectural

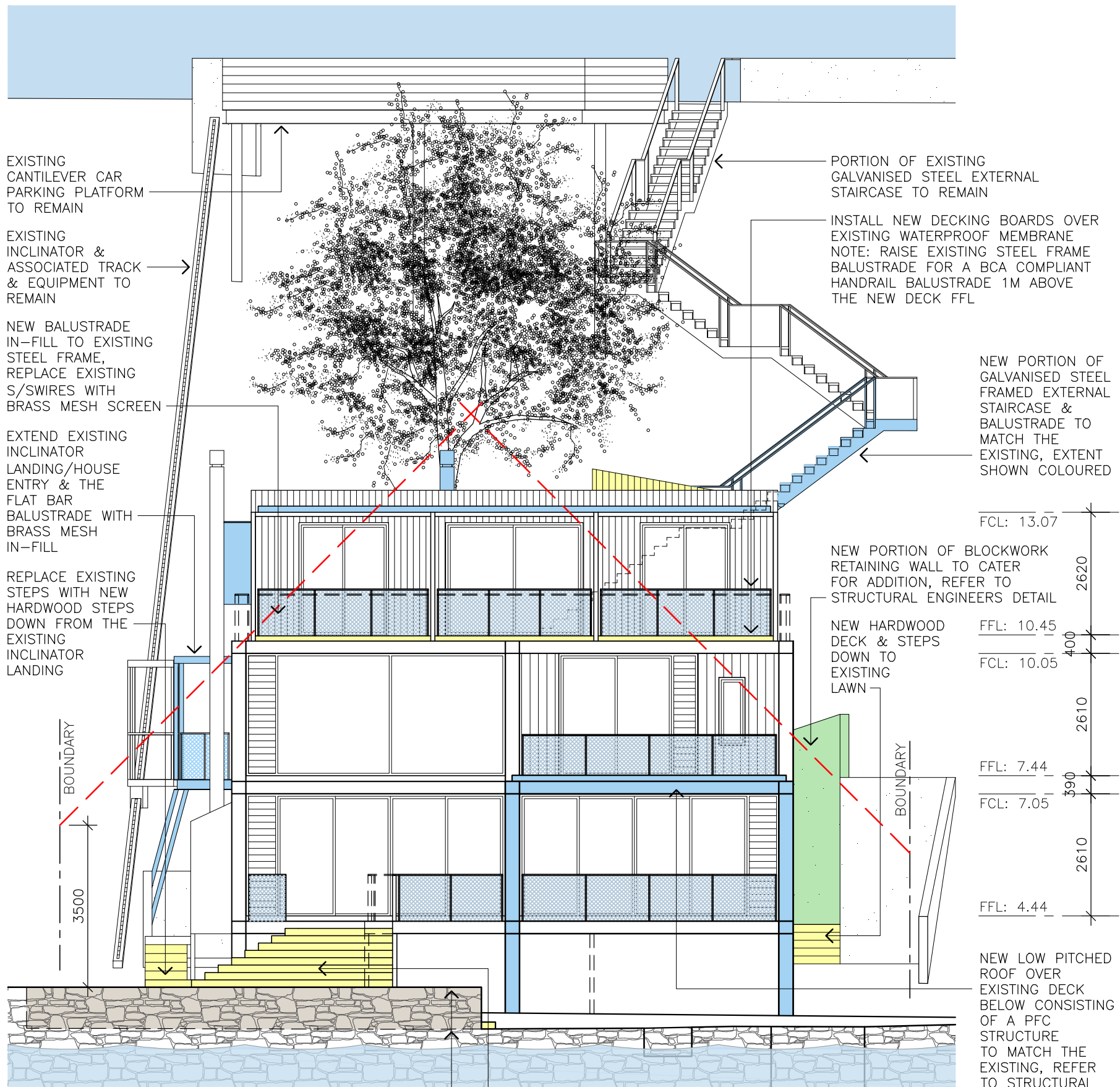
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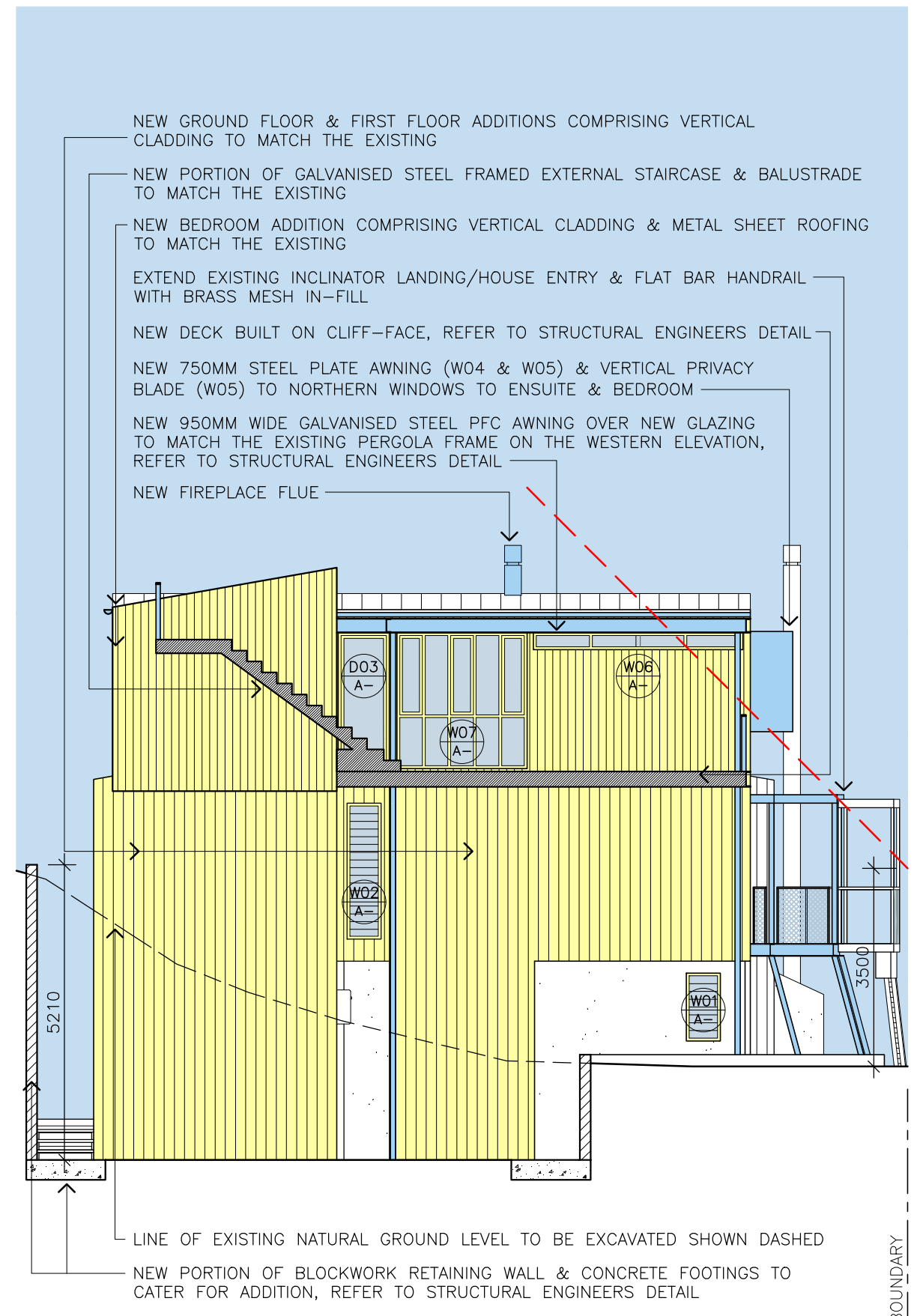
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drawing				
TITLE PAGE, GENERAL NOTES & SCHEDULE OF EXTERNAL FINISHES				

DA	–	DA	ISSUE	24.10.18
issue		amendment		date

A00



01 WESTERN ELEVATION
A08 PROPOSED 1:100



02 EASTERN ELEVATION
A08 PROPOSED 1:100

0 5M
1:100@A3

1167 BARRENJOEY ROAD, PALM BEACH, NSW
ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING
FOR MICHAEL MILLS

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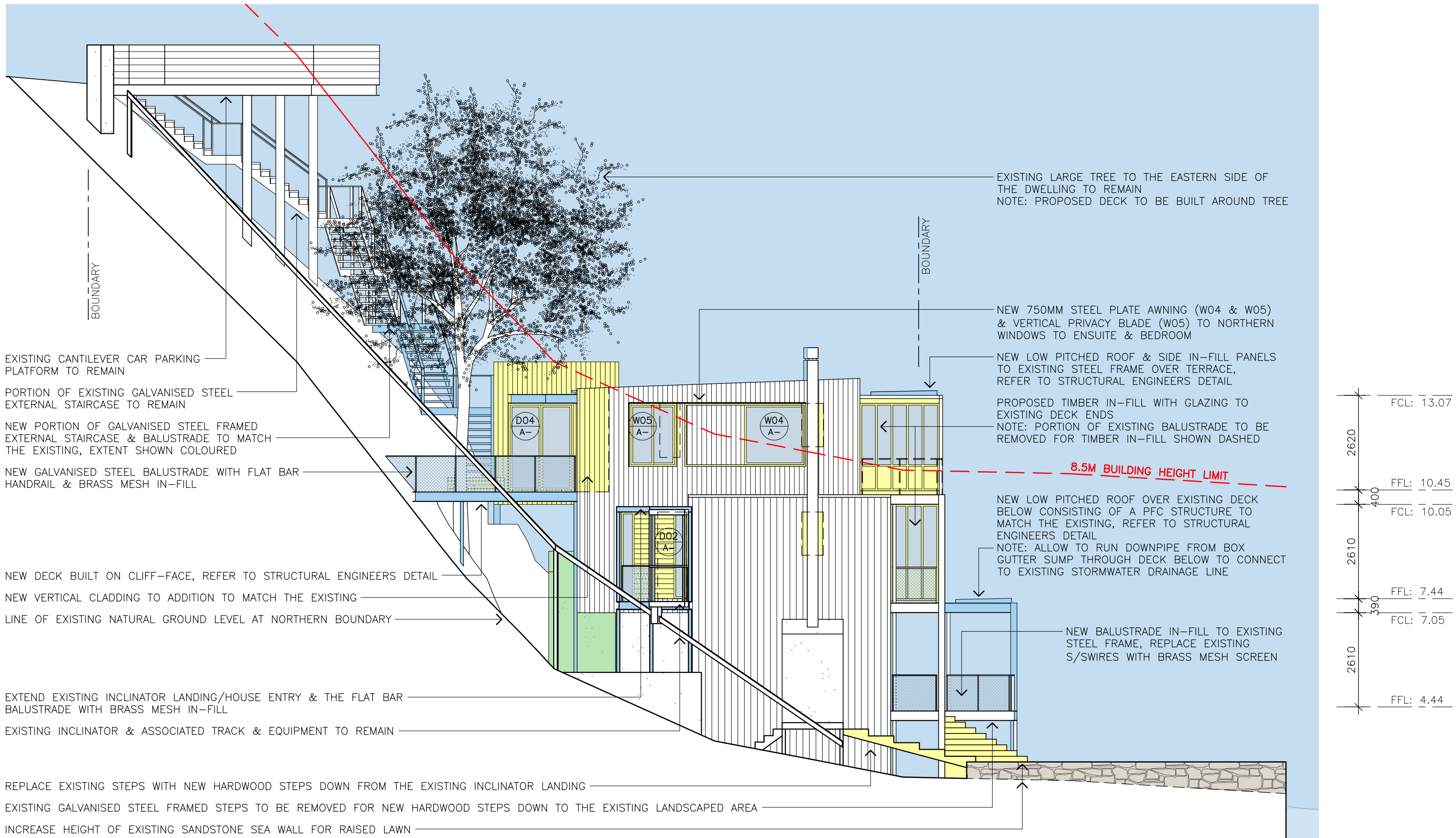
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drawing
PROPOSED WESTERN & EASTERN
ELEVATIONS

DA	DA ISSUE	24.10.18
issue	amendment	date

A08



01 NORTHERN ELEVATION
A09 PROPOSED 1:100

1167 BARRENJOEY ROAD, PALM BEACH, NSW
ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING
FOR MICHAEL MILLS

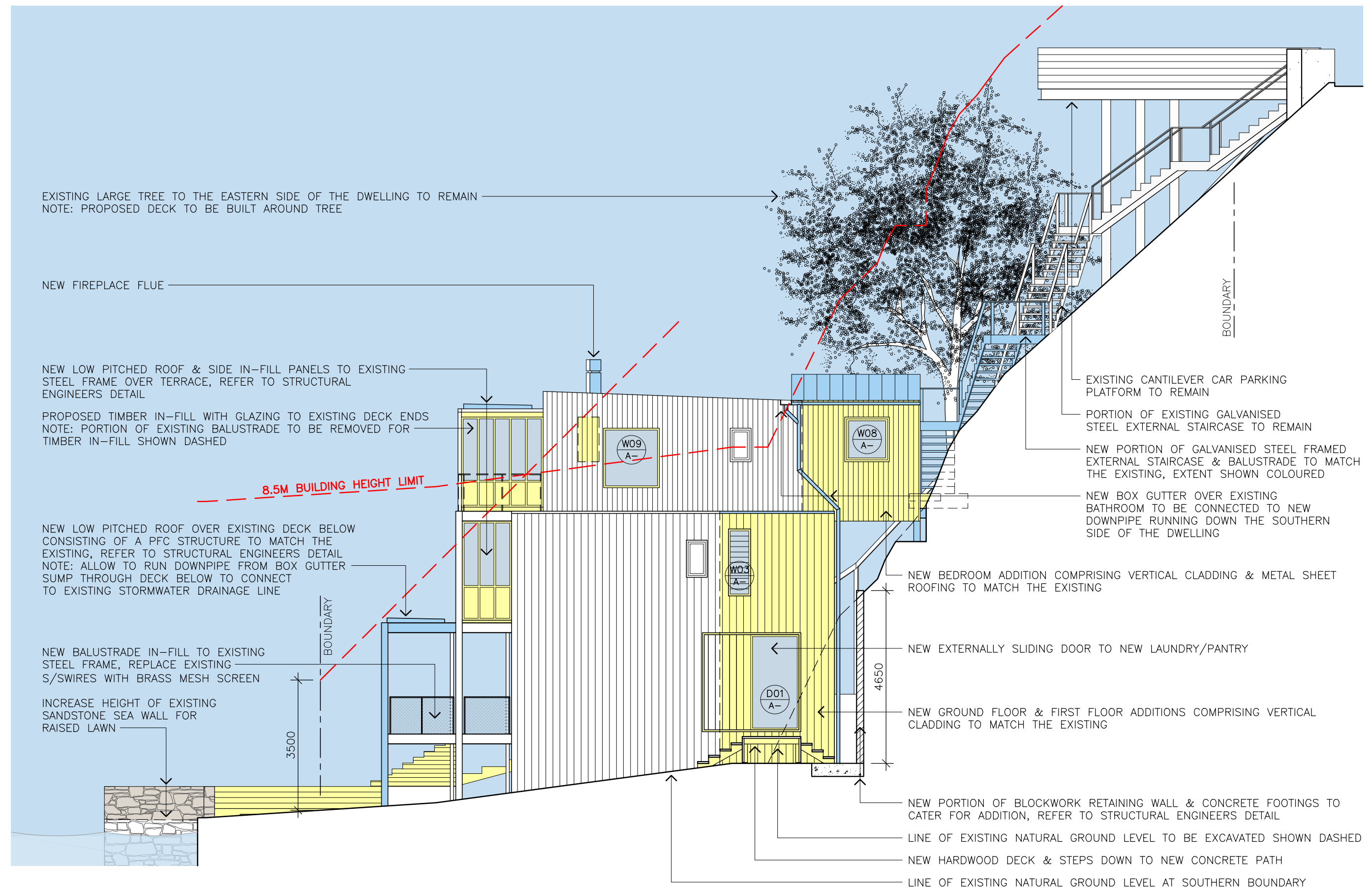
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drawing				
PROPOSED NORTHERN ELEVATION				

DA	-	DA ISSUE	24.10.18
issue	amendment		date

A09



01 SOUTHERN ELEVATION
A10 PROPOSED 1:100

0 5M
1:100@A3

1167 BARRENJOEY ROAD, PALM BEACH, NSW
ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING
FOR MICHAEL MILLS

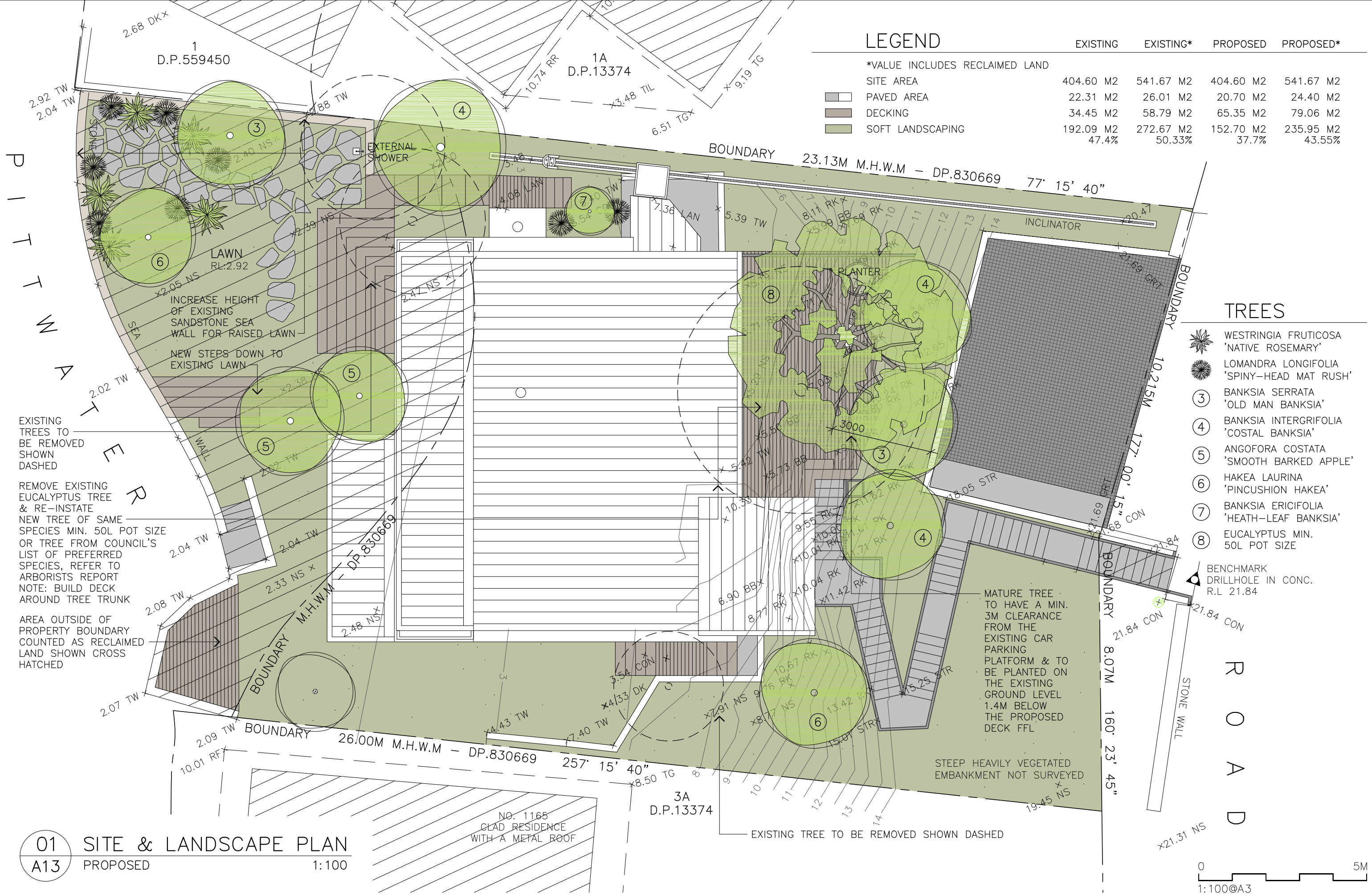
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drawing				
PROPOSED SOUTHERN ELEVATION				

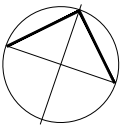
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issue	amendment		date

A10



1167 BARRENJOEY ROAD, PALM BEACH, NSW
ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING
FOR MICHAEL MILLS

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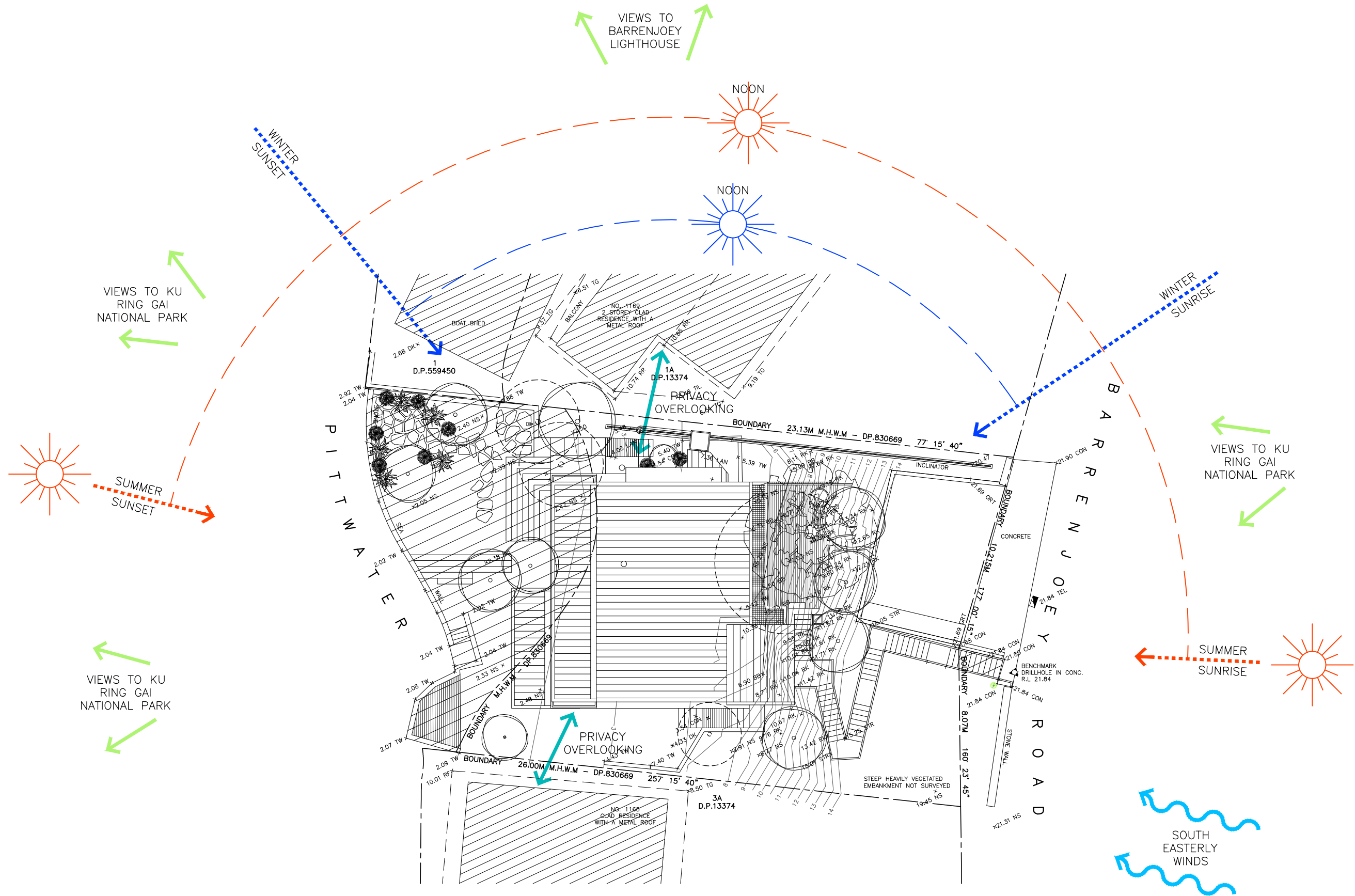


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drawing				
PROPOSED SITE & LANDSCAPE PLAN				

DA	-	DA ISSUE	24.10.18
issue	amendment		date

A13

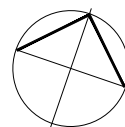


01 SITE ANALYSIS PLAN
A17 PROPOSED 1:200

1167 BARRENJOEY ROAD, PALM BEACH, NSW
ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING
FOR MICHAEL MILLS

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VIEWS TO
PITTWATER
FROM SECOND
FLOOR



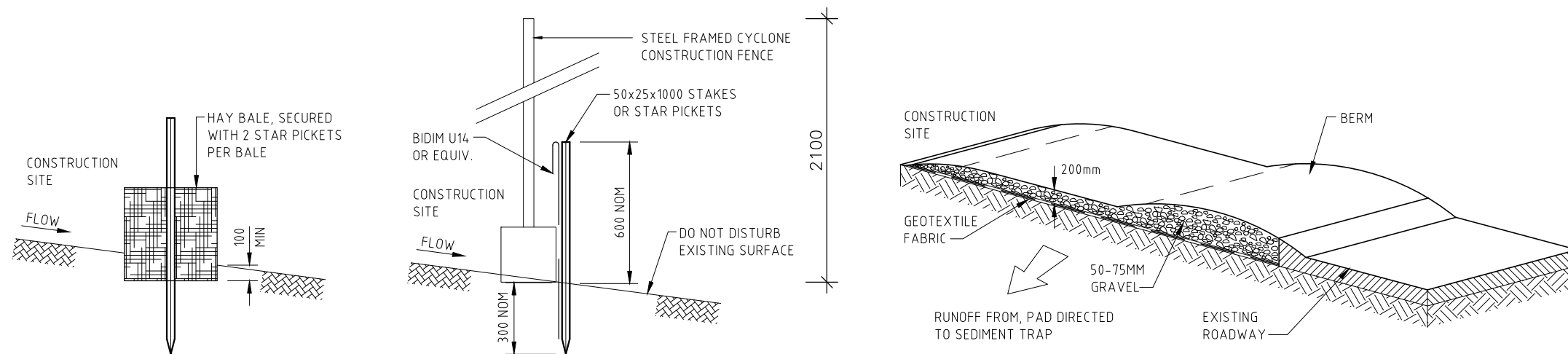
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drawn TJ scale 1:200 date 19.09.18 issue DA amend -
drawing PROPOSED SITE ANALYSIS PLAN

DA	-	DA ISSUE	24.10.18
issue	amendment	date	

0 10M
1:200@A3

A17



HAY BAIL DETAIL
PROPOSED NTS

SILT FENCE DETAIL
PROPOSED NTS

TEMPORARY CONSTRUCTION EXIT
PROPOSED NTS

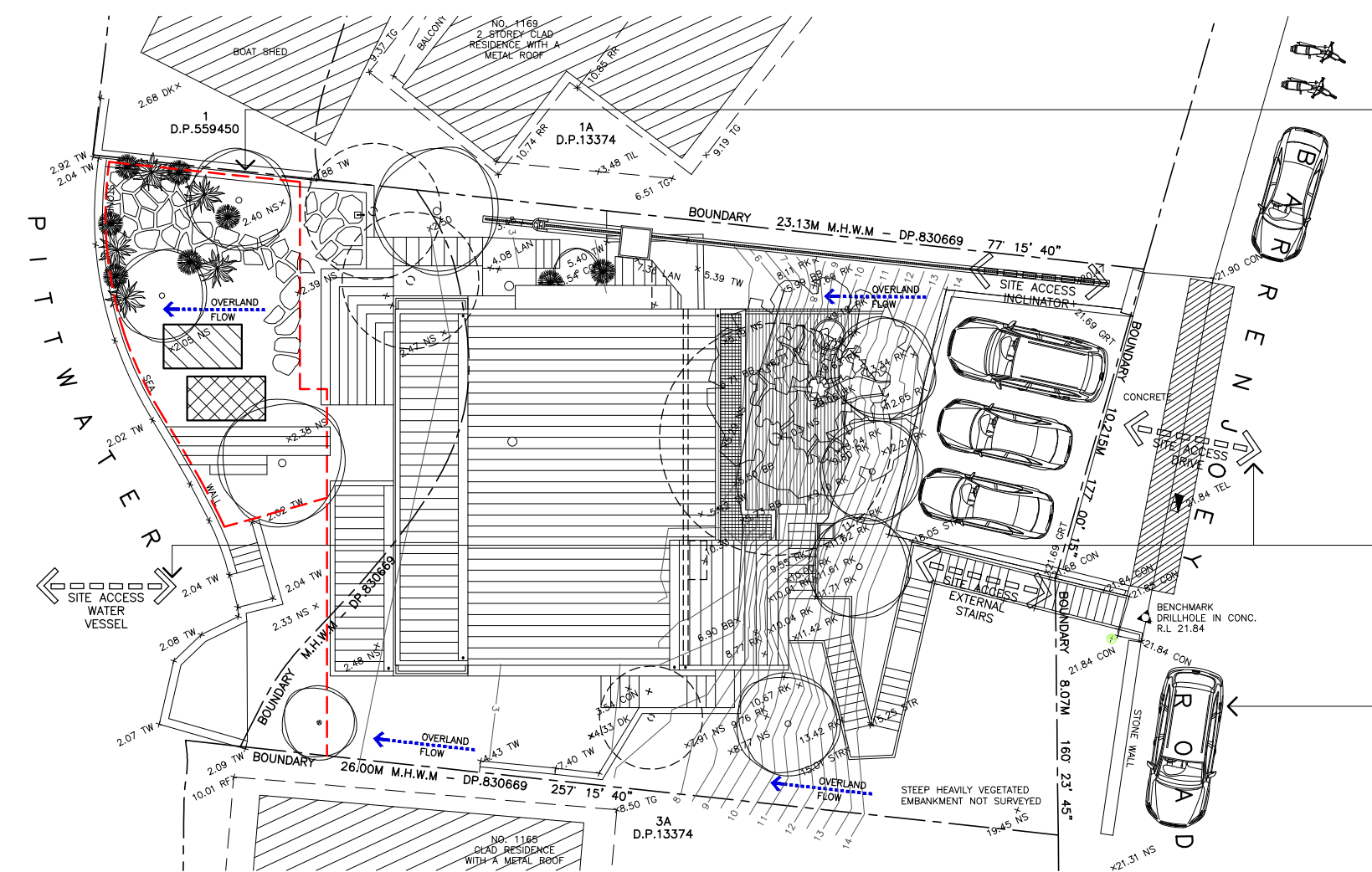
LEGEND

- PROVISION AREA FOR STOCKPIILING OF MATERIALS
- AREA FOR STORING EXCAVATED MATERIAL
- TRADE WASTE RECEPTABLE LOCATION
- 2.1M HIGH STEEL FRAMED CYCLONE CONSTRUCTION FENCE & SILT FENCE, REFER TO DETAIL
- TEMPORARY CONSTRUCTION EXIT, REFER TO DETAIL

SEDIMENT & SOIL
EROSION CONTROL NOTES

A SOIL AND WATER MANAGEMENT PLAN (ALSO KNOWN AS AN EROSION AND SEDIMENT CONTROL PLAN) SHALL BE PREPARED ACCORDING TO SSROC'S SOIL AND WATER MANAGEMENT BROCHURE AND THE NSW ENVIRONMENT PROTECTION AUTHORITY (EPA) MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION. THIS PLAN SHALL BE IMPLEMENTED PRIOR TO COMMENCEMENT OF ANY WORKS OR ACTIVITIES. ALL CONTROLS IN THE PLAN SHALL BE MAINTAINED AT ALL TIME. A COPY OF THE SOIL AND WATER MANAGEMENT PLAN MUST BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO COUNCIL OFFICERS ON REQUEST.

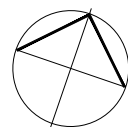
- RESPREAD TOPSOIL & REVEGETATE ALL BARE AREAS
- RETAIN TEMPORARY STRAW BALE & SILT FENCE DRAINAGE STRUCTURES UNTIL STORMWATER DRAINAGE & LANDSCAPING IS IN PLACE
- DOWNSTEAM EROSION TO BE CHECKED & MAINTAINED PERIODICALLY DURING CONSTRUCTION
- BUILDER TO ENSURE CONSTRUCTION & STABILISATION OF ALL CULVERTS & SURFACE DRAINAGE WORKS AT EARLIEST PRACTICAL STAGE
- REMOVAL OR DISTURBANCE OF VEGETATION AND TOP SOIL IS CONFINED TO WITHIN 3M OF THE APPROVED BUILDING AREA (NO TREES ARE TO BE REMOVED WITHOUT APPROVAL)
- ALL UNCONTAMINATED RUN-OFF MUST BE DIVERTED AROUND CLEARED OR DISTURBED AREAS
- THE INSTALLATION OF SILT FENCES OR OTHER DEVICES MUST PREVENT SEDIMENT AND OTHER DEBRIS ESCAPING FROM THE CLEARED OR DISTURBED AREAS INTO DRAINAGE SYSTEMS OR WATERWAYS
- ALL EROSION AND SEDIMENT CONTROLS ARE FULLY MAINTAINED FOR THE DURATION OF THE DEMOLITION & DEVELOPMENT WORKS
- CONTROLS MUST BE PUT INTO PLACE TO PREVENT TRACKING OF SEDIMENT BY VEHICLES ONTO ADJOINING ROADWAYS
- ALL DISTURBED AREAS ARE RENDERED EROSION-RESISTANT BY TURFING, MULCHING, PAVING OR SIMILAR
- ALL WATER PUMPED OR OTHERWISE REMOVED FROM EXCAVATIONS OR BASEMENT AREAS MUST BE FILTERED TO ACHIEVE SUSPENDED SOLIDS/NON FILTERABLE RESIDUE LEVELS COMPLYING WITH THE AUSTRALIAN WATER QUALITY GUIDELINES FOR FRESH AND MARINE WATERS
- PUMPED OR OVERLAND FLOWS OF WATER ARE TO BE DISCHARGED SO AS NOT TO CAUSE, PERMIT OR ALLOW EROSION BEFORE THE COMMENCEMENT OF WORK (AND UNTIL ISSUE OF THE OCCUPATION CERTIFICATE)
- ALL EXCAVATIONS MUST BE KEPT FREE FROM WATER ACCUMULATION



SITE FENCING/SECURITY
THE SITE MUST BE APPROPRIATELY SECURED AND FENCED TO THE SATISFACTION OF COUNCIL DURING DEMOLITION, EXCAVATION AND CONSTRUCTION WORK TO ENSURE THERE ARE NO UNACCEPTABLE IMPACTS ON THE AMENITY OF ADJOINING PROPERTIES OR PITTWATER. PERMITS FOR HOARDINGS AND OR SCAFFOLDING ON COUNCIL LAND MUST BE OBTAINED AND CLEARLY DISPLAYED ON SITE.

SITE ACCESS
SITE ACCESS IS TO BE PROVIDED FROM BOTH BARRENJOEY ROAD & PITTWATER. ACCESS FROM BARRENJOEY ROAD IS PRIMARILY FOR CONTRACTOR & SUB-CONTRACTOR PARKING WHILST ACCESS FROM PITTWATER IS PRIMARILY FOR THE THE DELIVERY OF SUPPLIES & FOR THE REMOVAL OF ANY SITE WASTE INCLUDING BUILDING MATERIALS & EXCAVATED SPOIL.

CAR PARKING
EXISTING CAR PARKING PROVISIONS TO BARRENJOEY ROAD ARE TO REMAIN & WILL BE UNAFFECTED DURING THE CONSTRUCTION PROCESS.



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TJ	1:200	19.09.18	DA	-
drawing				
PROPOSED EROSION & SEDIMENT CONTROL PLAN				

DA	-	DA	ISSUE	24.10.18
issue	amendment			date

