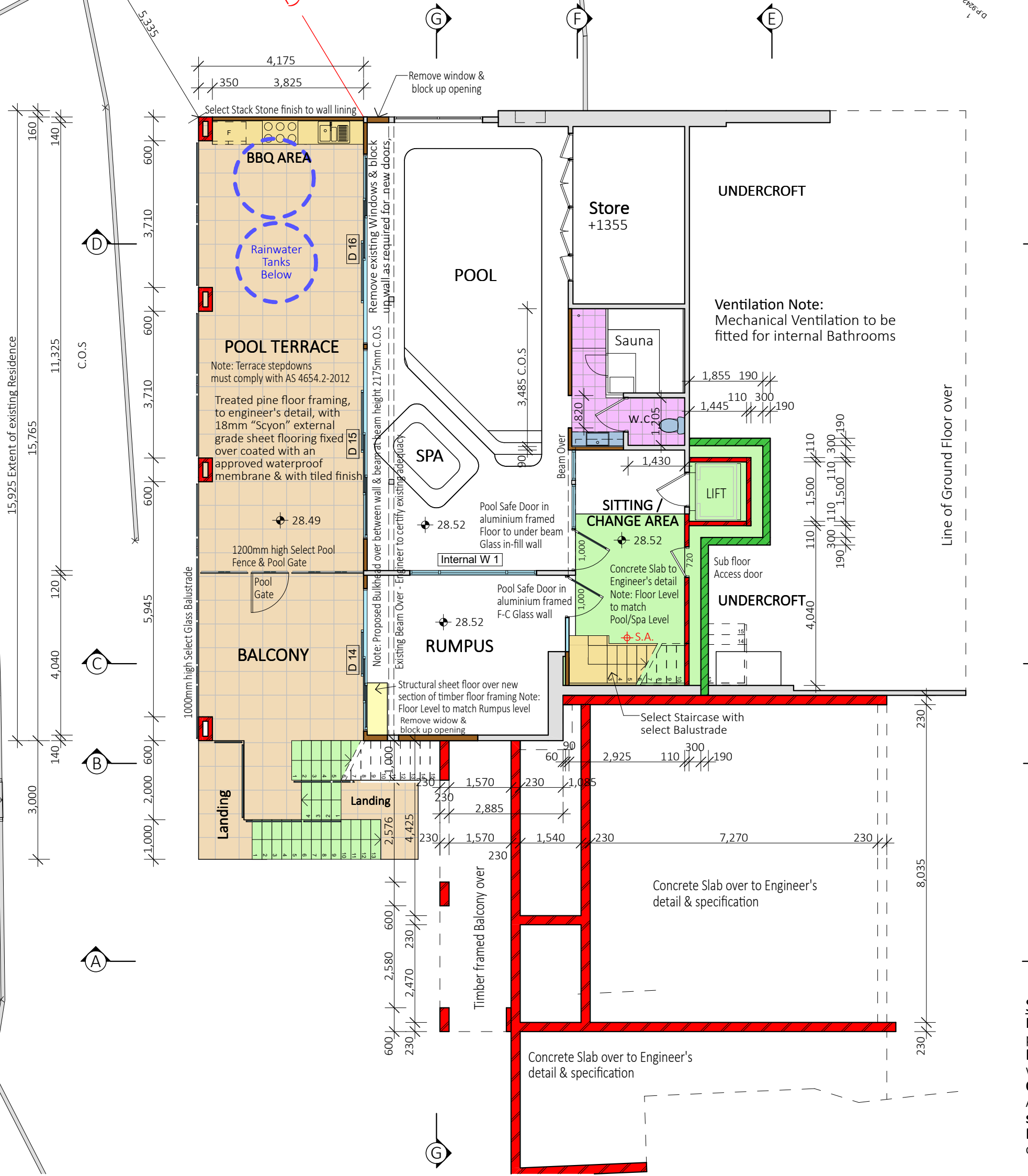


SITE RATIO'S - EXISTING:

SITE AREA	3709m <sup>2</sup>
SITE AREA Less 348.4m <sup>2</sup> Access Handle	3360.6m <sup>2</sup>
FOOTPRINT OF RESIDENCE	226.5m <sup>2</sup>
CARPORT	82.5m <sup>2</sup>
SHED	5m <sup>2</sup>
PATIO	10m <sup>2</sup>
COVERED SPA DECK	24m <sup>2</sup>
CABANA	7m <sup>2</sup>
PAVED AREAS & PATHWAYS	84m <sup>2</sup>
DRIVEWAY & PARKING AREAS	117m <sup>2</sup>
OPEN DECK	89m <sup>2</sup>
FOOTPRINT OF SECONDARY DWELLING	91.25m <sup>2</sup>
COVERED DECKS - SECONDARY DWELLING	61m <sup>2</sup>
PATHWAY - SECONDARY DWELLING	9m <sup>2</sup>
SUM TOTAL	806.25m <sup>2</sup>
LESS 6% SITE AREA (IMPERVIOUS LANDSCAPING TREATMENT)	-201.6m <sup>2</sup>
SUM TOTAL	604.65m <sup>2</sup>
SITE COVERAGE %	17.9%
EXISTING LANDSCAPED AREA	2755.95m <sup>2</sup>
LANDSCAPE COVERAGE %	82.1%

SITE RATIO'S - PROPOSED:

SITE AREA	3709m <sup>2</sup>
SITE AREA Less 348.4m <sup>2</sup> Access Handle	3360.6m <sup>2</sup>
FOOTPRINT OF RESIDENCE (Including Garage)	302.5m <sup>2</sup>
OPEN DECK PARKING	82.5m <sup>2</sup>
TERRACE / PORCH	97.5m <sup>2</sup>
PAVED AREAS & PATHWAYS	77m <sup>2</sup>
DRIVEWAY	141.5m <sup>2</sup>
FOOTPRINT OF SECONDARY DWELLING	91.25m <sup>2</sup>
COVERED DECKS - SECONDARY DWELLING	61m <sup>2</sup>
PATHWAY - SECONDARY DWELLING	9m <sup>2</sup>
SUM TOTAL	862.25m <sup>2</sup>
LESS 6% SITE AREA (IMPERVIOUS LANDSCAPING TREATMENT)	-201.6m <sup>2</sup>
SUM TOTAL	660.65m <sup>2</sup>
SITE COVERAGE %	20%
PROPOSED LANDSCAPED AREA	2699.95m <sup>2</sup>
LANDSCAPE COVERAGE %	80%



**STAIRCASE NOTES:**  
Note: The Builder shall check measure on site prior to ordering the stair.  
Note: The Stair and Balustrade shall comply with the current versions of **National Construction Code (NCC / Building Code of Australia (BCA))** and **all relevant Australian standards**.  
Note: A Handrail is to be provided on one side of the stairs to comply with BCA 3.9.2.4

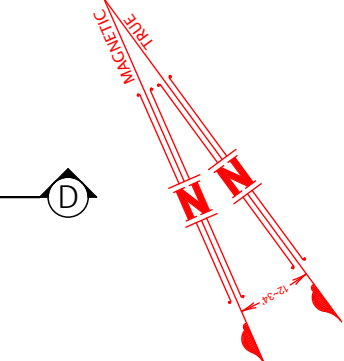
1

SITE PLAN - FULL

1:200

& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT / SEDIMENT & EROSION CONTROL

Water Tanks - 16000L



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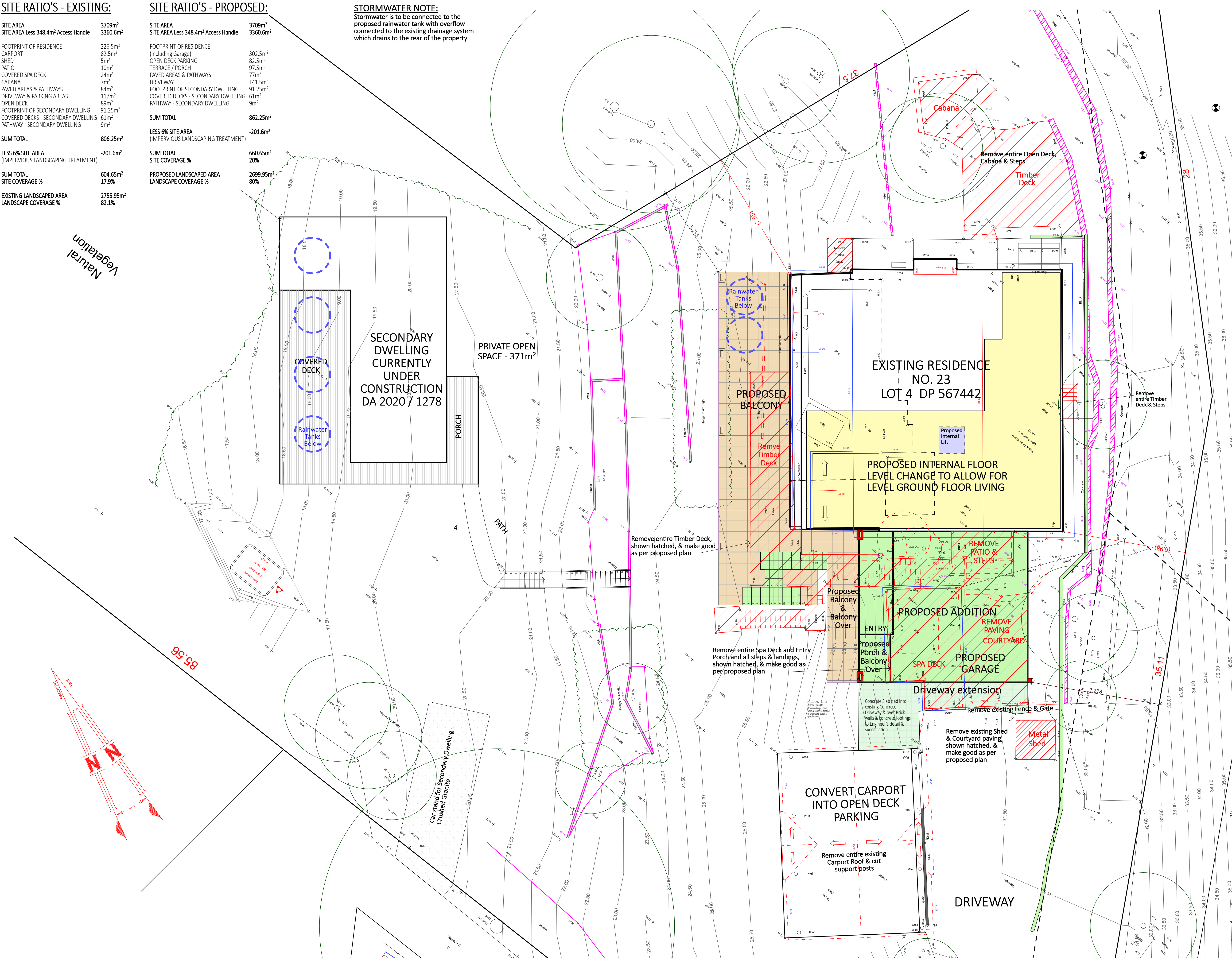
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EXISTING LANDSCAPED AREA	2755.95m <sup>2</sup>
LANDSCAPE COVERAGE %	82.1%

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SITE AREA Less 348.4m <sup>2</sup> Access Handle	3360.6m <sup>2</sup>
FOOTPRINT OF RESIDENCE (including Garage)	302.5m <sup>2</sup>
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SUM TOTAL	660.65m <sup>2</sup>
SITE COVERAGE %	20%
PROPOSED LANDSCAPED AREA	2699.95m <sup>2</sup>
LANDSCAPE COVERAGE %	80%

STORMWATER NOTE:  
Stormwater is to be connected to the proposed rainwater tank with overflow connected to the existing drainage system which drains to the rear of the property



NOTES:  
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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
Lighting type  
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

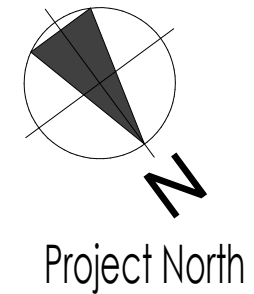
**WATER COMMITMENTS:**  
New or altered fixture requirements  
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating.  
Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.  
Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

**HOT WATER SYSTEM:**  
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate

**INSULATION REQUIREMENTS:**  
Construction / Additional insulation requirement (R-value)  
concrete slab on ground floor: / nil  
suspended floor with enclosed subfloor: framed (R0.7) / R0.60 (down) (or R1.30 including construction)  
suspended floor above garage: framed (R0.7) / nil  
floor above existing dwelling or building: / nil  
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)  
external wall: external insulated façade system (EIFS) (R3.24) / nil  
internal wall shared with garage: plasterboard (R0.36) / nil  
flat ceiling, pitched roof/ceiling: / R1.45 (up), roof: foil backed blanket (75 mm) raked ceiling, pitched/skillion roof: framed ceiling: / R1.74 (up), roof: foil backed blanket (75 mm)  
The roof shall be of dark colour (solar absorption >0.70)

**WINDOWS & GLAZED DOORS:**  
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.  
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door.  
You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance.  
There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed door.  
If your shading device is a pergola with fixed polycarbonate, you will need to use a tinted polycarbonate capable of blocking a required proportion of the sun's heat. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. If your shading device is a pergola, the frame only is not sufficient. You will need to provide battens to ensure it adequately shades the window or glazed door. There are criteria for the batten spacing

**SKYLIGHTS:**  
All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.  
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate



**LIFESTYLE HOME DESIGNS**  
LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

Client  
**MR & MRS KONAREVA**  
Project Name  
**ALTERATIONS & ADDITIONS**  
**LOT 4, DP 567442**  
**23 BAROONA ROAD**  
**CHURCH POINT NSW 2105**

Drawing Title:

**SITE PLAN - PARTIAL**

Scale : 1:100 (A1) Date : SEPTEMBER 2021

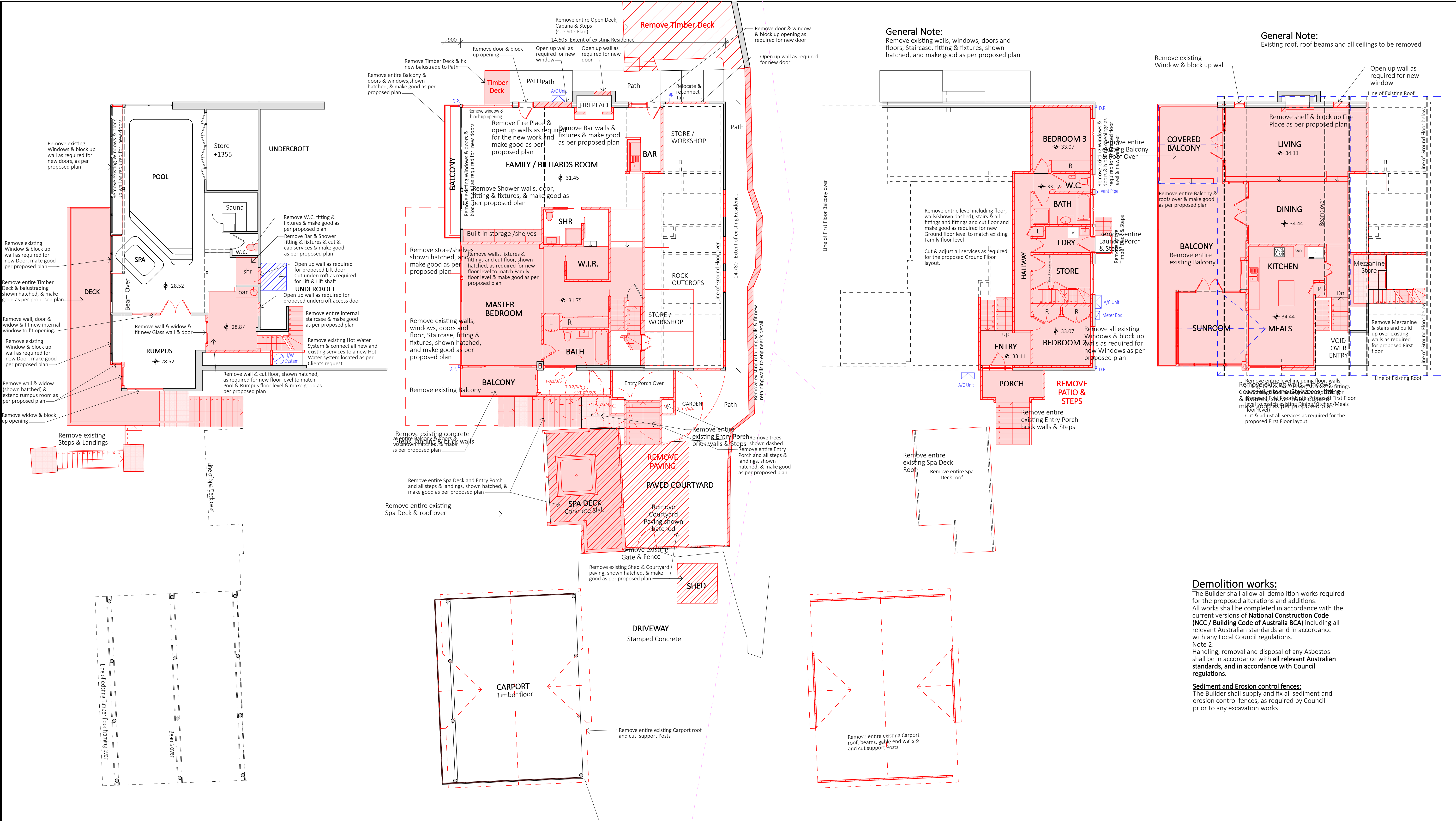
Council : NORTHERN BEACHES Checked By : J. ADAMS

Project No : 2019 Drawing # :

**DA 02**

ANNEXURE "A" Plot Date: 22/09/2021





1 EXISTING LOWER GROUND 1:100

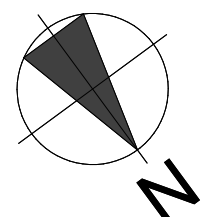
2 EXISTING GROUND FLOOR 1:100

3 EXISTING ENTRY / BEDROOM FLOOR 1:100

4 EXISTING FIRST FLOOR 1:100

**NOTES:**  
All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.  
  
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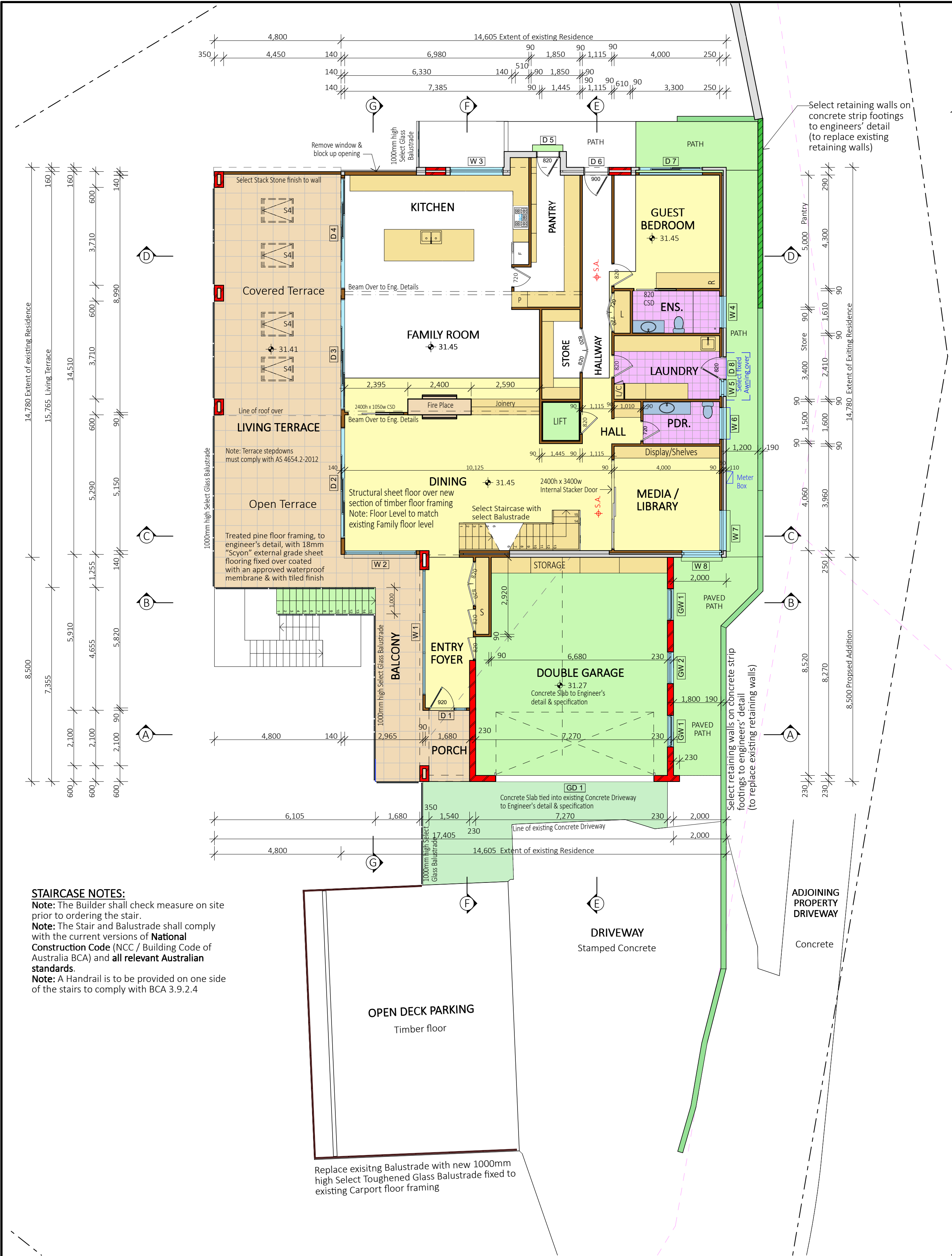
Project North

**LIFESTYLE**  
HOME DESIGNS  
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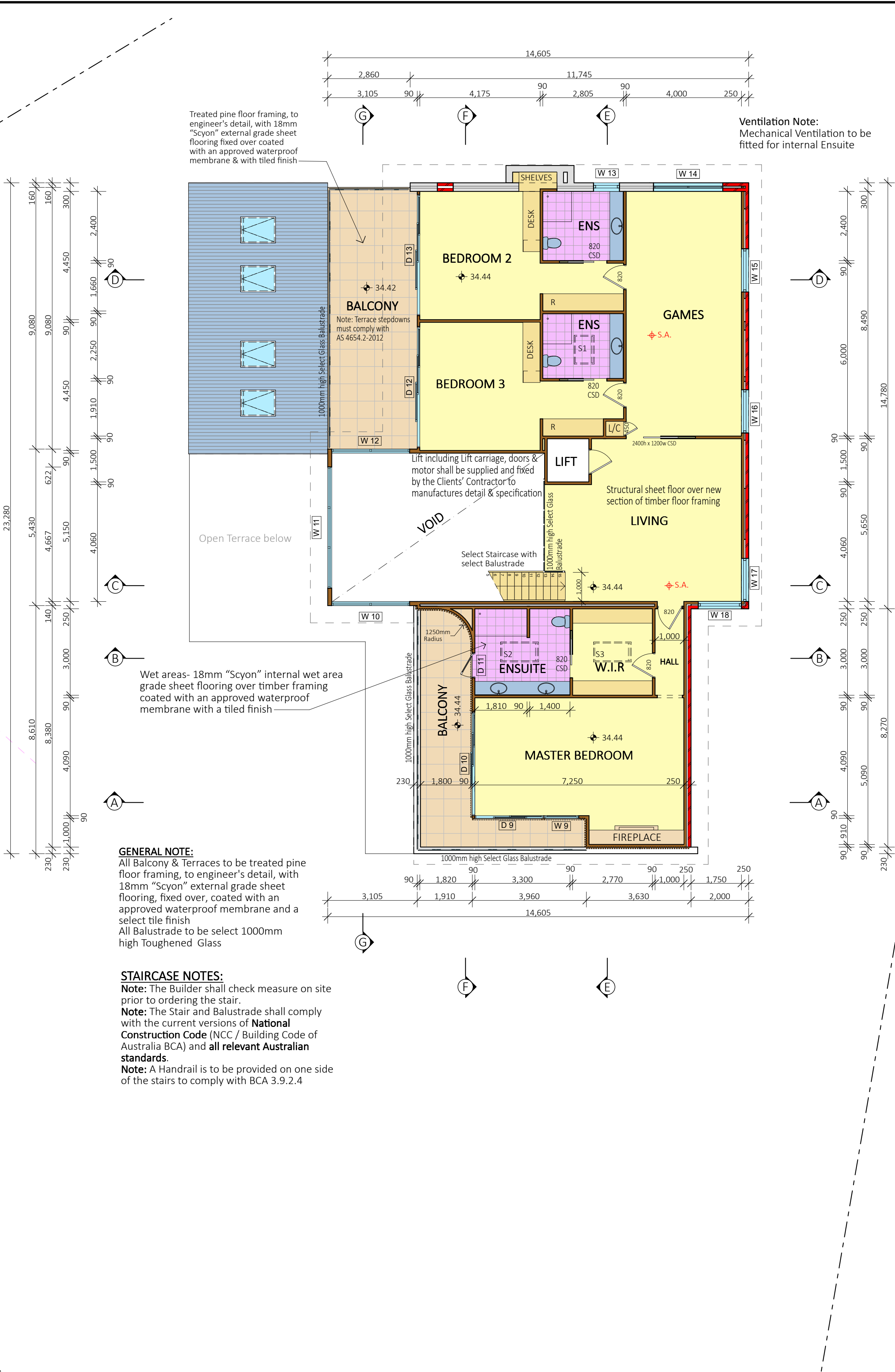
Client  
**MR & MRS KONAREVA**  
Project Name  
**ALTERATIONS & ADDITIONS**  
**LOT 4, DP 567442**  
**23 BAROONA ROAD**  
**CHURCH POINT NSW 2105**  
**ANNEXURE "A"** Plot Date: 22/09/2021

Drawing Title:  
**EXISTING FLOOR PLANS**  
Scale: 1:100 (A1) Date: SEPTEMBER 2021  
Council: NORTHERN BEACHES Checked By: J. ADAMS  
Project No: **2019** Drawing #: **DA 03**





1 PROPOSED GROUND FLOOR 1:100



2 PROPOSED FIRST FLOOR 1:100

**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
Lighting type  
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

**WATER COMMITMENTS:**  
New or altered fixture requirements  
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating.  
Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.  
Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

**HOT WATER SYSTEM:**  
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate

**INSULATION REQUIREMENTS:**  
*Construction / Additional insulation requirement (R-value)*  
concrete slab on ground floor: / nil  
suspended floor with enclosed subfloor: framed (R0.7), / R0.60 (down) (or R1.30 including construction)  
suspended floor above garage: framed (R0.7), / nil  
floor above existing dwelling or building: / nil  
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)  
external wall: external insulated façade system (EIFS) (R3.24) / nil  
internal wall shared with garage: plasterboard (R0.36) / nil  
flat ceiling, pitched roof/ceiling: / R1.45 (up), roof: foil backed blanket (75 mm) raked ceiling, pitched/skillion roof: framed ceiling: / R1.74 (up), roof: foil backed blanket (75 mm)  
The roof shall be of dark colour (solar absorption >0.70)

**WINDOWS & GLAZED DOORS:**  
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.  
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door.  
You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance.  
There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed door.  
If your shading device is a pergola with fixed polycarbonate, you will need to use a tinted polycarbonate capable of blocking a required proportion of the sun's heat. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. If your shading device is a pergola, the frame only is not sufficient. You will need to provide battens to ensure it adequately shades the window or glazed door.  
There are criteria for the batten spacing

**SKYLIGHTS:**  
All skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.  
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate

FLOOR AREA CALCULATIONS - EXISTING	
SITE AREA	3709m <sup>2</sup>
EXISTING LOWER GROUND FLOOR AREA	116m <sup>2</sup>
EXISTING GROUND FLOOR - LOWER AREA	138.5m <sup>2</sup>
EXISTING GROUND FLOOR - UPPER AREA	59.5m <sup>2</sup>
EXISTING FIRST FLOOR	95.5m <sup>2</sup>
SUM TOTAL RESIDENCE	409.5m <sup>2</sup>
SECONDARY DWELLING FLOOR AREA (UNDERCONSTRUCTION)	87.3m <sup>2</sup>
SUM TOTAL - SECONDARY DWELLING (max. permissible 60m <sup>2</sup> or 25% of main residence = 102.4m <sup>2</sup> )	87.3m <sup>2</sup>
TOTAL GROSS FLOOR SPACE	496.8m <sup>2</sup>
FLOOR AREA CALCULATIONS - PROPOSED	
SITE AREA	3709m <sup>2</sup>
PROPOSED LOWER GROUND FLOOR AREA	116m <sup>2</sup>
PROPOSED GROUND FLOOR AREA	208m <sup>2</sup>
PROPOSED GARAGE FLOOR AREA	58m <sup>2</sup>
PROPOSED FIRST FLOOR AREA	190m <sup>2</sup>
SUM TOTAL - RESIDENCE	572m <sup>2</sup>
SECONDARY DWELLING FLOOR AREA (UNDERCONSTRUCTION)	87.3m <sup>2</sup>
SUM TOTAL - SECONDARY DWELLING (max. permissible 60m <sup>2</sup> or 25% of main residence = 102.4m <sup>2</sup> )	87.3m <sup>2</sup>
TOTAL GROSS FLOOR SPACE	659.3m <sup>2</sup>

**NOTES:**  
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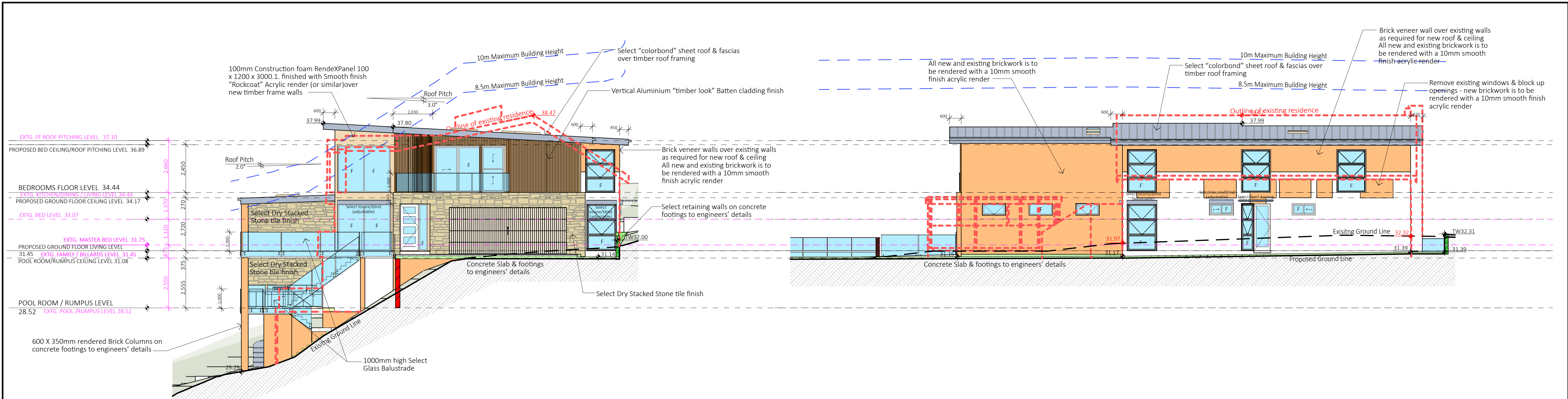
**LIFESTYLE HOME DESIGNS**  
LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

Client  
**MR & MRS KONAREVA**  
Project Name  
**ALTERATIONS & ADDITIONS**  
**LOT 4, DP 567442**  
**23 BAROONA ROAD**  
**CHURCH POINT NSW 2105**  
**ANNEXURE "A"** Plot Date: 22/09/2021

Drawing Title:  
**PROPOSED FLOOR PLANS**

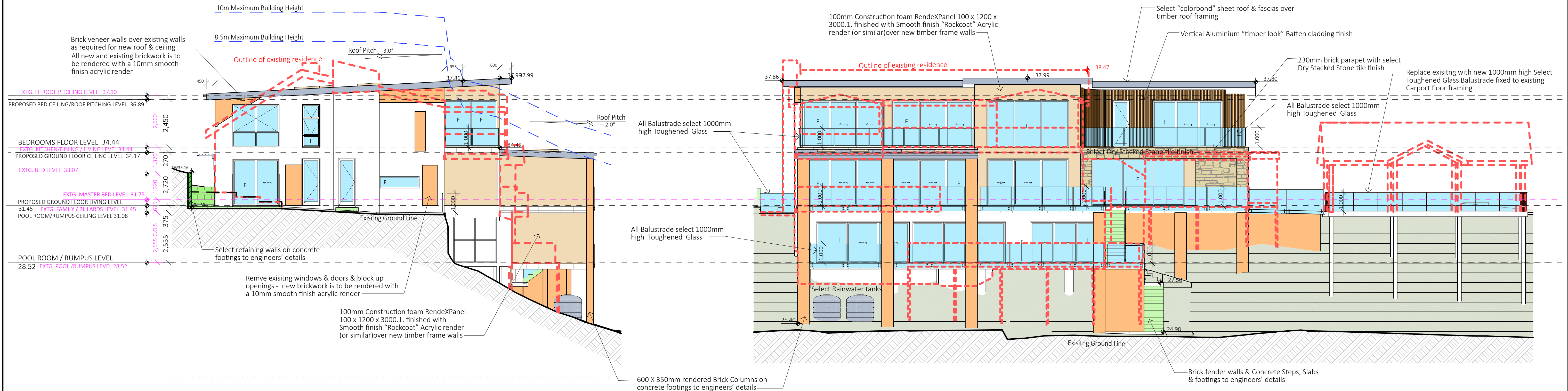
Scale: 1:100 (A1)	Date: SEPTEMBER 2021
Council: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: 2019	Drawing #: DA 04





1 NORTH EAST ELEVATION 1:100

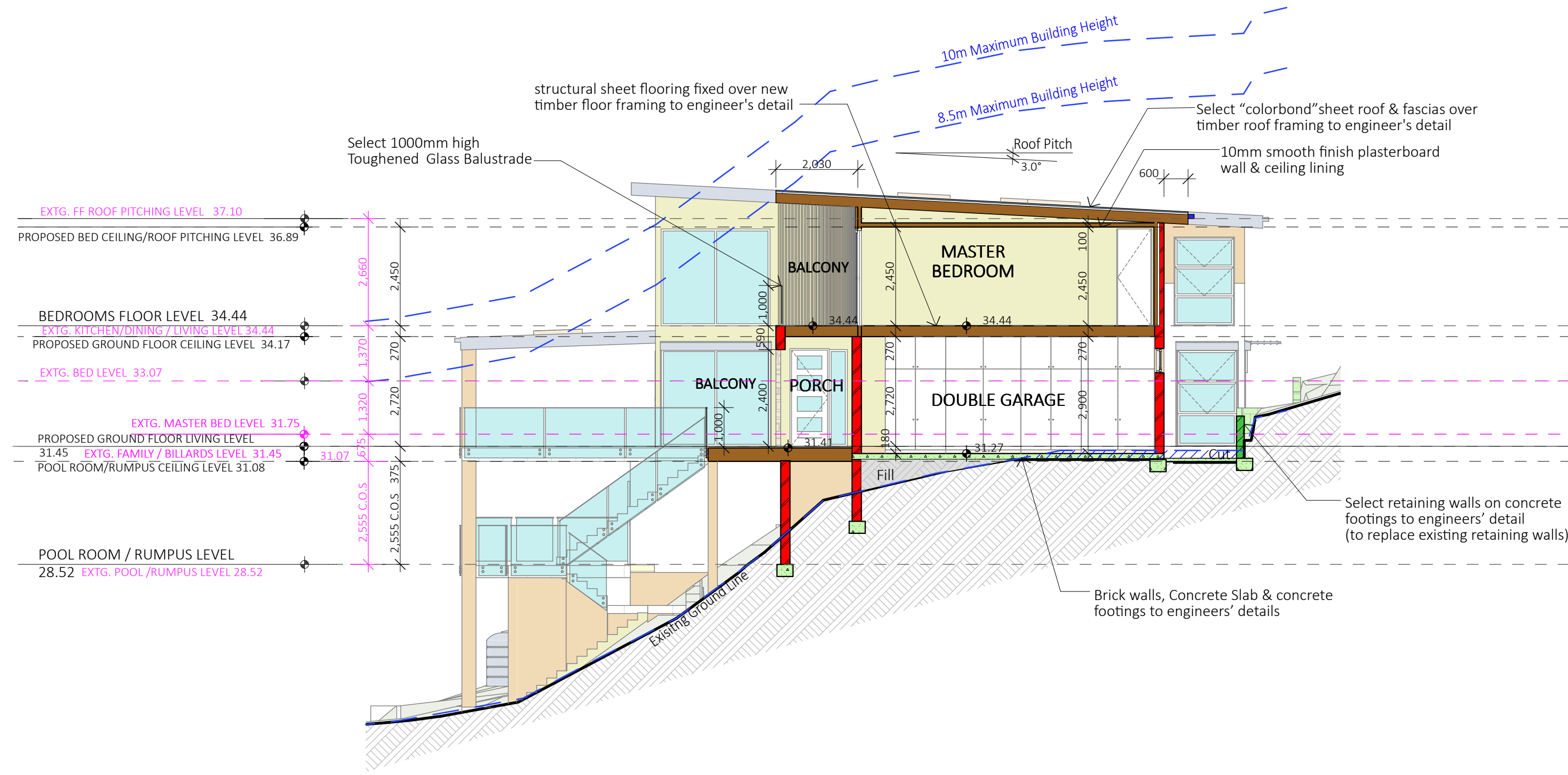
2 NORTH WEST ELEVATION 1:100



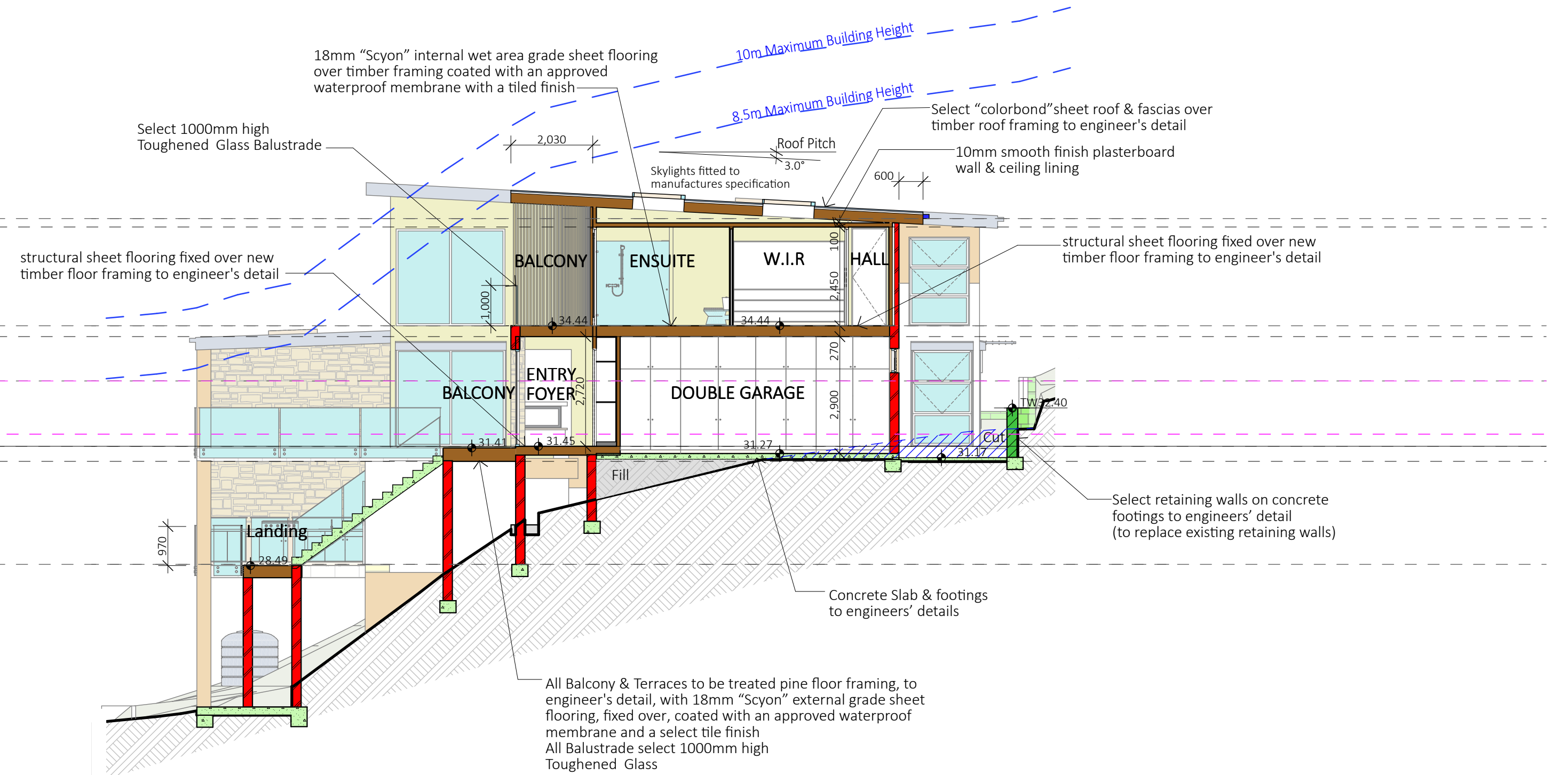
3 SOUTH WEST ELEVATION 1:100

4 SOUTH EAST ELEVATION 1:100

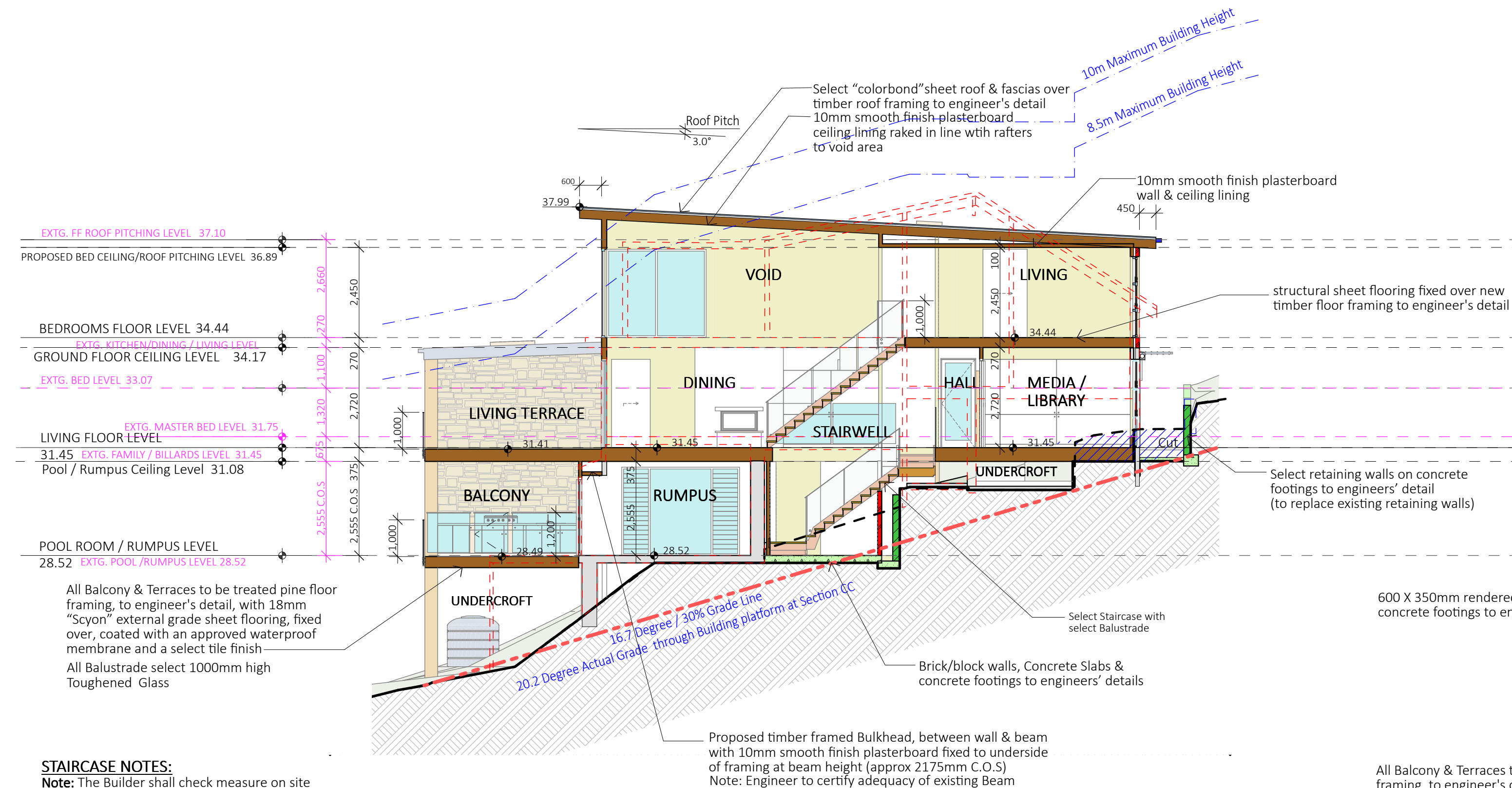




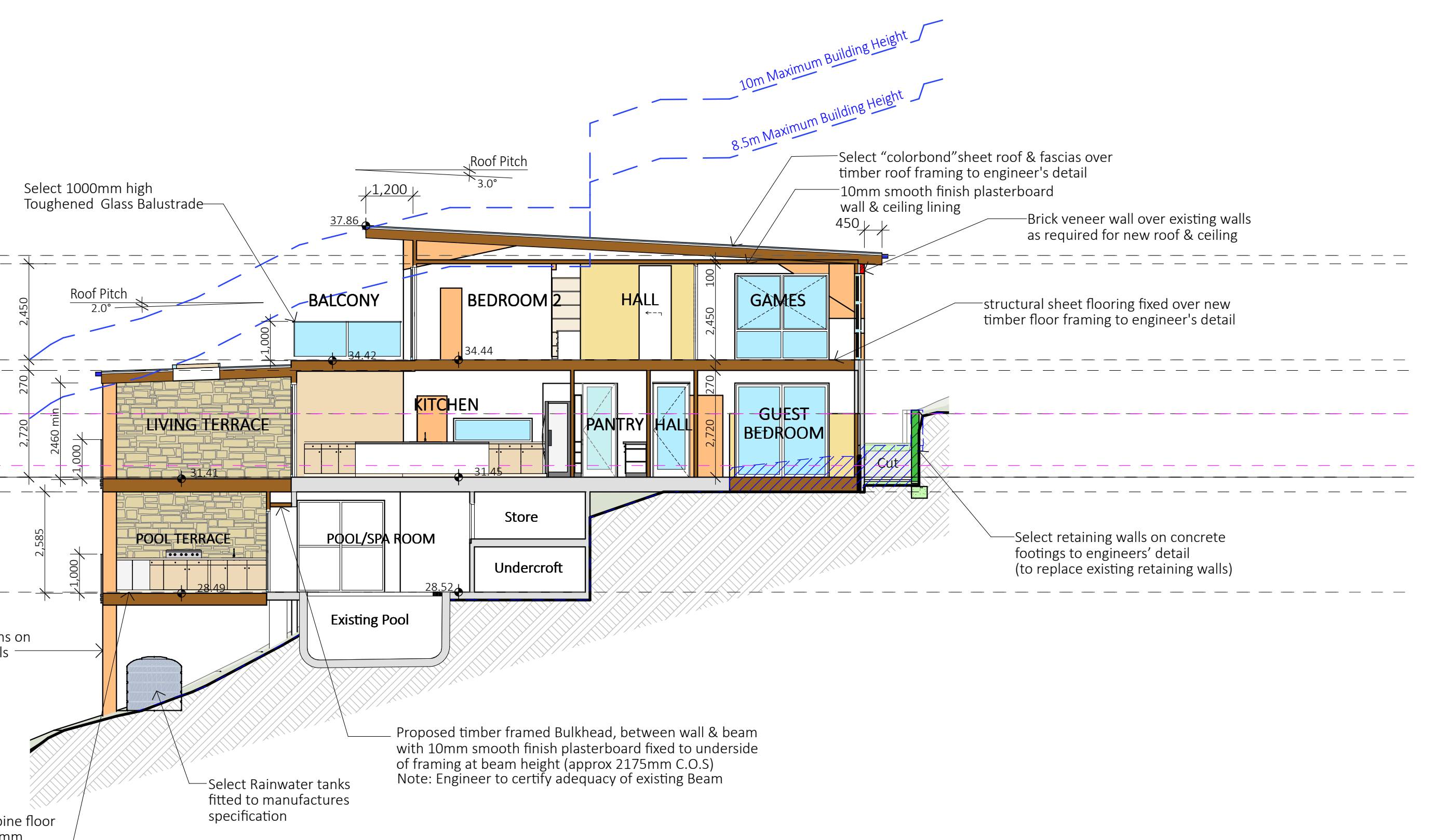
1 SECTION A - A 1:100



2 SECTION B - B 1:100



3 SECTION C - C 1:100



4 SECTION D - D 1:100

#### STAIRCASE NOTES:

**Note:** The Builder shall check measure on site prior to ordering the stair.  
**Note:** The Stair and Balustrade shall comply with the current versions of **National Construction Code (NCC)** / Building Code of Australia (BCA) and all relevant Australian standards.  
**Note:** A Handrail is to be provided on one side of the stairs to comply with BCA 3.9.2.4

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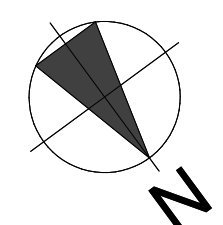
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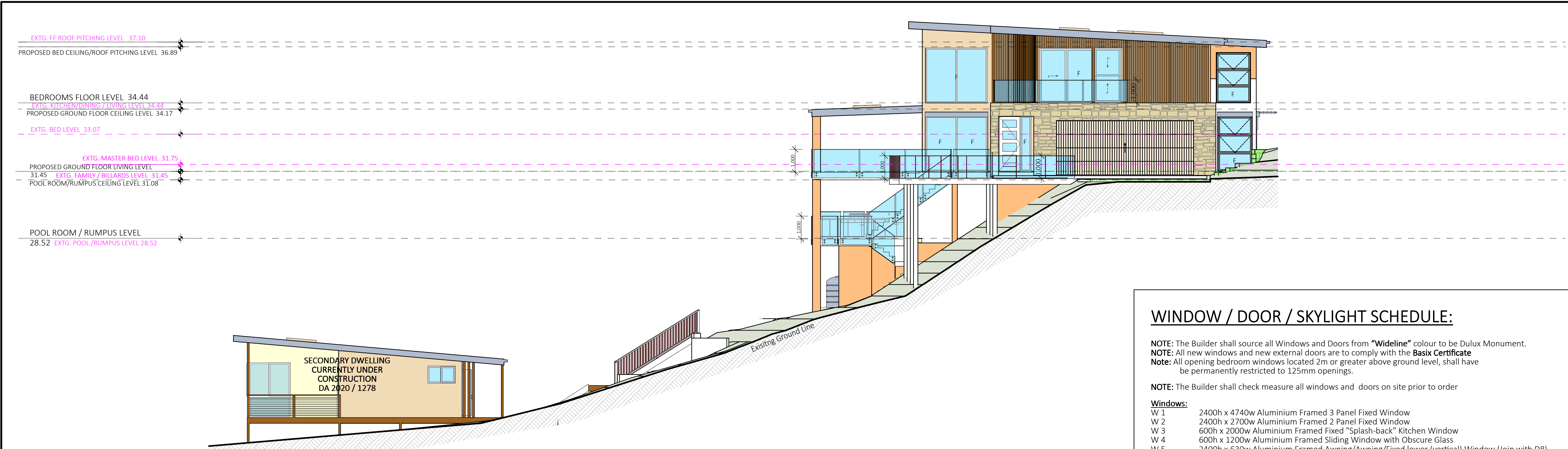
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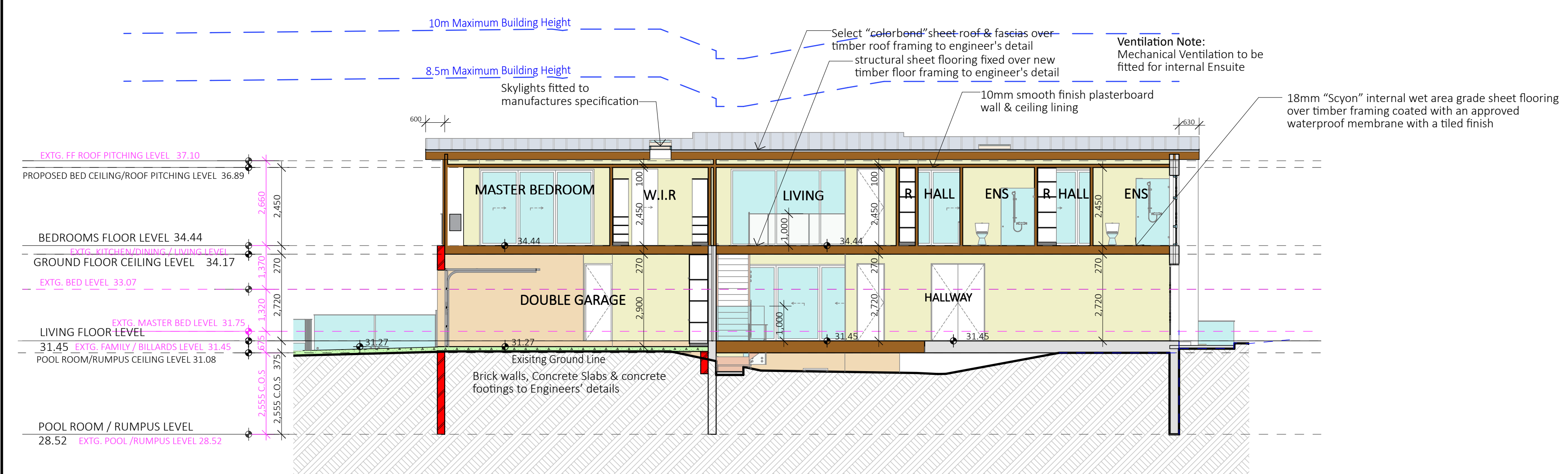
Client  
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 Project Name  
**ALTERATIONS & ADDITIONS**  
**LOT 4, DP 567442**  
**23 BAROONA ROAD**  
**CHURCH POINT NSW 2105**  
**ANNEXURE "A"** Plot Date: 22/09/2021

Drawing Title:  
**SECTIONS A - D**  
 Scale: 1:100 (A1) Date: SEPTEMBER 2021  
 Council: NORTHERN BEACHES Checked By: J. ADAMS  
 Project No: **2019** Drawing #: **DA 06**

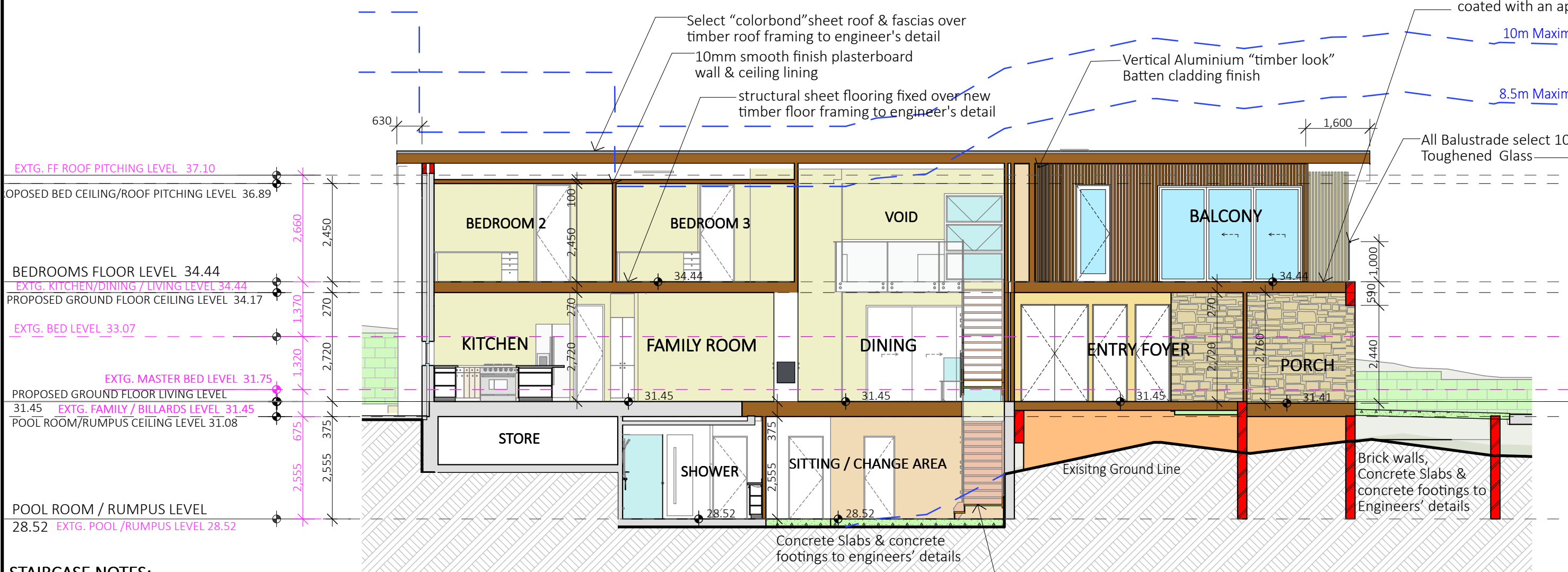




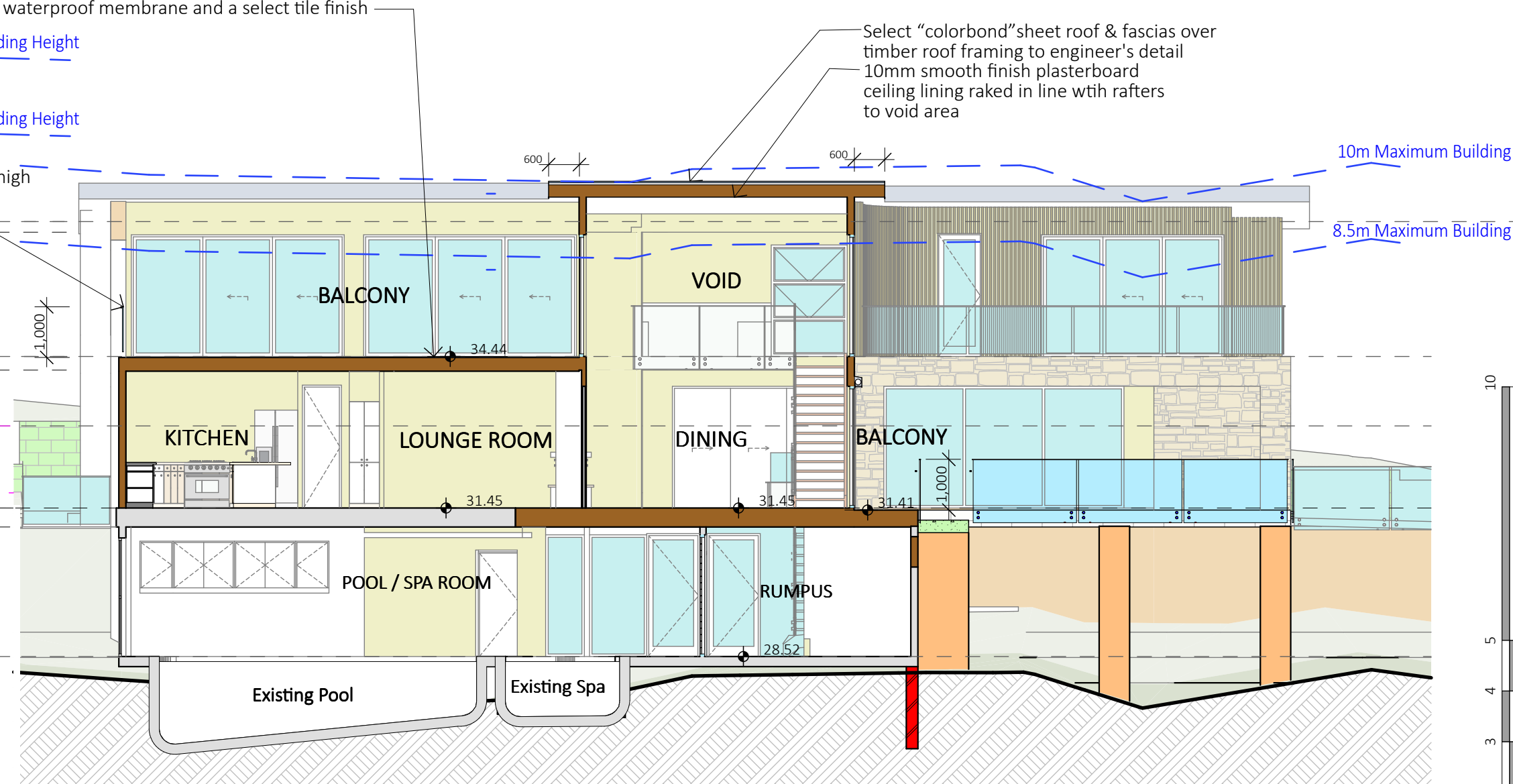
1 NORTH-EAST ELEVATION - FULL 1:100



2 SECTION E - E 1:100



3 SECTION F - F 1:100



4 SECTION G - G 1:100

### WINDOW / DOOR / SKYLIGHT SCHEDULE:

**NOTE:** The Builder shall source all Windows and Doors from "Wideline" colour to be Dulux Monument.  
**NOTE:** All new windows and new external doors are to comply with the **Basix Certificate**  
**Note:** All opening bedroom windows located 2m or greater above ground level, shall have be permanently restricted to 125mm openings.

**NOTE:** The Builder shall check measure all windows and doors on site prior to order

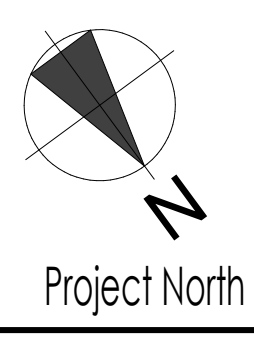
<b>Windows:</b>	
W 1	2400h x 4740w Aluminium Framed 3 Panel Fixed Window
W 2	2400h x 2700w Aluminium Framed 2 Panel Fixed Window
W 3	600h x 2000w Aluminium Framed Fixed "Splash-back" Kitchen Window
W 4	600h x 1200w Aluminium Framed Sliding Window with Obscure Glass
W 5	2400h x 630w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window (Join with D8)
W 6	600h x 1200w Aluminium Framed Sliding Window with Obscure Glass
W 7	2400h x 1500w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
W 8	2400h x 1500w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
W 9	2400h x 1200w Aluminium Framed Double Hung Window
W 10	2400h x 2700w Aluminium Framed 2 Panel Fixed Window
W 11	2400h x 4200w Aluminium Framed 3 Panel Fixed Window
W 12	2400h x 2700w Aluminium Framed 2 Panel Fixed Window
W 13	2200h x 900w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
W 14	2200h x 2400w Aluminium Framed Casement/Casement with fixed lower transom Window
W 15	2200h x 1500w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
W 16	2200h x 1500w Aluminium Framed Awning/Awning (vertical) Window
W 17	2200h x 1500w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
W 18	2200h x 1500w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
GW 1 x 2	600h x 1200w Aluminium Framed Awning Window
GW 2	600h x 1200w Aluminium Framed Fixed Window
Internal W1	2400h x 3200w Aluminium Framed Fixed window
<b>Doors:</b>	
D 1	Select 2400h x 920w Glass Panel Entry Door with 2400h x 450w fixed sidelight
D 2	2400h x 4200w Aluminium Framed 3 Glass Panel Stacker Door
D 3	2400h x 4200w Aluminium Framed 3 Glass Panel Stacker Door
D 4	2400h x 4200w Aluminium Framed 3 Glass Panel Stacker Door
D 5	2400h x 820w Aluminium Framed Glass Panel Hinged Door
D 6	Special - 2400h x 900w Aluminium Framed Glass Panel Hinged Door
<b>Note:</b> Door width to match window 13 over - Check size before order	
D 7	2400h x 2400w Aluminium Framed Glass Panel Sliding Door
D 8	2400h x 920w Aluminium Framed Glass Panel Hinged Door (Join with D5 total 1500mm wide)
D 9	2400h x 2400w Aluminium Framed Glass Panel Sliding Door
D 10	2400h x 3600w Aluminium Framed 3 Glass Panel Stacker Door
D 11	2400h x 820w Aluminium Framed Glass Panel Hinged Door
D 12	2400h x 4200w Aluminium Framed 3 Glass Panel Stacker Door
D 13	2400h x 4200w Aluminium Framed 3 Glass Panel Stacker Door
D 14	2100h x 3600w Aluminium Framed 3 Glass Panel Stacker Door
D 15	2100h x 4800w Aluminium Framed 3 Glass Panel Stacker Door
D 16	2100h x 4800w Aluminium Framed 3 Glass Panel Stacker Door
GD 1	2400h x 5980w Select Garage Door
<b>Skylights:</b>	
S1	VCS 675 x 970mm (2234) Skylight over the proposed Bedroom 3 Ensuite
S2	VCS 675 x 1275mm (2246) Skylight over the proposed Master Bedroom Ensuite
S3	FCM 675 x 1275mm (2246) Skylight over the proposed Master Bedroom Walk in Robe.
S4	4 x FCM 876 x 1181mm (3346) Fixed Skylights over the proposed Living Terrace
Builder shall install Client supplied Skylights in accordance with the manufacturers' instructions.	
☛ S.A. Smoke-alarm - indicates a hard-wired smoke alarm installed in accordance with Clause 3.7.2.3 of the BCA and AS 3786-2014.	

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**BASIX INFORMATION REQUIREMENTS:**  
**LIGHTING:**  
Lighting type  
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.  
**WATER COMMITMENTS:**  
New or altered fixture requirements  
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating.  
Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.  
Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.  
**HOT WATER SYSTEM:**  
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate  
**INSULATION REQUIREMENTS:**  
Construction / Additional insulation requirement (R-value)  
concrete slab on ground floor. / nil  
suspended floor with enclosed subfloor: framed (R0.7) / R0.60 (down) (or R1.30 including construction)  
suspended floor above garage: framed (R0.7) / nil  
floor above existing dwelling or building. / nil  
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)  
external wall: external insulated façade system (EIFS) (R3.24) / nil  
internal wall shared with garage: plasterboard (R0.36) / nil  
flat ceiling, pitched roof/ceiling: / R1.45 (up), roof: foil backed blanket (75 mm) raked ceiling, pitched/skillion roof: framed ceiling: / R1.74 (up), roof: foil backed blanket (75 mm)  
The roof shall be of dark colour (solar absorption >0.70)

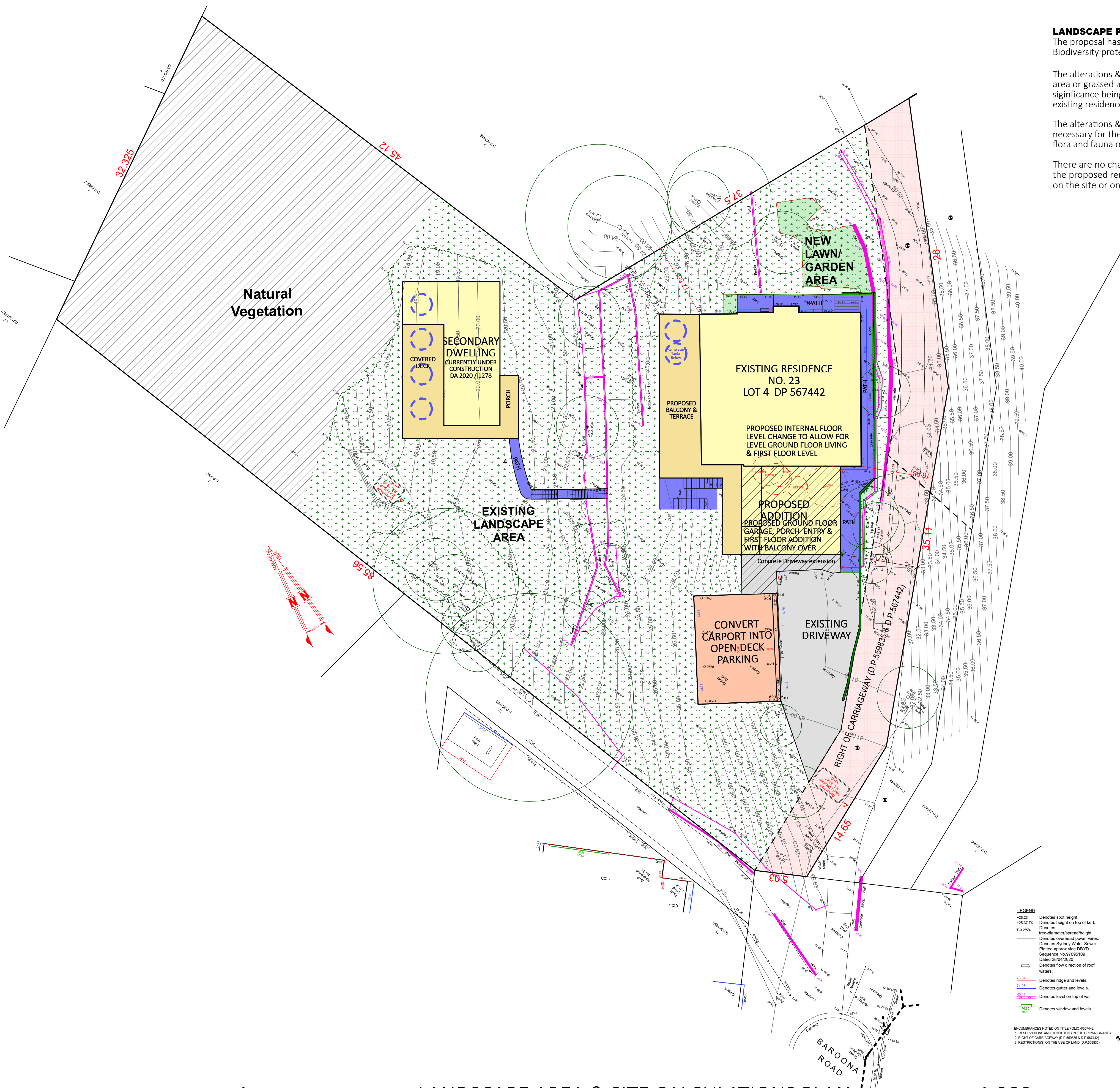
**WINDOWS & GLAZED DOORS:**  
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.  
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door.  
You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance.  
There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed door.  
If your shading device is a pergola with fixed polycarbonate, you will need to use a tinted polycarbonate capable of blocking a required proportion of the sun's heat. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.  
If your shading device is a pergola, the frame only is not sufficient. You will need to provide battens to ensure it adequately shades the window or glazed door.  
There are criteria for the batten spacing  
**SKYLIGHTS:**  
All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.  
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate



**LIFESTYLE HOME DESIGNS**  
LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

Client	
<b>MR &amp; MRS KONAREVA</b>	
Project Name	
<b>ALTERATIONS &amp; ADDITIONS</b>	
<b>LOT 4, DP 567442</b>	
<b>23 BAROONA ROAD</b>	
<b>CHURCH POINT</b>	<b>NSW 2105</b>
Drawing Title: <b>NORTH-EAST ELEVATION - FULL &amp; WINDOW / DOOR SCHEDULE &amp; SECTIONS E - G</b>	
Scale :	Date : SEPTEMBER 2021
Council : NORTHERN BEACHES	Checked By : J. ADAMS
Project No :	Drawing # :
<b>2019</b>	<b>DA 07</b>
<b>ANNEXURE "A"</b>	Plot Date: 22/09/2021





**LANDSCAPE PLAN NOTES:**  
The proposal has been designed to ensure that the objectives of Part 7.6 of the DCP - Biodiversity protection are met.

The alterations & additions to the dwelling will be predominatly over existing hardstand area or grassed area. It will the require removal of 5 trees which are not of any significance being 3 trees x 5m & 2 trees x 4m and all 5 trees are within 3 meters of the existing residence. (Please see Arborists report)

The alterations & additions to the dwelling is unlikely to impact the ecological processes necessary for their continued existence nor is it likely to impact the recovery of native flora and fauna or their habitats and we believe it will not impact on flora and fauna.

There are no changes to existing residence footings and all new footings required for the proposed renovations & additions are not within the critical root zone of any trees on the site or on any neighbouring site.

**LANDSCAPE & BUA LEGEND:**

- EXISTING RESIDENCE/SECONDARY DWELLING
- PROPOSED ADDITION TO DWELLING
- BALCONY & TERRACE
- OPEN DECK PARKING
- EXISTING DRIVEWAY
- DRIVEWAY ADDITION
- PAVED AREA & PATHWAYS
- EXISTING LANDSCAPE AREA (TO REMAIN)
- NEW LAWN/ GARDEN AREA
- NATURAL VEGETATION (ALL TO REMAIN)
- RIGHT OF CARRIAGEWAY (D.P. 559835 & D.P. 567442)
- EXISTING TREE (TO REMAIN)
- TREE TO BE REMOVED (see Arborist report)

**LANDSCAPE & SITE CALCULATIONS - PROPOSED:**

SITE AREA	3709m <sup>2</sup>
SITE AREA Less 348.4m <sup>2</sup> Access Handle	3360.6m <sup>2</sup>
FOOTPRINT OF RESIDENCE (including Garage)	302.5m <sup>2</sup>
OPEN DECK PARKING	82.5m <sup>2</sup>
TERRACE / PORCH	97.5m <sup>2</sup>
PAVED AREAS & PATHWAYS	77m <sup>2</sup>
DRIVEWAY	141.5m <sup>2</sup>
FOOTPRINT OF SECONDARY DWELLING	91.25m <sup>2</sup>
COVERED DECKS - SECONDARY DWELLING	61m <sup>2</sup>
PATHWAY - SECONDARY DWELLING	9m <sup>2</sup>
SUM TOTAL	862.25m <sup>2</sup>
LESS 6% SITE AREA (IMPERVIOUS LANDSCAPING TREATMENT)	-201.6m <sup>2</sup>
SUM TOTAL	660.65m <sup>2</sup>
SITE COVERAGE %	20%
PROPOSED LANDSCAPED AREA	2699.95m <sup>2</sup>
LANDSCAPE COVERAGE %	80%

**LEGEND**  
+26.23 Denotes spot height.  
+26.37 T.O. Denotes height on top of curb.  
T.O. 2154 Denotes tree-diameter/branch-height.  
Denotes overhead power wires.  
Denotes Sydney Water Sewer.  
Potted approx wide (SDV)  
Sequence No. 07705109  
Dated 28/04/2020  
Denotes flow direction of roof waters.  
79.37 Denotes ridge and levels.  
74.26 Denotes gutter and levels.  
74.26 Denotes level on top of wall.  
74.26 Denotes window and levels.

**EXPLANATIONS NOTED ON TITLE FOLD 450/0426**  
1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS  
2. RIGHT OF CARRIAGEWAY (D.P. 559835 & D.P. 567442)  
3. RESTRICTIONS ON THE USE OF LAND (D.P. 559835)

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floor above existing dwelling or building: / nil  
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external wall: external insulated facade system (EIFS) (R3.24) / nil  
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The roof shall be of dark colour (solar absorption >0.70)

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Project Name  
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**23 BAROONA ROAD**  
**CHURCH POINT NSW 2105**

Drawing Title: **SITE BUILT-UPON AREA & LANDSCAPE CALCULATIONS PLAN**

Scale: 1:200 (A1)	Date: SEPTEMBER 2021
Council: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: 2019	Drawing #: DA 08
ANNEXURE "A"	Plot Date: 22/09/2021



EXISTING & PROPOSED 3PM SHADOW  
NOTE: ENTIRE PROPERTY & SITE  
OVERSHADOWED BY THE HILL ABOVE

LEGEND

- EXISTING SHADOWS - 9AM 21 JUNE
- ADDITIONAL SHADOWS - 9AM 21 JUNE
- EXISTING SHADOWS - 12PM 21 JUNE
- ADDITIONAL SHADOWS - 12PM 21 JUNE
- REDUCED SHADOWS - 12PM 21 JUNE
- EXISTING SHADOWS - 3PM 21 JUNE
- ADDITIONAL SHADOWS - 3PM 21 JUNE

- Existing roof - flow direction of Roof Waters
- Proposed roof - flow direction of Roof Waters

1

SHADOW DIAGRAM - EXISTING & PROPOSED - JUNE 21

1:200

AT 9AM, 12 NOON & 3PM

- LEGEND
- Denotes spot height.
- Denotes height on top of kerb.
- Denotes tree-diameter/spread/height.
- Denotes overhead power wires.
- Denotes Sydney Water Sewer.
- Pictured approx. via DSD/D
- Sequence No. 07055109
- Dated 28/04/2020
- Denotes flow direction of roof waters.
- Denotes ridge and levels.
- Denotes gutter and levels.
- Denotes level on top of wall.
- Denotes window and levels.

ENCUMBRANCES NOTED ON TITLE FOLIO 456162

1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS

2. RIGHT OF CARPENTRY (D.P. 55855 & D.P. 55842)

3. RESTRICTIONS ON THE USE OF LAND (D.P. 55855)

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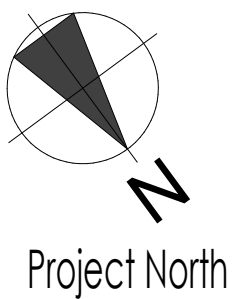
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Project Name  
**ALTERATIONS & ADDITIONS**  
**LOT 4, DP 567442**  
**23 BAROONA ROAD**  
**CHURCH POINT NSW 2105**

Drawing Title:

SHADOW DIAGRAMS

Scale: 1:200 (A1) Date: SEPTEMBER 2021

Council: NORTHERN BEACHES Checked By: J. ADAMS

Project No: 2019 Drawing #: DA 09

ANNEXURE "A" Plot Date: 22/09/2021