

BASIX COMMITMENTS

- 1.All construction to comply with Basix certificate A480553
- 2.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
- 3. Minimum 3 star water rating shower heads to be installed
- 4. Minimum 3 star water rating toilets to be installed
- 5. Minimum 3 star water taps to be installed
- 6. Minimum R1.16 insulation to be installed to all external brick veneer walls (minimum combined Rvalue with construction R1.7)
- 7. Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)
- 8. Foil sarking to be installed below all new tiled roofs with minimum R2.5 insulation to all ceilings

GENERAL NOTES

- 1. The Works shall be constructed in accordance with Building Code of Australia and all relevant Australian Standards together with any amendment or replacement of those Standards
- 2.Smoke alarms shall be installed in accordance with Part 3.7.5 of the NCC2019/BCA, AS 3786 and Manufacturers Specification recommendations and connected to consumer mains power and interconnected where there is more than one alarm.
- 3. Balustrade construction shall comply with the provisions of Part 3.9.2 of the NCC2019/BCA . Balustrades shall have a minimum height of 1m and no openings greater than 125mm
- 4. All external wall Claddings must be compliant with the requirements of NCC 2019/BCA Part 3.5.4. deemed to satisfy provisions and As/NZS 1859.4
- 5. All windows to be restricted in accordance with NCC2019/BCA Part 3.9.2.6 & Part 3.9.2.7. Protection of openable windows where floor below is greater than 2 meters

SITE CALCULATIONS

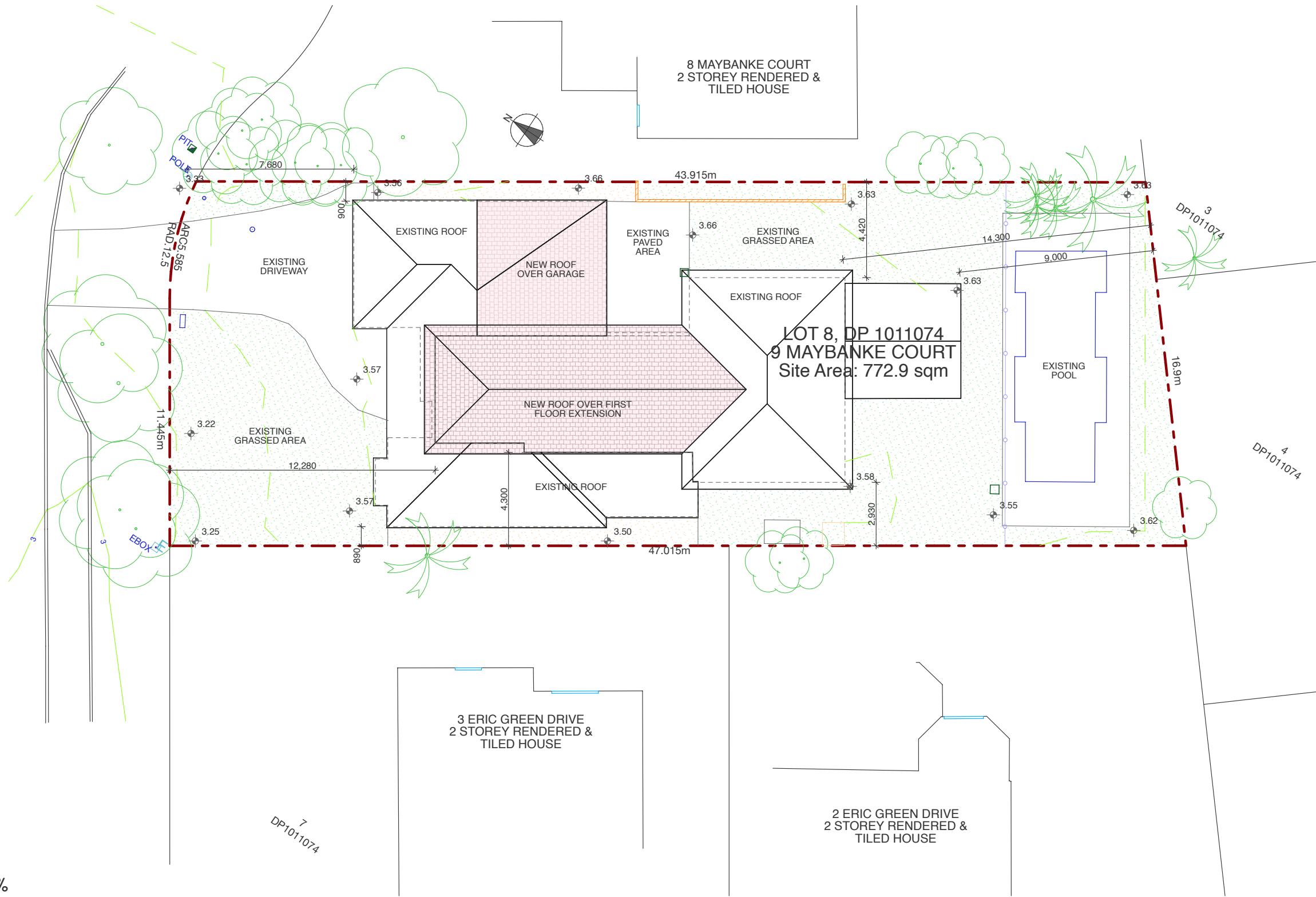
Site Area : 772.9 sqm

Existing Soft Landscaped area - 327sqm = 42.31%

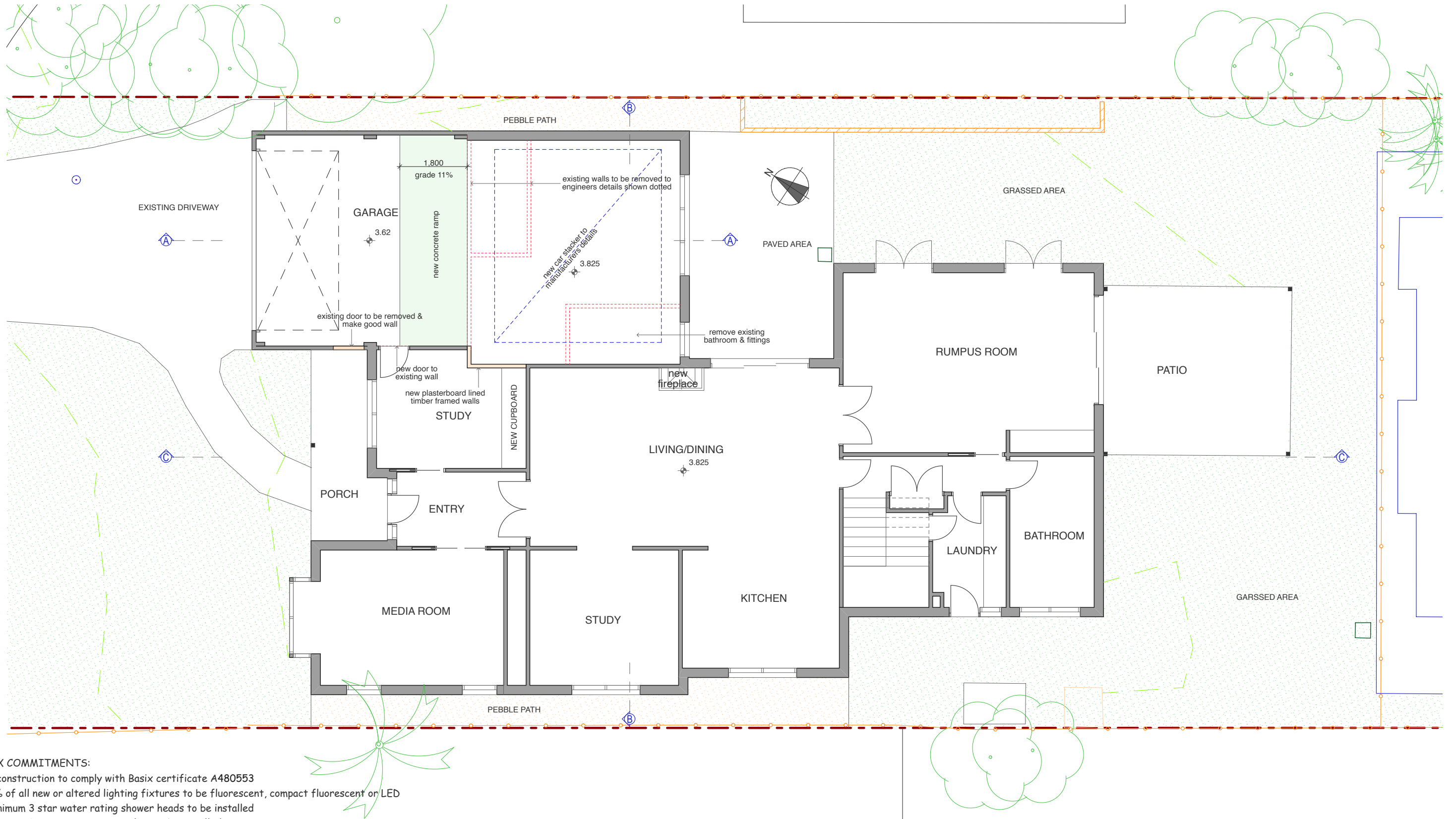
Proposed Soft Landscaped area - 327sqm = 42.31%

MAYBANKE

COURT



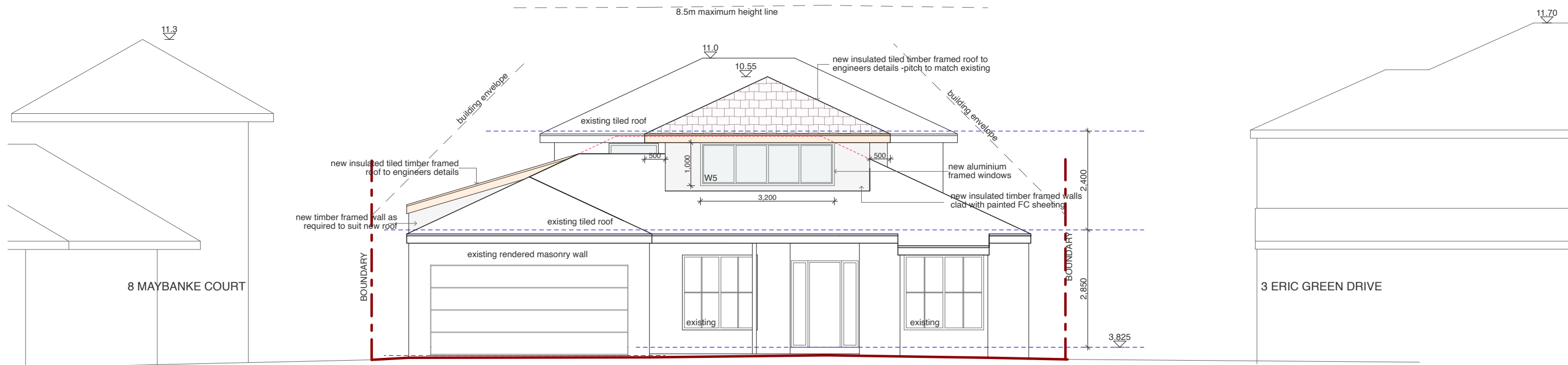
AMENDMENTS 'A' - Feb 2023 - gradient of ramp from existing garage to new garage lessened to 11%	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173	ALTERATIONS AND ADDITIONS for: A. Warne & A. Hughes at: LOT 8, DP 1011074, 9 Maybanke Court MONA VALE, 2103	drawing title SITE PLAN	date: DECEMBER 2022 scale: 1:200 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA-01A



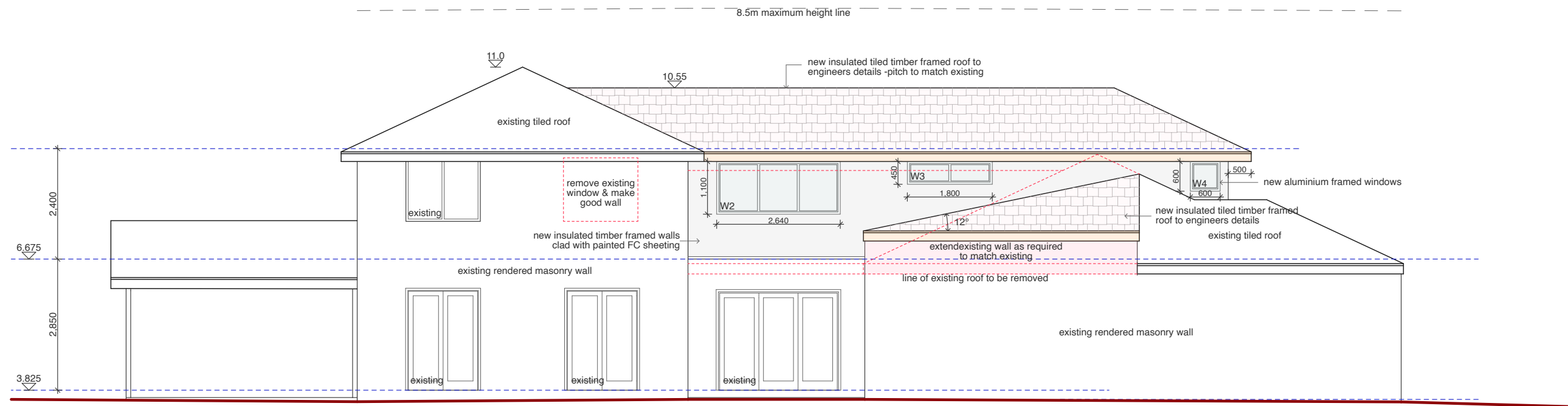
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			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA-02A

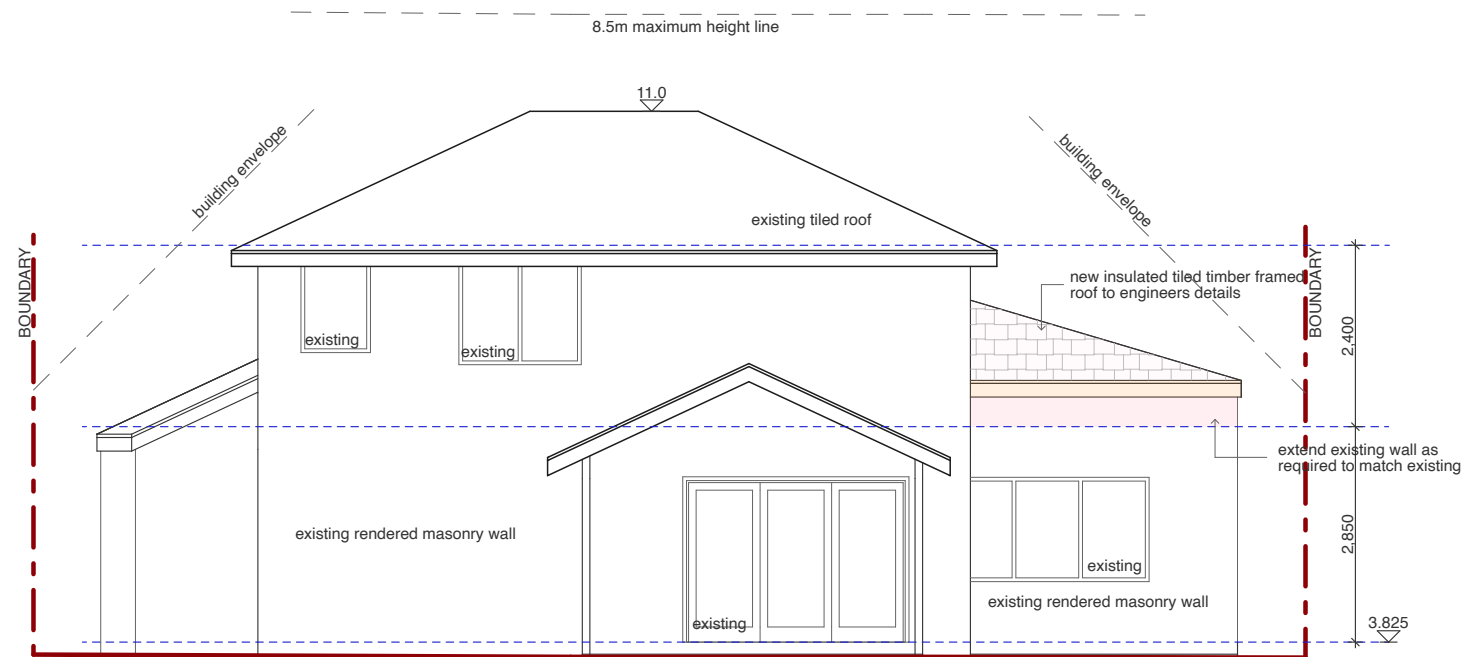


NORTH WEST ELEVATION

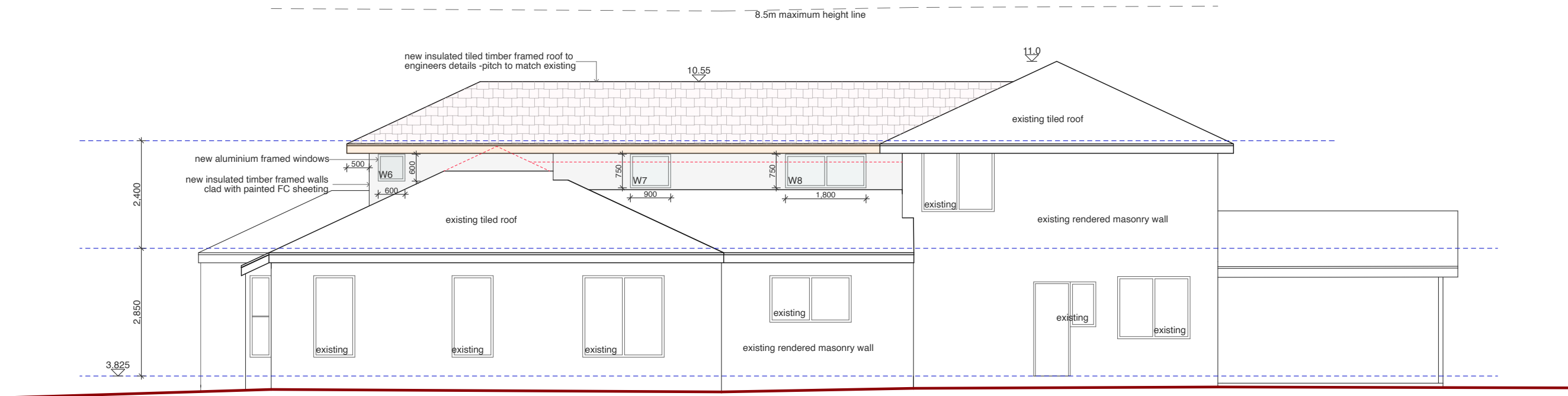


NORTH EAST ELEVATION

<p>AMENDMENTS</p> <p>'A' - Feb 2023 - gradient of ramp from existing garage to new garage lessened to 11%</p>	<p>JO WILLMORE DESIGNS</p> <p>11 Hudson Parade</p> <p>Clareville NSW 2107</p> <p>(02) 9918 2479</p> <p>ABN 27 370 370 173</p>	<p>ALTERATIONS AND ADDITIONS</p> <p>for: A. Warne & A. Hughes</p> <p>at: LOT 8, DP 1011074, 9 Maybanke Court</p> <p>MONA VALE, 2103</p>	<p>drawing title</p> <p>ELEVATIONS</p> <p>NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work</p>	<p>date: DECEMBER 2022</p> <p>scale: 1:100 (A3)</p> <p>drawing number</p> <p>DA-04A</p>
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SOUTH EAST ELEVATION



SOUTH WEST ELEVATION

AMENDMENTS
'A' - Feb 2023 - gradient of ramp from existing garage to new garage lessened to 11%

JO WILLMORE DESIGNS
11 Hudson Parade
Clareville NSW 2107
(02) 9918 2479
ABN 27 370 370 173

ALTERATIONS AND ADDITIONS

for: A. Warne & A. Hughes
at: LOT 8, DP 1011074, 9 Maybanke Court
MONA VALE, 2103

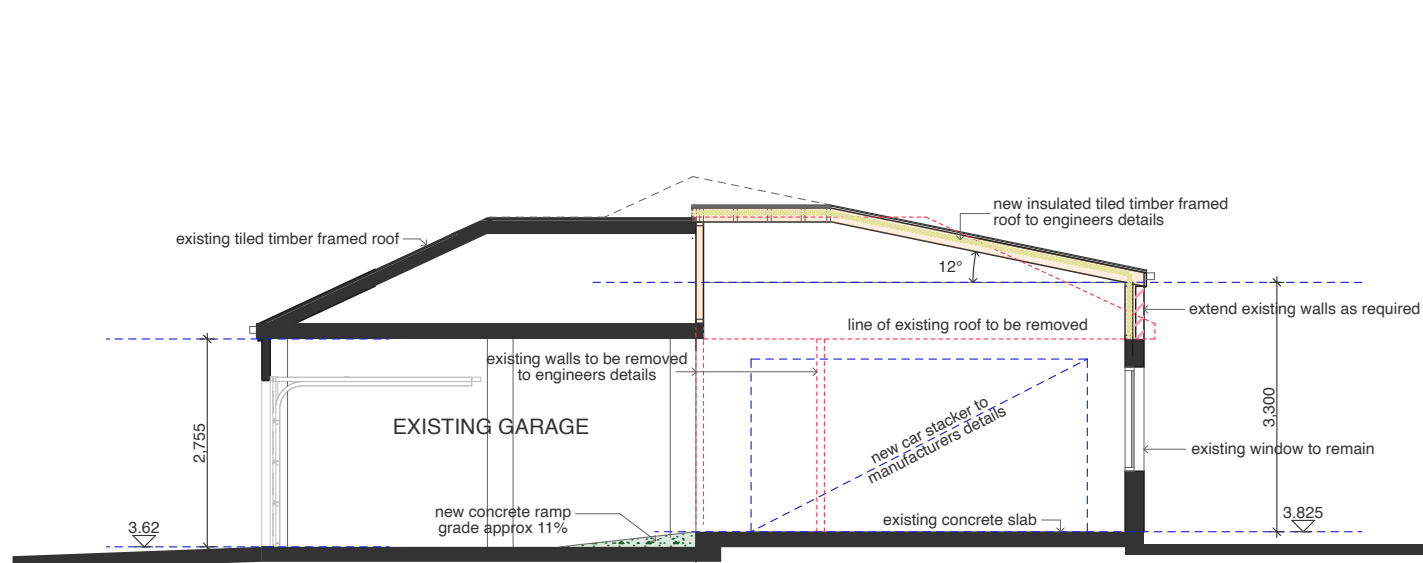
drawing title
ELEVATIONS

NOTE: Use figured dimension only.
Do not scale off drawings. All levels and
dimensions to be verified prior to construction
of work

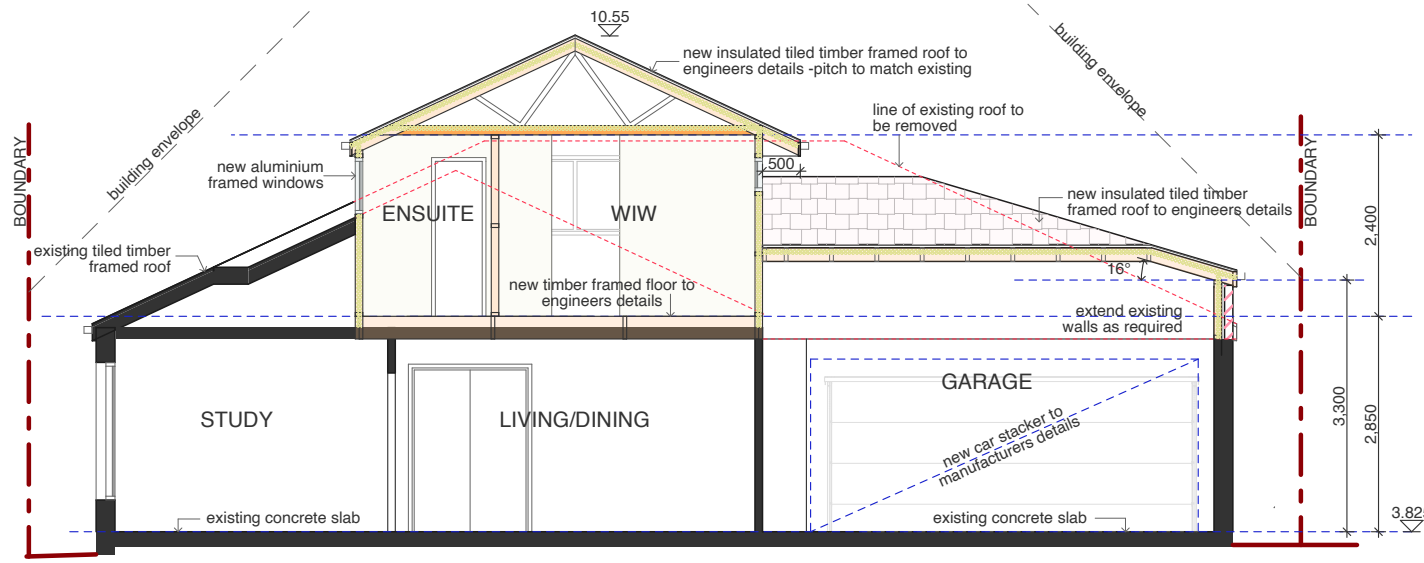
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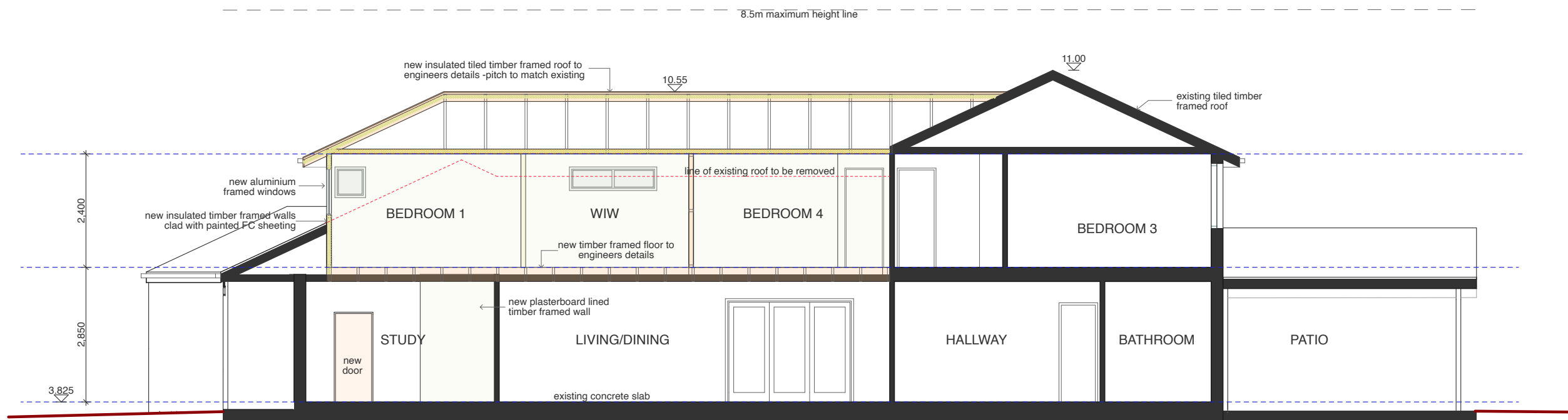
drawing number
DA-05A



SECTION AA



SECTION BB



SECTION CC

AMENDMENTS

'A' - Feb 2023 - gradient of ramp from existing garage to new garage lessened to 11%

JO WILLMORE DESIGNS
11 Hudson Parade
Clareville NSW 2107
(02) 9918 2479
ABN 27 370 370 173

ALTERATIONS AND ADDITIONS

for: A. Warne & A. Hughes
at: LOT 8, DP 1011074, 9 Maybanke Court
MONA VALE, 2103

drawing title

SECTIONS

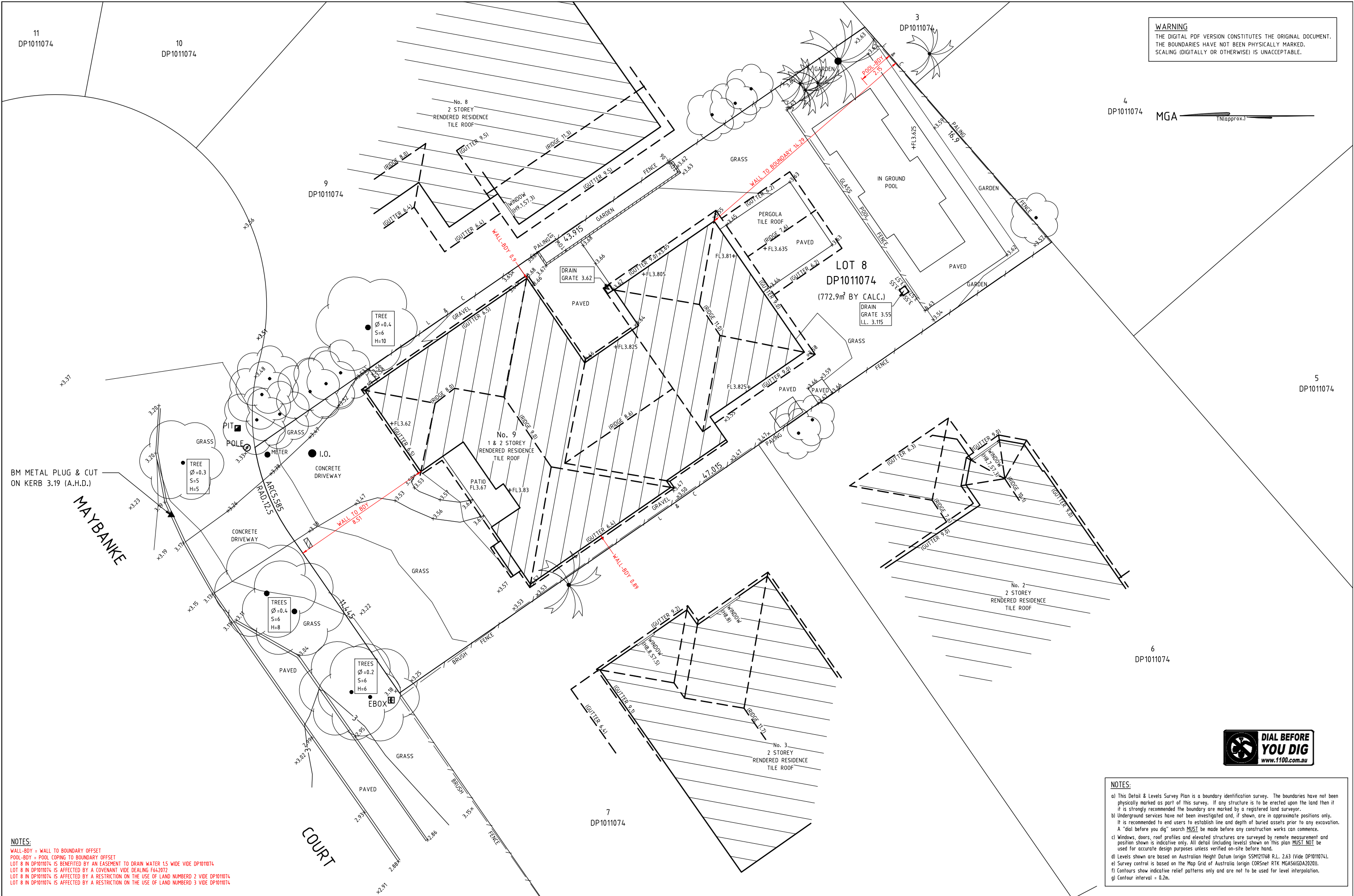
NOTE: Use figured dimension only.
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date: DECEMBER 2022

scale: 1:100 (A3)

drawing number

DA-06A



WARNING
THE DIGITAL PDF VERSION CONSTITUTES THE ORIGINAL DOCUMENT.
THE BOUNDARIES HAVE NOT BEEN PHYSICALLY MARKED.
SCALING (DIGITALLY OR OTHERWISE) IS UNACCEPTABLE.

4
DP1011074 MGA

5
DP1011074

6
DP1011074

7
DP1011074

NOTES:
WALL-BOY - WALL TO BOUNDARY OFFSET
POOL-BOY - POOL COPING TO BOUNDARY OFFSET
LOT 8 IN DP1011074 IS BENEFITED BY AN EASEMENT TO DRAIN WATER 1.5 WIDE VIDE DP1011074
LOT 8 IN DP1011074 IS AFFECTED BY A COVENANT VIDE DEALING F642072
LOT 8 IN DP1011074 IS AFFECTED BY A RESTRICTION ON THE USE OF LAND NUMBER 2 VIDE DP1011074
LOT 8 IN DP1011074 IS AFFECTED BY A RESTRICTION ON THE USE OF LAND NUMBER 3 VIDE DP1011074



NOTES:
a) This Detail & Levels Survey Plan is a boundary identification survey. The boundaries have not been physically marked as part of this survey. If any structure is to be erected upon the land then it is strongly recommended the boundary are marked by a registered land surveyor.
b) Underground services have not been investigated and, if shown, are in approximate positions only. It is recommended to end users to establish line and depth of buried assets prior to any excavation. A "dial before you dig" search **MUST** be made before any construction works can commence.
c) Windows, doors, roof profiles and elevated structures are surveyed by remote measurement and position shown is indicative only. All detail (including levels) shown on this plan **MUST NOT** be used for accurate design purposes unless verified on-site before hand.
d) Levels shown are based on Australian Height Datum (origin: SM121768 R.L. 2.63 (Vide DP1011074)).
e) Survey control is based on the Map Grid of Australia (origin: CORSnet RTK MGA56(GDA2020)).
f) Contours show indicative relief patterns only and are not to be used for level interpolation.
g) Contour interval = 0.2m.

COLOUR SCHEDULE
ALTERATIONS & ADDITIONS
9 MAYBANKE COURT, MONA VALE
FOR: A. WARNE & A. HUGHES

ROOF



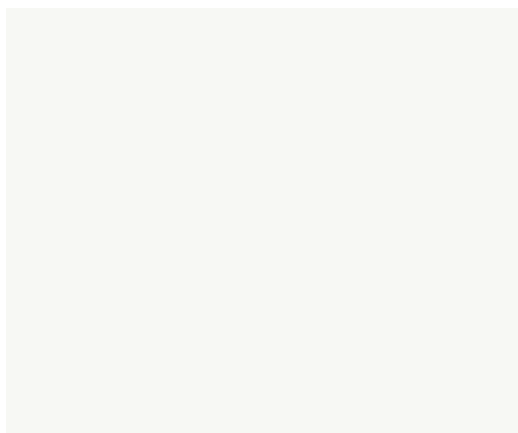
CONCRETE TILE TO MATCH EXISTING
COLOUR 'STRONG BASALT'

WALLS



CLADDING PAINTED SIMILAR TO
EXISTING
DULUX - 'ENDLESS DUSK'

TRIM/POSTS/FASCIAS



PAINTED - WHITE'

WINDOWS



ALUMINIUM FRAMED - WHITE