

GENERAL NOTES:-

- THIS SURVEY IS NOT A LAND SURVEY AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.
- ONLY TREES GREATER THAN 2 METRES IN HEIGHT ARE SHOWN ON THIS PLAN AND THEIR POSITIONS ARE DIAGRAMMATIC ONLY AND MAY REQUIRE ADDITIONAL SURVEY WHERE CRITICAL TO DESIGN.
- CONTOURS ARE INDICATIVE AT GROUND FORM ONLY. SPOT LEVELS ONLY SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- LEVELS ARE ON AUSTRALIAN HEIGHT DATUM (A.H.D.)
- THE CONTOUR INTERVAL IS 0.5m
- ALL SETOUT LEVELS MUST BE REFERRED TO THE BENCH MARK SHOWN ON THIS PLAN.

BOUNDARY NOTES:-

- A BASIC BOUNDARY SURVEY HAS BEEN UNDERTAKEN SUITABLE FOR DA LODGEMENT PURPOSES.
- BOUNDARIES HAVE NOT BEEN MARKED.

SURVEY INFORMATION NOTES:-

- THE SURVEY IS NOT ON A DEFINED COORDINATE SYSTEM.
- THE ORIGIN OF LEVELS COMES FROM SSM40537 RL31.39 AHD CLASS LC ADOPTED FROM SCIMS DATED 02/03/2020.
- THE ORIENTATION OF THIS PLAN IS APPROXIMATE TRUE NORTH BASED ON THE ASSUMPTION THAT THE VARIATION OF TRUE NORTH TO MAGNETIC NORTH IS 9°36'. THIS HAS NOT BEEN VERIFIED AS PART OF THIS PLAN AND SHOULD YOU REQUIRE MORE ACCURATE DETERMINATION OF TRUE NORTH A FURTHER SURVEY IS REQUIRED.

SERVICES NOTES:-

- UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM 'DIAL-BEFORE-YOU-DIG' PLANS AND ARE QUALITY LEVEL D AS DEFINED BY AS 5488-2013.
- ALL RELEVANT AUTHORITIES MUST BE CONTACTED TO DETERMINE THE FULL EXTENT OF SERVICES PRIOR TO ANY PLANNING OR WORKS NEAR THE SITE.

CERTIFICATE OF TITLE NOTES:-

- THE FOLLOWING INFORMATION IS FROM THE CERTIFICATE OF TITLE DATED 12/04/2006 EDITION NO.7, SEARCH DATE 02/03/2020.
- LOT 22 IN DP15762 IS AFFECTED BY:
 - *COVENANT (C165486)
 - *POSITIVE COVENANT (AC238068)
- COVENANTS AND RESTRICTIONS NOTED ON THE TITLE HAVE NOT BEEN INVESTIGATED. THESE SHOULD BE INVESTIGATED PRIOR TO DESIGN TO ENSURE ANY FUTURE DEVELOPMENT COMPLIES.

LEGEND:-

- TK denotes TOP OF KERB
GUT denotes KERB GUTTER
LIP denotes LIP LINE
CL denotes CENTRELINE
COM denotes COMMUNICATIONS PIT
PP denotes POWER POLE
RL denotes REDUCED LEVEL
IL denotes INVERT LEVEL
FL denotes FLOOR LEVEL
D-SH denotes DIAMETER, SPREAD AND HEIGHT OF TREE
W-B denotes RENDERED WALL TO BOUNDARY

APPROX TRUE NORTH
1°36'
MM BY DP15762

NARRABEEN

PARK

PARADE

BRUCE

STREET

UNDERGROUND SERVICES LEGEND - QUALITY LEVEL D (AS 5488-2013)

W	POTABLE WATER MAIN
D	STORMWATER PIPE
C	COMMUNICATIONS CABLES
E	ELECTRICITY CABLES
G	GAS MAIN

CAUTION: FIBRE OPTIC CABLES ARE PRESENT IN THIS AREA

APPROXIMATE POSITION ONLY VIDE 'DIAL-BEFORE-YOU-DIG' PLANS
JOB No. 19114004. WHERE CRITICAL TO DESIGN, UNDERGROUND SERVICES SHOULD BE LOCATED BY MORE ACCURATE METHODS.

SERVICES NOTES:-

- ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN LOCATED AND IF SHOWN AS "A, B, C, D" ARE QUALITY LEVEL A AS DEFINED BY AS 5488-2013. LEVELS SHOWN ARE SURFACE LEVELS UNLESS NOTED OTHERWISE.
- UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM 'DIAL-BEFORE-YOU-DIG' PLANS AND ARE QUALITY LEVEL D AS DEFINED BY AS 5488-2013. ALL RELEVANT AUTHORITIES MUST BE CONTACTED TO DETERMINE THE FULL EXTENT OF SERVICES PRIOR TO ANY PLANNING OR WORKS NEAR THE SITE.

I CERTIFY THAT A BASIC BOUNDARY SURVEY HAS BEEN UNDERTAKEN AND THIS SURVEY PLAN IS ON A.H.D. AS DESCRIBED IN THE SURVEY INFORMATION NOTES.

MICHAEL TRIFIRO
Land Surveyor Registered under
The Surveying and Spatial Information Act 2002

22
DP 15762
547.7m²

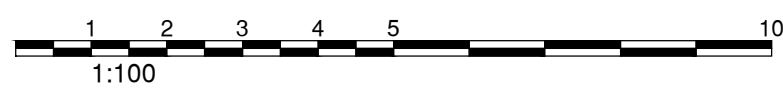
KERB INLET PIT
Grate RL33.47
Invert RL32.6

CH 184°13'40" - 6.985
R/C 3.916
R/C 3.96

5.975
184°13'40"

22.51
179°33'

BENCHMARK
NAIL IN KERB
RL31.77 A.H.D.



ISSUE	DATE	AMENDMENT	SURV/CHK	ISSUE	DATE	AMENDMENT	SURV/CHK
A	12/03/20	ORIGINAL ISSUE	AK/MT				

CLIENT:
ROBERT JONES ARCHITECTS

ORIGIN OF LEVELS:
SSM40537
RL31.391
DATUM: **A.H.D.**

SCALE: **1:100**
ORIGIN OF COORDINATES:
ASSUMED
DATUM: **N/A**

REF: **8115**
DATE: **12/03/2020**
SURV/CHK: **AK/MT**
SHEET **1** OF **1** SHEETS

PLAN
A1
ISSUE
A

DETAIL AND LEVEL SURVEY OF PART LOT 22 IN DP15762
2 BRUCE STREET
MONA VALE

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