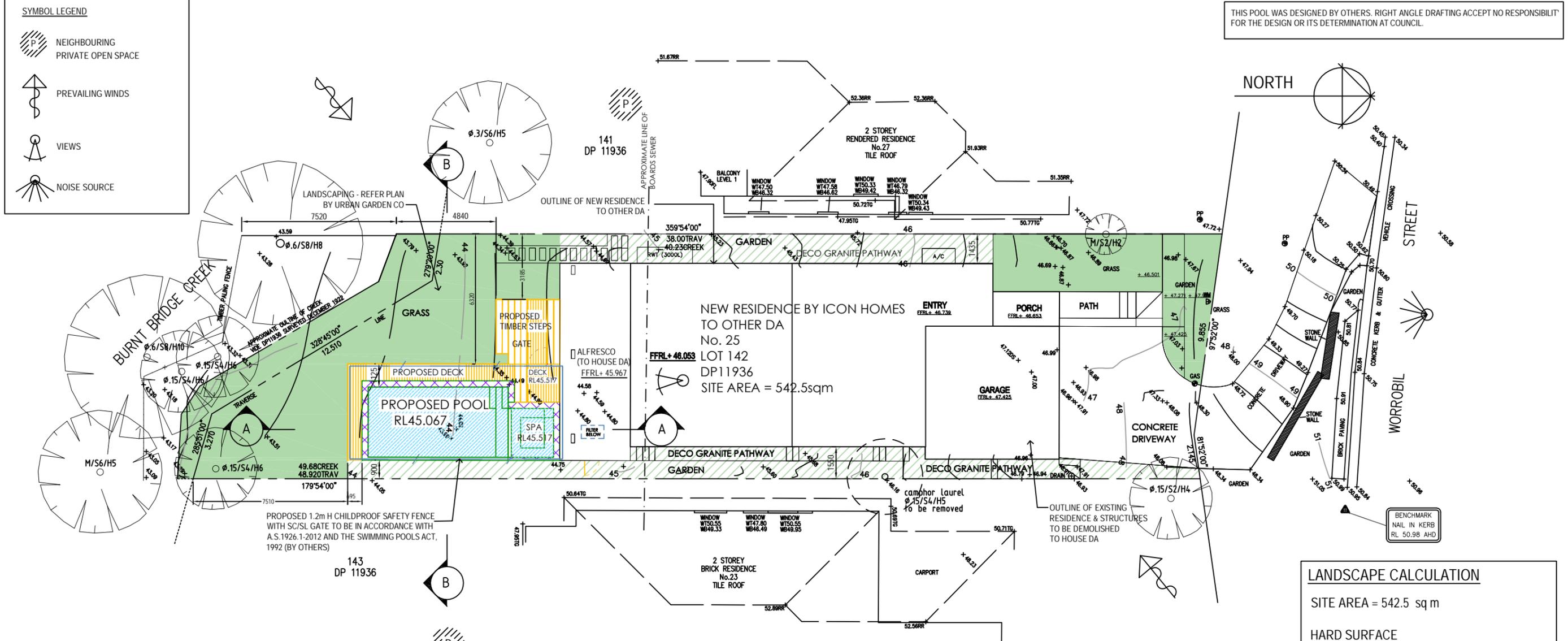


THIS POOL WAS DESIGNED BY OTHERS. RIGHT ANGLE DRAFTING ACCEPT NO RESPONSIBILITY FOR THE DESIGN OR ITS DETERMINATION AT COUNCIL.

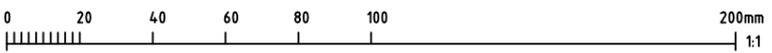
**SYMBOL LEGEND**

- NEIGHBOURING PRIVATE OPEN SPACE
- PREVAILING WINDS
- VIEWS
- NOISE SOURCE



**NOTES**

- CONFIRM ALL DIMENSIONS, SERVICES AND LEVELS ON SITE PRIOR TO STARTING WORK.
- ALL BUILDING WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA, THE RELEVANT AUSTRALIAN STANDARDS AND THE LOCAL GOVERNMENT AUTHORITY.
- TIMBER FRAMING AS PER AS1684 AND THE NSW TIMBER FRAMING CODE.
- BOUNDARY FENCING TO BE UPGRADED AS NECESSARY AND ALL POOL FENCING TO COMPLY WITH THE NSW SWIMMING POOL ACT 1992, AS1926.1-2012-SAFETY BARRIERS FOR SWIMMING POOLS AND AS1926.2-2012 LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS.
- THIS POOL IS NOT DESIGNED FOR DIVING.
- EL = EXISTING LEVEL
- FL = FLOOR LEVEL
- RL = REDUCED LEVEL
- +RLS = EXISTING LEVEL
- COS = CHECK ON SITE
- UNO = UNLESS NOTED OTHERWISE



### SITE PLAN / SITE ANALYSIS PLAN

- DENOTES AREAS INCLUDED IN LANDSCAPE CALCULATION
- ▨ DENOTES LANDSCAPED AREAS LESS THAN 2m WIDE

POOL IS EXEMPT FROM BASIX BEING LESS THAN 40,000 LITRES.  
 POOL VOLUME = 35300 LITRES  
 SPA VOLUME = 4100 LITRES  
 TOTAL VOLUME = 39400 LITRES

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2019/1516**

### LANDSCAPE CALCULATION

SITE AREA = 542.5 sq m	
<b>HARD SURFACE</b>	
HOUSE incl GARAGE	= 177.5 m <sup>2</sup>
PORCH	= 5.4 m <sup>2</sup>
DRIVEWAY	= 40.7 m <sup>2</sup>
PATH	= 6.9 m <sup>2</sup>
ALFRESCO	= 32.8 m <sup>2</sup>
PROPOSED POOL COPING	= 5.0 m <sup>2</sup>
PROPOSED DECK	= 22.0 m <sup>2</sup>
<b>TOTAL HARD SURFACE</b>	<b>= 290.3 m<sup>2</sup></b>
OR 54% OF THE SITE	
AREAS < 2m WIDE	= 74.4m <sup>2</sup>
PROPOSED LANDSCAPED	= 177.8m <sup>2</sup>
OR 33% OF THE SITE.	
REQUIRED LANDSCAPED	= 206.4m <sup>2</sup>
OR 40% OF THE SITE	
EXISTING HARD SURFACE	= 263.3m <sup>2</sup> /49%
EXISTING AREAS < 2m W	= 60.9m <sup>2</sup>
EXISTING LANDSCAPED	= 218.3m <sup>2</sup> /40%

**RIGHT ANGLE DESIGN & DRAFTING PTY LTD**

ROBYN GOOD  
 HORTICULTURE CERT III  
 ASSOC. DIPLOMA STRUCTURAL ENGINEERING  
 NZCD ARCHITECTURAL DRAUGHTING

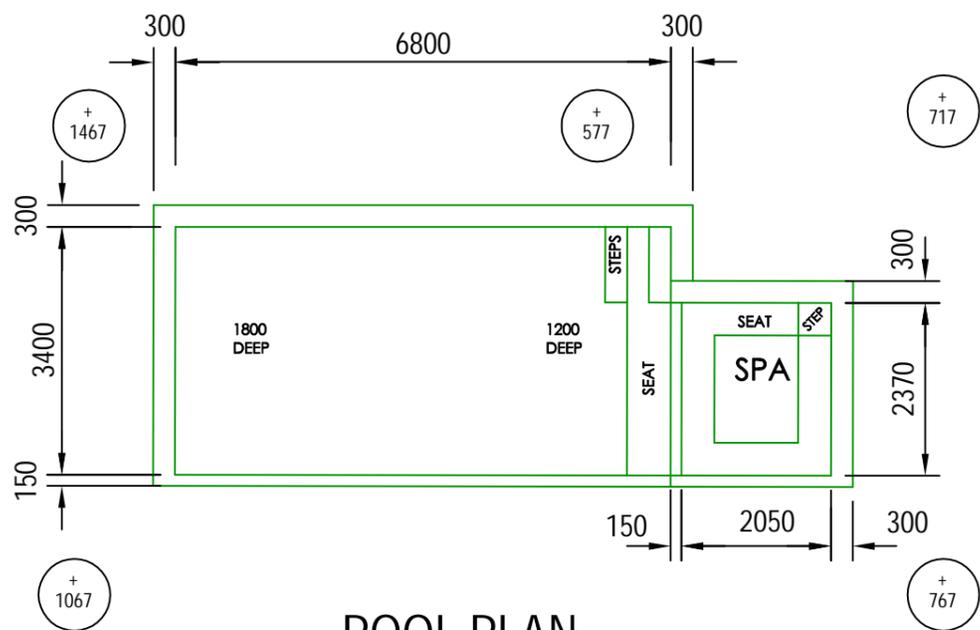
P.O. Box 1049 SURRY HILLS 2010  
 PH: 8399-0072  
 EMAIL: info@rightangledesign.com.au  
 ABN: 70 150 745 556

REVISIONS:  
 A 27.02.2020 - POOL SIZE REDUCED, TREE RETAINED, BOUNDARY AT CREEK ADJUSTED

PROPOSED POOL & ASSOCIATED WORKS  
 JENNEFER LAIRD  
 LOT 142 DP11936  
 No. 25 WORROBIL STREET  
 NORTH BALGOWLAH 2093

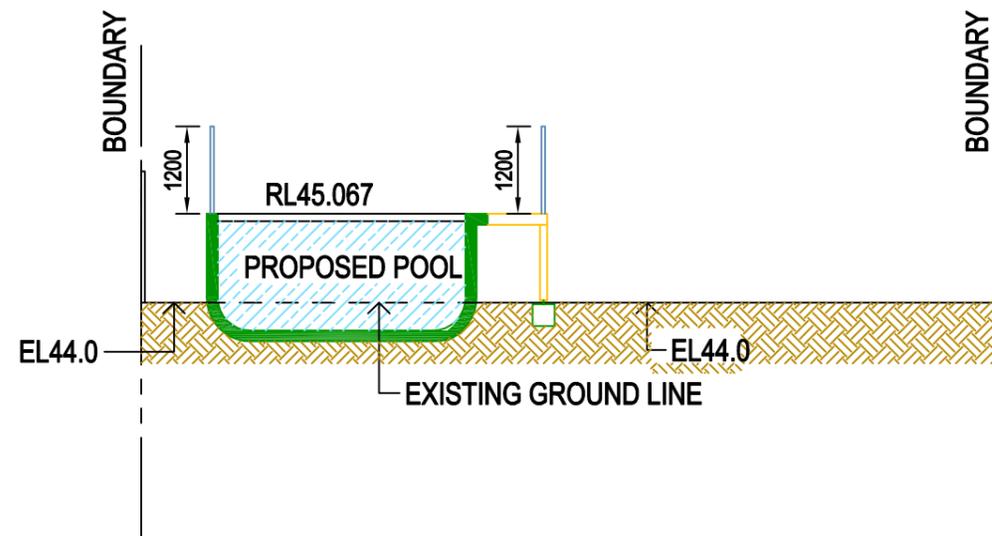
DWG NAME			
SITE PLAN / SITE ANALYSIS PLAN			
DATE	SCALE AT A3	JOB NUMBER	DWG NUMBER
DEC 19	1:200	RADD19084	P1



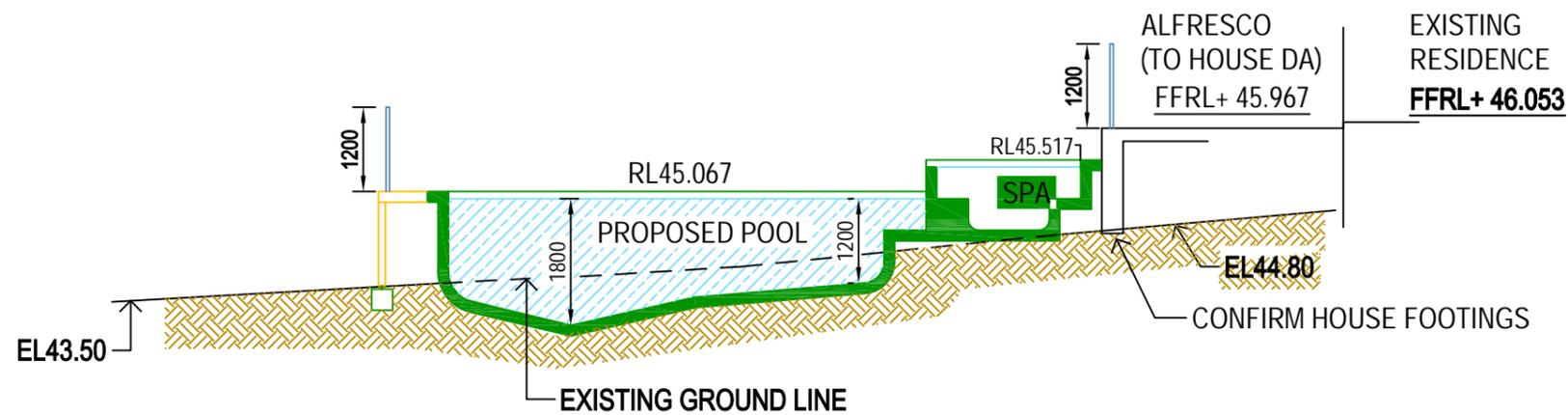


**POOL PLAN**

+100 DENOTES TOP OF POOL RELATIVE TO NATURAL GROUND LEVEL

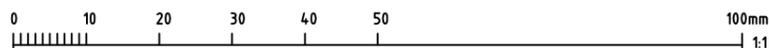


**SECTION B-B**



**SECTION A-A**


  
 northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**DA2019/1516**



**RIGHT ANGLE DESIGN & DRAFTING PTY LTD**

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**DWG NAME**

POOL PLAN AND SECTIONS

DATE	SCALE AT A3	JOB NUMBER	DWG NUMBER
DEC 19	1:100	RADD19084	P3