

#### IMPORTANT CONSTRUCTION NOTES

THESE NOTES APPLY TO ALL OWNER/S BUILDER, TRADES, SUPPLIER, MANUFACTURER, WORKERS, CONTRACTORS, CONSULTANTS ETC.  
ALL MUST READ THESE NOTES PRIOR TO PROVIDING QUOTES, SERVICES, LEGAL AGREEMENTS, SITE WORKS ETC.

- 1/ These notes apply to this page and all other information, documents, disclaimer, specification etc. issued for the works by OBLIQ DESIGN.
- 2/ Written/Drawn information & Construction Specifications to be read together and applied as one document. Do not scale drawings, work to survey, figured dimensions & site conditions, refer to specification/s etc.
- 3/ Figured dimensions to be checked against survey, and or site dimensions available. Larger details generally apply in preference to smaller scale drawings/details. Advise of discrepancies as required prior to build.
- 4/ Check all documentation & site conditions for accuracy and or application to existing site conditions, building, structure, services, fixtures, etc. Report any discrepancies prior to start on site final contract, legal and or any site works, manufacture etc.
- 5/ Items/detailing not shown, but required, shall be allowed for, and incorporated into the works as required and part proper, safe and complete construction as per BCA, Australian Standard and or Authority requirements.
- 6/ Work Set-Out to be carried out by a registered Surveyor, obtain written/drawn certificate/s as required.
- 7/ Obtain information from surveyors, engineers, other consultants, details, reports, Authority Approvals/requirements etc. as required by Law and or to ensure safe and proper work/job, prior to quotation/contract/legal or any site work. This includes where new and or existing works/services are affected and or council could be affected due to the proposed. Obtain work-shop drawings as required for detail work.
- 8/ BCA and Compliance, ensure all plans/proposed/works are approved by relevant Authorities & that the construction/work complies with and are complete/built to the current BCA and applicable Australian Standards AS-A etc. and or Authority approval/conditions of approval, including structural, framing, essential services, site safety, landscaping etc.

- 9/ Owner's approval shall also be obtained prior for materials, finishes, and or other items/inclusions to be incorporated into the works/job prior to supply, manufacture/build/install. Ensure to comply with item 8.
- 10/ Pest & Termite. An approved control/treatment/s to be executed and or installed as required by the BCA/Authority, to new and or existing work/s, obtain certificate/s and if required install an approved system for ongoing treatment.
- 11/ Insurance/s Cover. The Owner/Builder and Trades must have in place adequate/current and suitable insurance/s policies/cover during the works for workers compensation, construction/risk public liability and self-insurance as required by Law. The Owner/s, Builder shall ensure to inform, themselves/obtain written proof/ copies of such suitable, adequate and current/valid insurance/s policies/cover.
- 12/ IF IN DOUBT ASK!

**OWNER / BUILDER USE OF PLANS, DOCUMENTS, DISCLAIMER NOTE;**  
Care is taken to prepare these plans/documents and or details on the information provided to OBLIQ DESIGN and site information as available at the time, however there is possibility of discrepancy, differences, omissions that may occur as a result of site conditions, build method/s, need, variance, copy transfer of documents, drawings and or some other reasons.  
The owner, builder, shopfitter, trades, manufacture, supplier, end-user etc. and or person/s responsible for and or building the proposed work/s and or works on existing, shall promptly report discrepancies, ensure and check all the plans/documents and or details issued for the job/works are suitable, comply with, and or are also acceptable prior to entering legal agreements, tender, placing orders and or build, and shall have appropriate and valid insurances as required by Law. Refer to by others/other consultants documents for the job/works, including compliance. WHS & or Authorities/Others having Jurisdiction over the works, including details, inspection, and or approvals etc. as required by Law. OBLIQ DESIGN and it's owner does not accept any liability or risk taken, and disclaim any liability for any cost, loss, damage claim, of whatever nature of kind (including negligence) suffered or incurred by any person, corporations, end-user and or any other legal entity. Such persons, corporation/s, end-user and or any legal entity agree to and shall hereby indemnify OBLIQ DESIGN and it's owner for such, which arises out of any use of, interpretation, alleged reliance upon on it's plans/documents and or services or the like.  
This note applies to all of OBLIQ DESIGN plans, documentation, service and forms part of same. (Project management and or building is not an OBLIQ DESIGN service.)

#### TERMITE CONTROL METHOD

PROVIDE TERMITE MANAGEMENT IN ACCORDANCE WITH AS 3660.1 AND B.C.A CL 3.1.3.0

ALL WORK TO BE CARRIED OUT FROM THE PLANS MUST BE COORDINATED WITH SCHEDULE OF BASIX COMMITMENTS & THERMAL PERFORMANCE SPECIFICATIONS, REFER TO ATTACHED BASIX CERTIFICATE.

#### NOTE

EJ - EXPANSION JOINTS  
THE POSITION OF EXPANSION JOINTS IS TO BE CONFIRMED BY THE ENGINEER. WHERE ENGINEERING DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.

IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS TO SUIT.



1 SITE PLAN  
1 : 200

#### WARRINGAH LEP/DCP 2011

##### LOT 5

SITE CALCULATIONS:		COMPLIES
LOT AREA	268.1 m <sup>2</sup>	
TOTAL GROUND FLOOR	81.3 m <sup>2</sup>	
TOTAL LEVEL 1 FLOOR	66.8 m <sup>2</sup>	
GARAGE	16.8 m <sup>2</sup>	
STAIR VOID	4.5 m <sup>2</sup>	
PORCH	1.0 m <sup>2</sup>	
TOTAL LIVING FLOOR AREA		126.8 m <sup>2</sup>
MIN. FRONT SETBACK	6.5 m	
ACHIEVED FRONT SETBACK	6.504 m	YES
MIN. RIGHT SIDE SETBACK	0.9 m	
ACHIEVED RIGHT SIDE SETBACK	0.8 m	NO
MIN. LEFT SIDE SETBACK	0.9 m	
ACHIEVED LEFT SIDE SETBACK	0.901 m	YES
MIN. REAR SETBACK	6.0 m	
ACHIEVED REAR SETBACK	15.96 m	YES
MAX. BUILDING HEIGHT	8.5 m	
ACHIEVED BUILDING HEIGHT	7.06 m	YES
MIN. LANDSCAPED AREA	40% (107.24 m <sup>2</sup> )	
ACHIEVED LANDSCAPED AREA	40.2% (107.7 m <sup>2</sup> )	YES
MIN. PPOS AREA	60.0 m <sup>2</sup>	
ACHIEVED PPOS AREA	73.4 m <sup>2</sup>	YES

#### WARRINGAH LEP/DCP 2011

##### LOT 6

SITE CALCULATIONS:		COMPLIES
LOT AREA	268.1 m <sup>2</sup>	
TOTAL GROUND FLOOR	81.4 m <sup>2</sup>	
TOTAL LEVEL 1 FLOOR	65.2 m <sup>2</sup>	
GARAGE	16.8 m <sup>2</sup>	
STAIR VOID	4.5 m <sup>2</sup>	
PORCH	0.9 m <sup>2</sup>	
TOTAL LIVING FLOOR AREA		125.3 m <sup>2</sup>
MIN. FRONT SETBACK	6.5 m	
ACHIEVED FRONT SETBACK	6.545 m	YES
MIN. RIGHT SIDE SETBACK	0.9 m	
ACHIEVED RIGHT SIDE SETBACK	0.901 m	YES
MIN. LEFT SIDE SETBACK	0.9 m	
ACHIEVED LEFT SIDE SETBACK	0.8 m	NO
MIN. REAR SETBACK	6.0 m	
ACHIEVED REAR SETBACK	15.96 m	YES
MAX. BUILDING HEIGHT	8.5 m	
ACHIEVED BUILDING HEIGHT	7.11 m	YES
MIN. LANDSCAPED AREA	40% (107.24 m <sup>2</sup> )	
ACHIEVED LANDSCAPED AREA	40.1% (107.6 m <sup>2</sup> )	YES
MIN. PPOS AREA	60.0 m <sup>2</sup>	
ACHIEVED PPOS AREA	73.4 m <sup>2</sup>	YES



ABN: 77 802 983 648



COMPLETE CONSTRUCTION ENGINEERING PTY LTD

ABN: 31 143 485 367

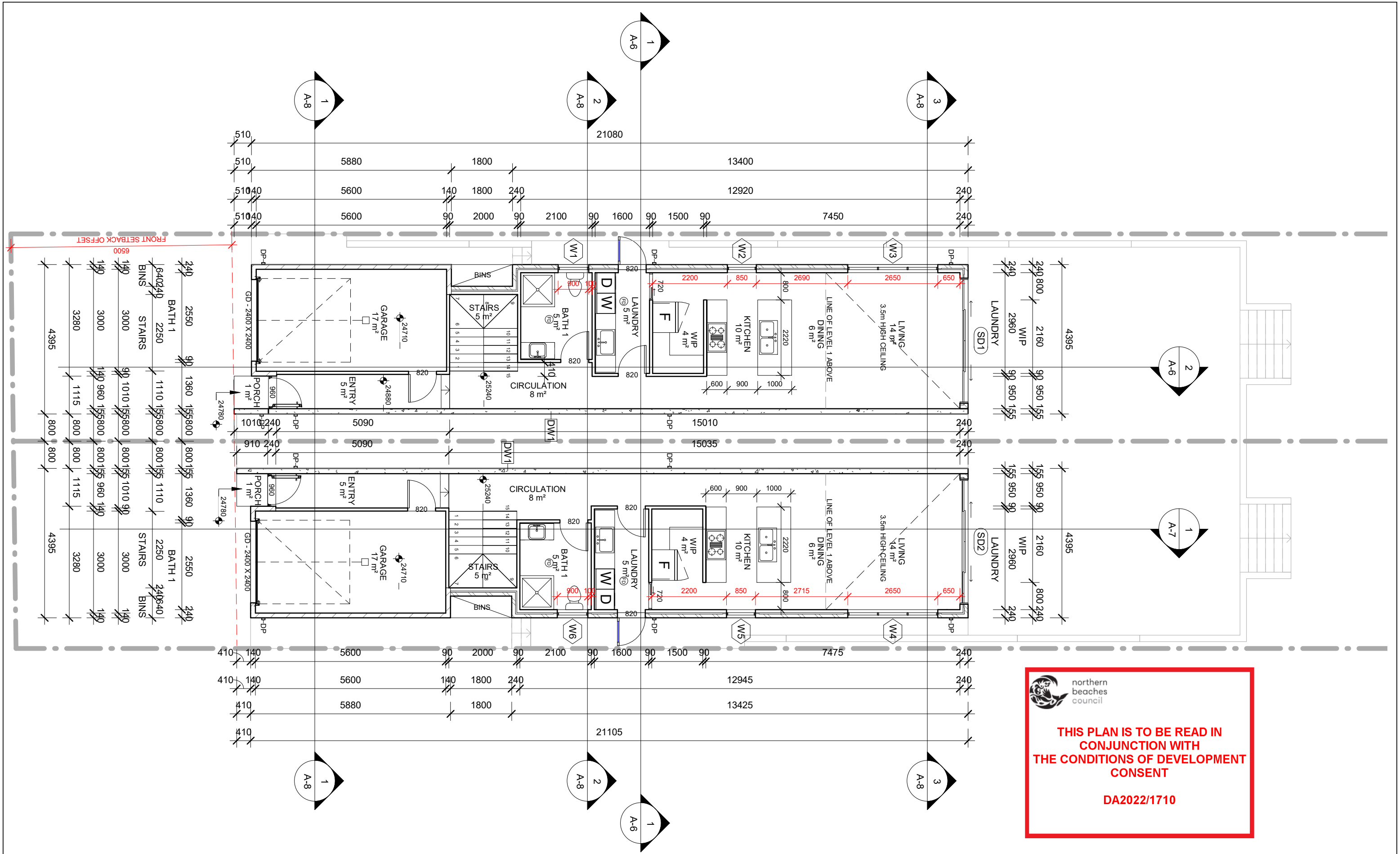
No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

SITE PLAN

Project number	A-1	
Date		10/08/2022
Drawn by		Ilhan Alijagic
Checked by	Scale	As indicated



No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096

**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2022/1710**

GROUND FLOOR PLAN

Project number	A-2
Date 10/08/2022	
Drawn by Ilhan Alijagic	
Checked by	Scale 1 : 100

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI

PROPOSED DEMOLITION OF EXISTING  
DWELLING & ASSOCIATED STRUCTURES AND  
CONSTRUCTION OF 2 DOUBLE STOREY  
DWELLINGS ON LOTS 5-6 DP1636 AT 24  
OLIVER STREET, FRESHWATER NSW 2096

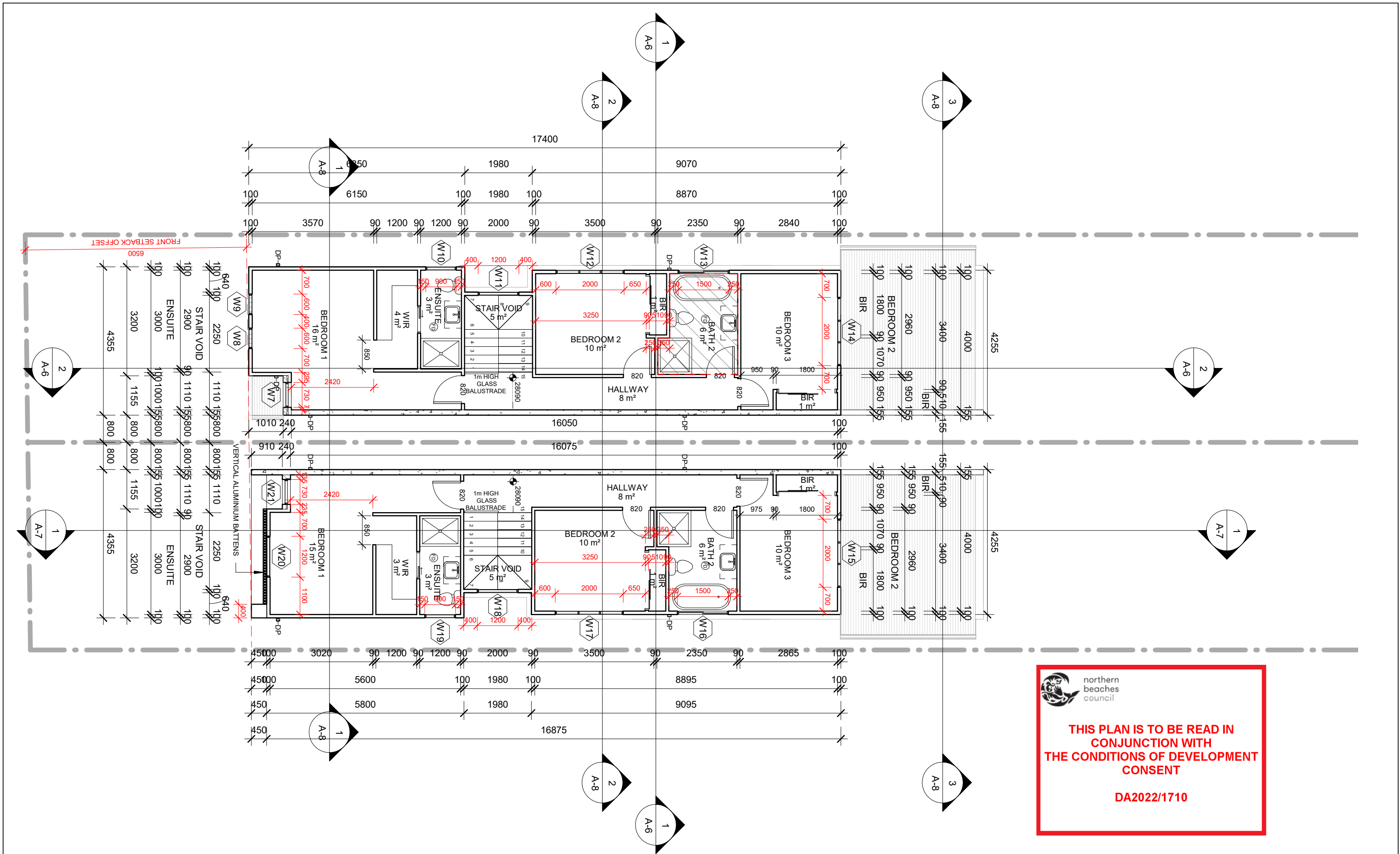
LEVEL 1 FLOOR PLAN

Project number	
Date	10/08/2022
Drawn by	Ilhan Alijagic
Checked by	

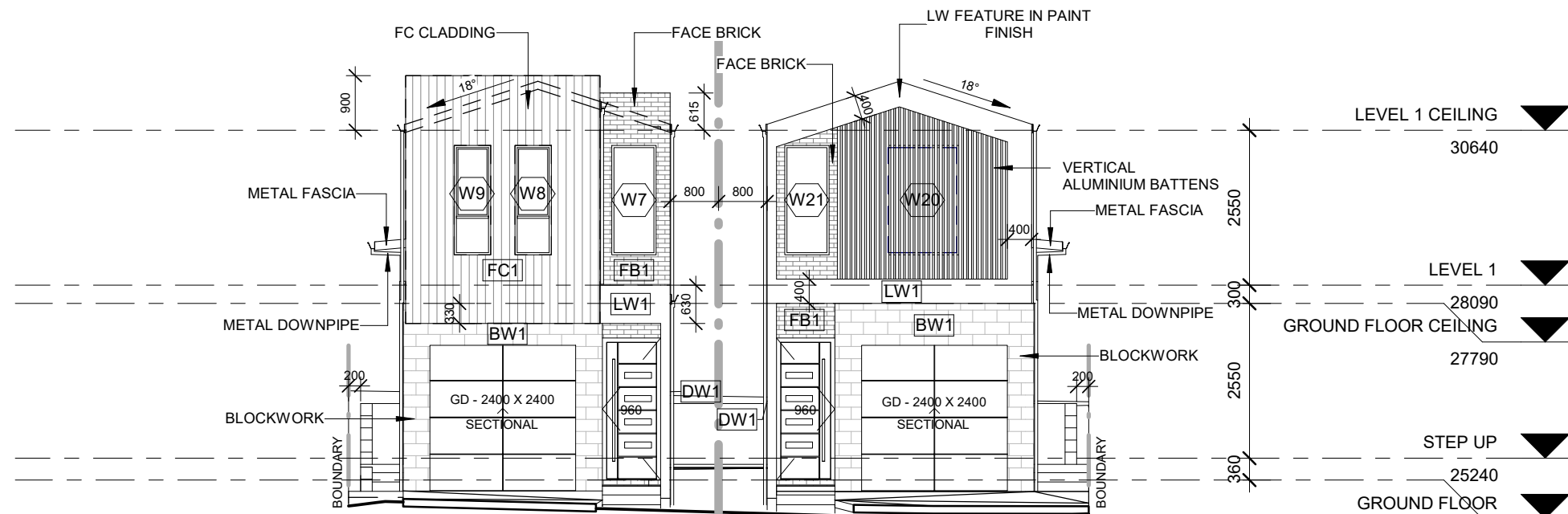
A-3

Scale

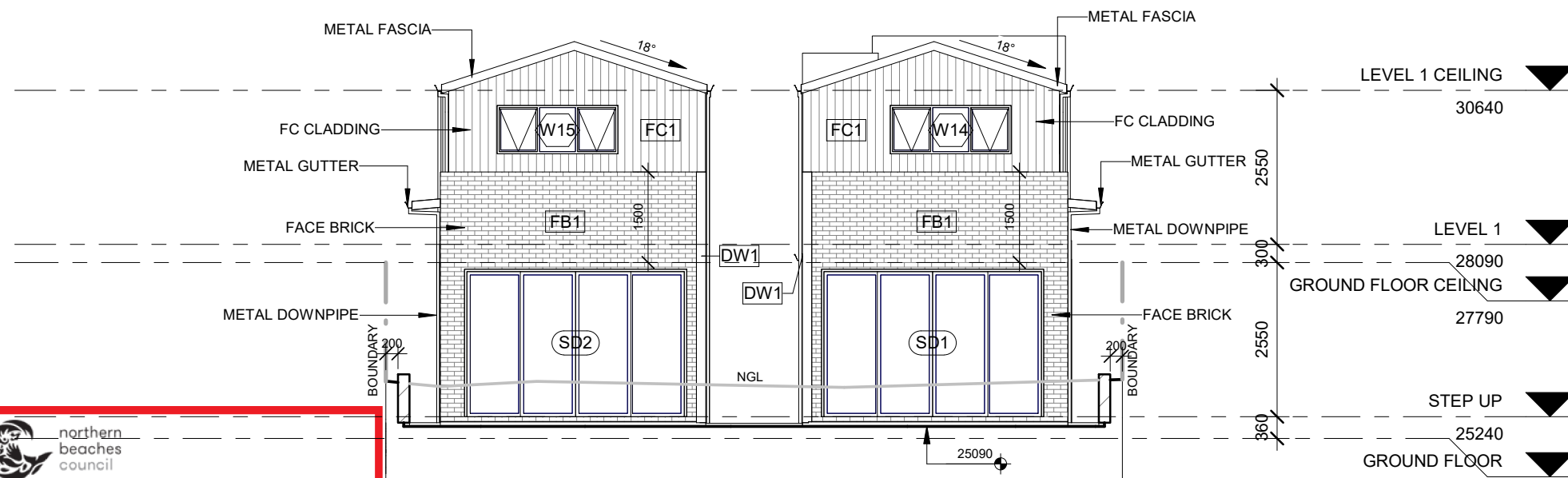
1 : 100







1 EAST  
1 : 100



2 WEST  
1 : 100

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2022/1710**

EXTERNAL COLOURS & MATERIALS		
MARK	IMAGE	DESCRIPTION
BW1		EXTERNAL WALLS - BLOCKWORK AUSTRAL ARCHITEC SMOOTH IN CHARCOAL
FB1		EXTERNAL WALLS - FACE BRICK PGH DARK AND STORMY - LIGHTNING
FC1		EXTERNAL WALLS - FIBRE CEMENT (GROOVED) JAMES HARDIE - AXON CLADDING 133mm SMOOTH MONUMENT OR SIMILAR
LW1		LW WALL - FIBRE CEMENT PAINT FINISH IN VIVID WHITE
DW1		EXTERNAL WALLS - 155mm DINCEL WALL CEMENT RENDER & PAINT FINISH IN VIVID WHITE
RO1		COLORBOND ROOF, GUTTER & DOWNPIPE IN MONUMENT
		EXTERNAL WINDOWS & DOORS POWDERCOATED IN MONUMENT
		GARAGE DOOR IN MONUEMNT
		VERTICAL ALUMINIUM BATTENS DECOBATTEN - BLUEASH
		DRIVEWAY - CONCRETE FINISH

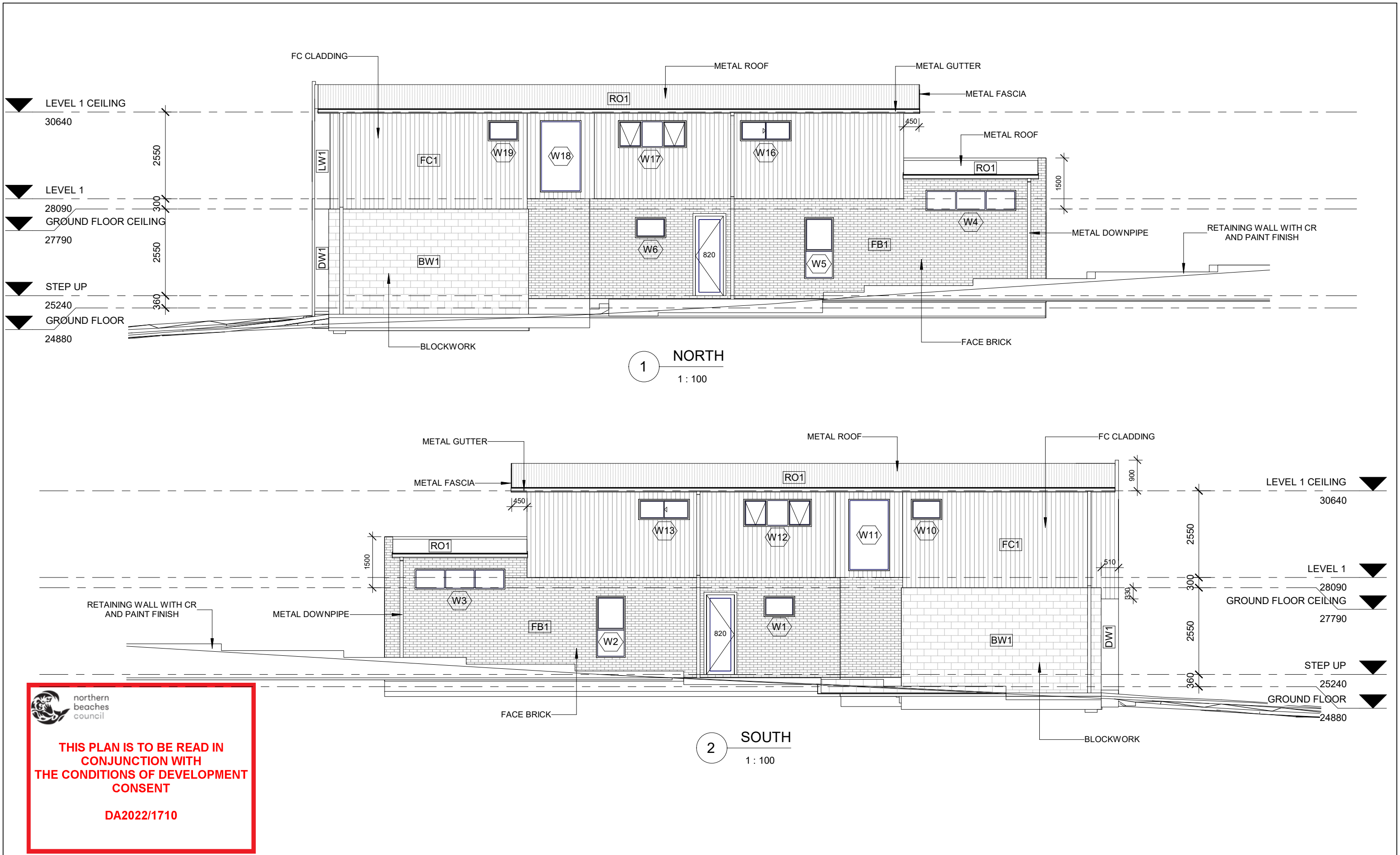
No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI


PROPOSED DEMOLITION OF EXISTING  
DWELLING & ASSOCIATED STRUCTURES AND  
CONSTRUCTION OF 2 DOUBLE STOREY  
DWELLINGS ON LOTS 5-6 DP1636 AT 24  
OLIVER STREET, FRESHWATER NSW 2096

EAST & WEST ELEVATIONS

Project number	A-4
Date	
Drawn by	
Checked by	
Scale	As indicated



Architectural floor plan of a two-unit residential building. The plan shows two identical units side-by-side. Each unit has a ground floor with a 'CIRCULATION' area (8 m²) and a 'LAUNDRY' area (5 m²). The first floor has a 'BIR' (Bedroom) area (1 m²) and a 'HALLWAY' area (8 m²). The plan includes dimensions for room areas, room heights (e.g., 2550, 2555, 300, 360), and overall unit dimensions (e.g., 18°, 18°, 180, 180). A 'BOUNDARY' line is indicated on the left and right sides. The plan is oriented with a north arrow pointing towards the top right.

 northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2022/1710**

Architectural floor plan of a two-story house. The plan includes the following rooms and dimensions:

- Level 1 (Upper Floor):**
  - BEDROOM 3: 10 m<sup>2</sup>
  - BATH 2: 6 m<sup>2</sup>
  - BEDROOM 2: 10 m<sup>2</sup>
  - STAIR VOID: 5 m<sup>2</sup>
  - ENSUITE: 3 m<sup>2</sup>
  - WIR: 4 m<sup>2</sup>
  - BEDROOM 1: 16 m<sup>2</sup>
- Level 1 (Lower Floor):**
  - LIVING: 14 m<sup>2</sup>
  - DINING: 6 m<sup>2</sup>
  - KITCHEN: 10 m<sup>2</sup>
  - WIP: 4 m<sup>2</sup>
  - LAUNDRY: 5 m<sup>2</sup>
  - CIRCULATION: 8 m<sup>2</sup>
  - STAIRS: 5 m<sup>2</sup>
  - GARAGE: 17 m<sup>2</sup>

The plan also shows a front garden, a side garden, and a rear garden. The building height is indicated as 2550 mm. The ground floor ceiling is at 27790 mm, and the level 1 ceiling is at 30640 mm. The ground floor is at 24880 mm, and the level 1 is at 28090 mm. The plan includes a north arrow and a scale bar.



**OBLIQ  
DESIGN**

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ABN: 77 802 983 648



ABN: 31 143 485 367

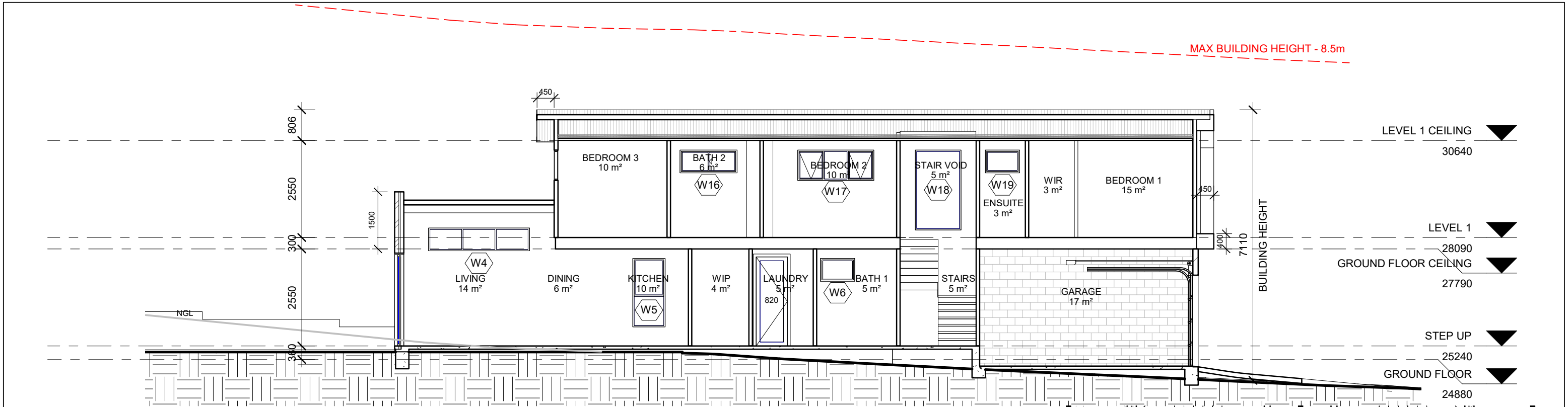
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PROPOSED DEMOLITION OF EXISTING  
DWELLING & ASSOCIATED STRUCTURES AND  
CONSTRUCTION OF 2 DOUBLE STOREY  
DWELLINGS ON LOTS 5-6 DP1636 AT 24  
OLIVER STREET, FRESHWATER NSW 2096

Project number	
Date	10/08/2022
Drawn by	Ilhan Alijagic
Checked by	

A-6


Scale	1 : 100
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WINDOW SCHEDULE						
Level	Mark	Height	Width	Sill Height	Head Height	Window Style
STEP UP	W1	600	900	1700	2300	FIXED
STEP UP	W2	1800	850	500	2300	AWNING
STEP UP	W3	600	2650	2500	3100	FIXED
STEP UP	W4	600	2650	2500	3100	FIXED
STEP UP	W5	1800	850	500	2300	AWNING
STEP UP	W6	600	900	1700	2300	FIXED
STEP UP: 6						
LEVEL 1	W7	1800	730	500	2300	FIXED
LEVEL 1	W8	1800	600	500	2300	AWNING
LEVEL 1	W9	1800	600	500	2300	AWNING
LEVEL 1	W10	600	900	1700	2300	FIXED
LEVEL 1	W11	2100	1200	200	2300	FIXED
LEVEL 1	W12	800	2000	1500	2300	AWNING
LEVEL 1	W13	600	1500	1700	2300	SLIDING
LEVEL 1	W14	800	2000	1500	2300	AWNING
LEVEL 1	W15	800	2000	1500	2300	AWNING
LEVEL 1	W16	600	1500	1700	2300	SLIDING
LEVEL 1	W17	800	2000	1500	2300	AWNING
LEVEL 1	W18	2100	1200	200	2300	FIXED
LEVEL 1	W19	600	900	1700	2300	FIXED
LEVEL 1	W20	1800	1200	500	2300	FIXED
LEVEL 1	W21	1800	730	500	2300	FIXED
LEVEL 1: 15						
Grand total: 21						

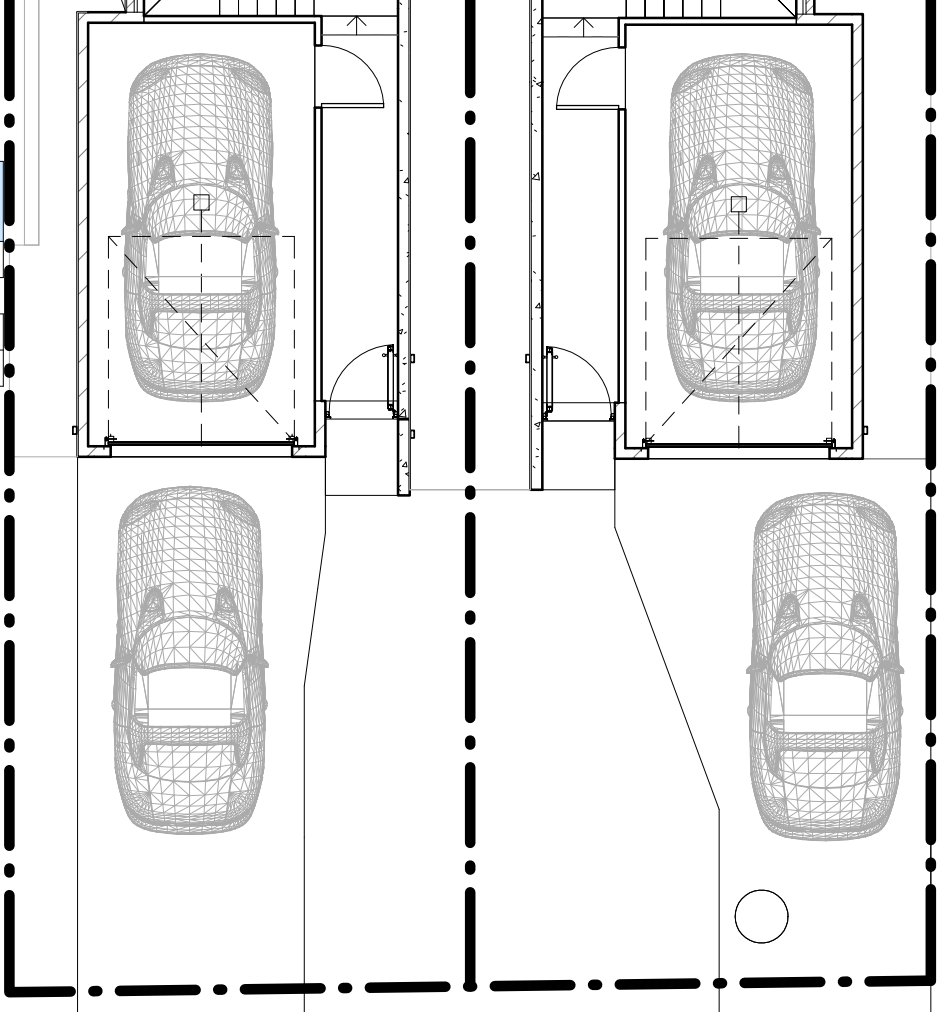
1 SECTION 3  
1 : 100

SLIDING DOOR SCHEDULE			
Level	Mark	Height	Width
STEP UP	SD1	2400	3600
STEP UP	SD2	2400	3600
STEP UP: 2			
Grand total: 2			

 northern beaches council

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2022/1710**

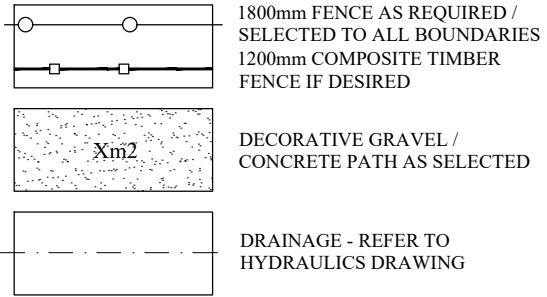


2 PARKING FACILITIES PLAN  
1 : 100

No.	Description	Date
1	DA	10/08/2022

JOVAN SARAI		SECTION 3, DOOR & WINDOW SCHEDULE & PARKING FACILITIES PLAN	
PROPOSED DEMOLITION OF EXISTING DWELLING & ASSOCIATED STRUCTURES AND CONSTRUCTION OF 2 DOUBLE STOREY DWELLINGS ON LOTS 5-6 DP1636 AT 24 OLIVER STREET, FRESHWATER NSW 2096		Project number	A-7
		Date	
		Drawn by	
		Checked by	Scale
		10/08/2022	1 : 100
		Ilhan Alijagic	

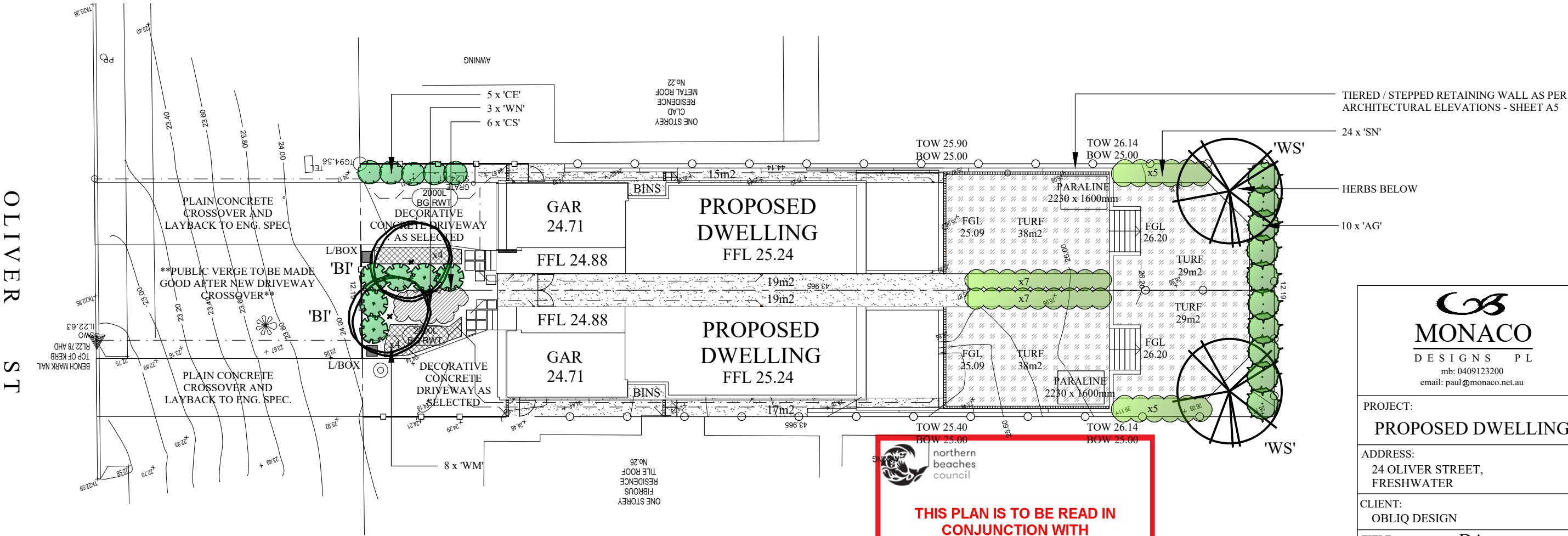




REFER TO HYDRAULICS ENGINEERS PLAN FOR OSD / DWARF WALL  
DETAILS - MULCH OSD WITH NON FLOATABLE DECORATIVE GRAVEL. ALL  
FINISHED GROUND LEVELS AS PER HYDRAULICS ENGINEERS DETAILS.


PLANT SCHEDULE				
BOTANIC NAME	KEY	QTY	POT SIZE	HT (M)
TREES				
BANKSIA INTEGRIFOLIA*	BI	02	45LTR	5-10
WATERHOUSIA 'SWEEPER'*	WS	02	45LTR	10+
SHRUBS / GROUNDCOVERS				
ACMENA 'GOODBYE NEIGHBOURS'*	AG	10	200MM	TRIM
CALLISTEMON 'SLIM'*	CS	02	200MM	TRIM
CROWEA EXALTA*	CE	05	200MM	1.5
SYZYGIVM 'NARROW'*	SN	24	200MM	3.5
WESTRINGIA 'MUNDI'*	WM	08	200MM	G/C
WESTRINGIA 'NARINGA'*	MN	03	200MM	1.5

\*NATIVE SPECIES



NOTE:- MONACO DESIGNS PL RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY CERTIFICATION FOR OCCUPATION CERTIFICATE.  
NOTE:- TO AID COMPLIANCE WITH BASIX LEGISLATION, PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LISTS.  
NOTE:- LOCATION OF SEWER MAINS / LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. [DIAL BEFORE YOU DIG 1100](#).

CONTRACTORS NOTE:- CALCULATED AREAS DETERMINED BY CAD AND HAVE BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW STANDARD PERCENTAGES FOR CUTTING AND WASTAGE. CONFIRM DIMENSIONS AND NUMBERS PRIOR TO QUOTING / ORDERING.  
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UNAUTHORISED USAGE, REPRODUCTION OR STORAGE SHALL BE TAKEN AS AN ACCEPTANCE OF A USAGE FEE OF \$2200 PER PLAN / SHEET OR PART THEREOF FOR EACH AND EVERY USE.



PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
24 OLIVER STREET,  
FRESHWATER

CLIENT:  
OBLIQ DESIGN

TITLE:  
**DA  
LANDSCAPE CONCEPT**

DATE:	SCALE:	SHEET No:
16.01.22 - A	1 : 200 - A3	1 OF 2
JOB No.	DRAWN:	
6384	PM	

LANDSCAPE PLANS  
ARBORICULTURAL REPORTS  
VEGETATION MANAGEMENT PLANS



TYPICAL PLANT SELECTION CRITERIA - AS2303-2015  
'TREE STOCK FOR LANDSCAPE USE' FOR FULL SPEC.

ENSURE GOOD HEALTH AND VIGOUR. ENSURE FREEDOM FROM PESTS, DISEASES AND INJURY.

SPECIMENS SHOULD BE SELF SUPPORTING AT TIME OF PLANTING - STAKING ONLY TO BE USED WHEN NECESSARY- 1 GROWING SEASON MAX.

ENSURE EVIDENCE OF STEM TAPER - (INCREASE IN CALIPER DOWN THE STEM).

PRUNING:-  
\*ENSURE CLEAN STEM HEIGHT DOES NOT EXCEED 40% OF PLANT HEIGHT.  
\*ENSURE CUTS ARE AT BRANCH COLLAR ARE CLEAN WITH NO TEARS.

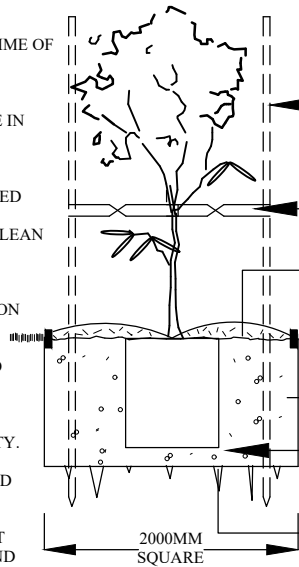
ENSURE APICAL DOMINANCE FOR TREES WITH TYPICAL EXCURRENT FORM - LEADER DEVIATION <15%.

ENSURE GOOD CROWN SYMMETRY AND SOUND STEM JUNCTIONS - NO INCLUDED BARK.

ENSURE SPECIMENS / BATCHES ARE CLEARLY LABELED - NOTING SPECIES CULTIVAR / VARIETY.

ENSURE SPECIMENS ARE FREE OF GIRDLING AND SUCKERING ROOTS.

ENSURE TRUNK POSITION IS WITHIN 10% OF POT CENTRE. IF TREE IS GRAFTED ENSURE SCION AND ROOTSTOCK ARE SOUND.



45-75LTR TYPICAL PLANTING  
(NTS)

TYPICAL PLANTING CRITERIA

\*SEEK ADVICE BEFORE SUBSTITUTING SPECIES  
\*REPLACEMENTS TO BE MADE WITHIN 12 MONTHS

3 x 40MM HARDWOOD STAKES AS REQUIRED. DON'T PIERCE ROOT BALL

(NOTE:- ONLY REQUIRED IN WINDY ENVIRONMENTS, VERY SANDY SOIL AND VERY WET CLAY - IF STAKING REQUIRED - REMOVE AS SOON AS PRACTICALLY POSSIBLE).

50MM WIDE JUTE WEBBING - TWIST ONCE AND GAL. STAPLE TO OUTSIDE OF STAKE. ENSURE TREE HAS AMPLE MOVEMENT

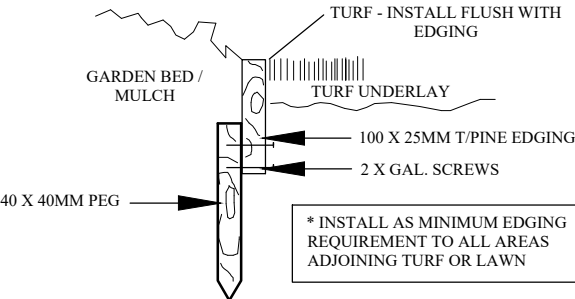
75 - 100MM SELECTED MULCH - DISH AROUND BASE OF TRUNK. TOP OF ROOT BALL TO FINISH FLUSH WITH TOP OF SOIL

SELECTED EDGING - REFER TO DETAIL

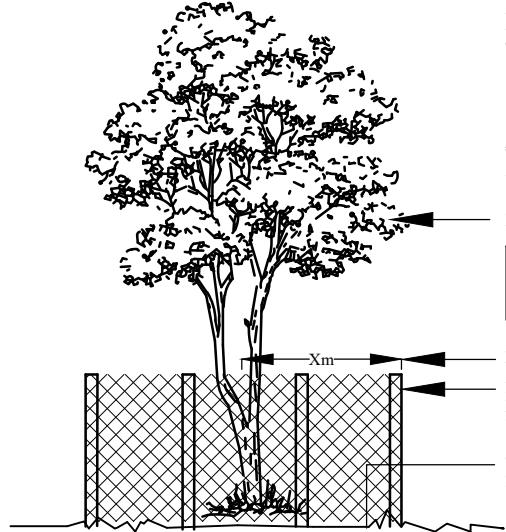
EXCAVATE HOLE AND INCORPORATE SOIL AMENDMENTS TO 30% MAX. IF REQUIRED.

TAMP SOIL GENTLY AROUND AND BENEATH ROOT BALL SO ROOT BALL DOES NOT MOVE - WATER WEEKLY FOR MINIMUM 4 WEEKS TO ESTABLISH.

SCARIFY SUB SOIL AND SIDES TO 100MM MINIMUM IN HEAVY CLAY SOILS. MAY BE REQUIRED TO MOUND PLANT.



TYPICAL EDGING  
(NTS)



REFER TO AS 4970-2009 -  
'PROTECTION OF TREES ON  
DEVELOPMENT SITES'

\* IRRIGATION WITHIN TPZ AT ARBORIST OR COUNCIL DISCRETION

EXISTING TREE SPECIES  
TPZ BARRIER  
TPZ  
SRZ

DISTANCE AS SHOWN ON PLAN

1800MM TEMPORARY FENCE HIRE WITH PLASTIC FEET - NO STAKES IN GROUND UNLESS SPECIFIED

TPZ TO BE MULCHED WITH A MINIMUM 100MM RECYCLED LEAF LITTER MULCH

TYPICAL TREE PROTECTION  
DETAIL - (NTS)

(IF NO ARBORIST REPORT REQUIRED)



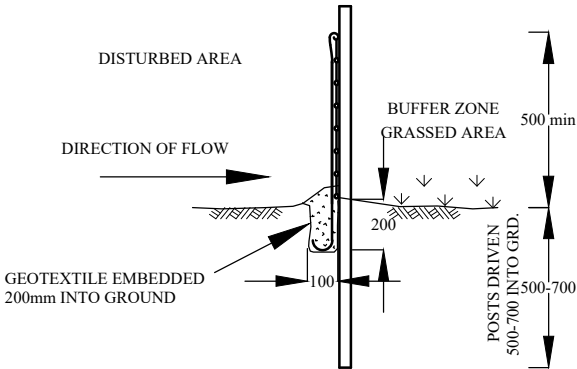
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GENERAL NOTES:-

- \* LANDSCAPE CONTRACTOR TO CHECK DA CONDITIONS AND STAMPED LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONS / AMENDMENTS TO PLAN.
- \* GARDEN BEDS IN OSD BASIN TO CONSIST OF NON FLOATABLE DECORATIVE GRAVEL.
- \* REFER TO HYDRAULICS ENGINEERS PLAN FOR OSD DETAILS / FINAL LEVELS.
- \* MULCHED PLANTING BEDS TO BE A MINIMUM DEPTH OF 75MM AS SELECTED.
- \* CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL pH AS REQUIRED.
- \* PROVIDE TIMBER EDGE AS A MINIMUM BENEATH FENCING / GATES TO DEFINE TURF AND GARDEN BEDS / PATHWAYS. EDGING TO BE PROVIDED TO ALL AREAS WHERE DIFFERING MATERIALS MEET, ie TURF / GARDEN, TURF / GRAVEL PATH ETC.
- \* WEED MAT BENEATH GRAVEL PATHWAYS REQUIRED TO LIMIT MUD TRACKING.
- \* PREMIUM ORGANIC GARDEN MIX TO BE USED.
- \* ALL PLANTS TO BE HEALTHY AND VIGOROUS.
- \* CONTRACTOR TO MAKE GOOD TURF ON NATURE STRIP POST CONSTRUCTION.
- \* DO NOT SCALE ARCHITECTURAL SETOUT FROM LANDSCAPE DRAWING.
- \* EXISTING TREE SPREAD APPROXIMATE ONLY. REFER TO TREE REPORT WHEN APPLICABLE.
- \* SITE SURVEY PROVIDED BY OTHERS.
- \* BUFFALO TURF PREFERRED OVER KIKUYU.

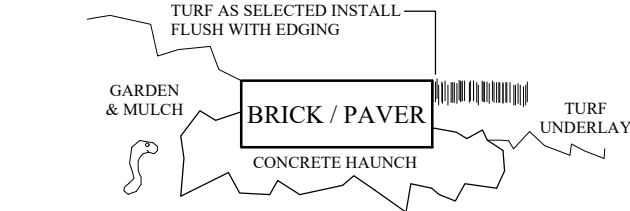
PLANTING AND MAINTENANCE NOTES:-

- \* GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SOILS SHOULD BE AVOIDED. PLANTS TO BE MOUNDED WITHIN THESE SOIL TYPES.
- \* PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE.
- \* PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING.
- \* PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER (DECEMBER - JANUARY)
- \* PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR SIX WEEKS TO AID ESTABLISHMENT. WATER CRYSTALS MAY BE USED TO REDUCE THE AMOUNT OF WATER REQUIRED.
- \* IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD PREFERRED.
- \* ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED. PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST (ON MOST OCCASIONS NURSERIES CAN SUBSTITUTE).
- \* STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS AND NOT POT BOUND.
- \* REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
- \* WEEDS SHOULD BE REMOVED ON A FORTNIGHTLY BASIS.
- \* PEST OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY.

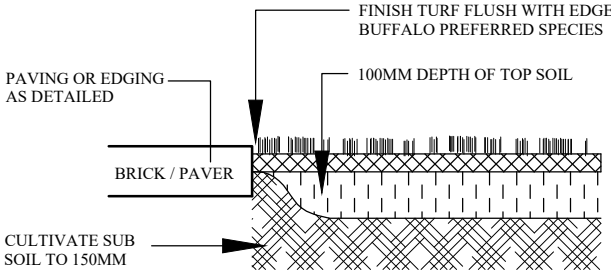


SEDIMENT BARRIER  
(NTS)

(PROVIDE ON ALL DOWN HILL SLOPES - UNLESS STATED OTHERWISE)



BRICK / PAVER EDGING DETAIL  
(NTS)



TURF PREPERATION DETAIL  
(NTS)

NOTE:- MONACO DESIGNS PL RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY CERTIFICATION FOR OCCUPATION CERTIFICATE.

NOTE:- TO AID COMPLIANCE WITH BASIX LEGISLATION, PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LISTS.

NOTE:- LOCATION OF SEWER MAINS / LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. DIAL BEFORE YOU DIG 1100.

CONTRACTORS NOTE:- CALCULATED AREAS DETERMINED BY CAD AND HAVE BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW STANDARD PERCENTAGES FOR CUTTING AND WASTAGE. CONFIRM DIMENSIONS AND NUMBERS PRIOR TO QUOTING / ORDERING.  
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UNAUTHORISED USAGE, REPRODUCTION OR STORAGE SHALL BE TAKEN AS AN ACCEPTANCE OF A USAGE FEE OF \$2200 PER PLAN / SHEET OR PART THEREOF FOR EACH AND EVERY USE.

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2022/1710

**MONACO**  
DESIGNS PL  
mb: 0409123200  
email: paul@monaco.net.au

PROJECT:  
**PROPOSED DWELLING**

ADDRESS:  
24 OLIVER STREET,  
FRESHWATER

CLIENT:  
OBLIQ DESIGN

TITLE:  
**LANDSCAPE DETAILS**

DATE:	SCALE:	SHEET No:
16.01.22 - A	1 : 200 - A3	2 of 2
JOB No.	DRAWN:	
6384	P MONACO	

LANDSCAPE PLANS  
ARBORICULTURAL REPORTS  
VEGETATION MANAGEMENT PLANS