

15G NORTH
(APPROXIMATE TRUE NORTH)

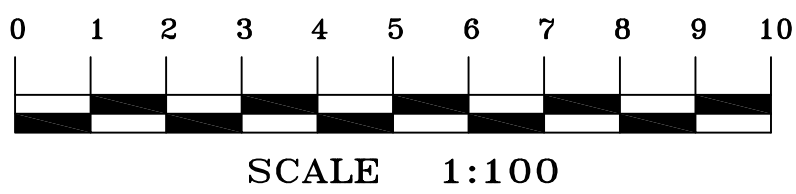
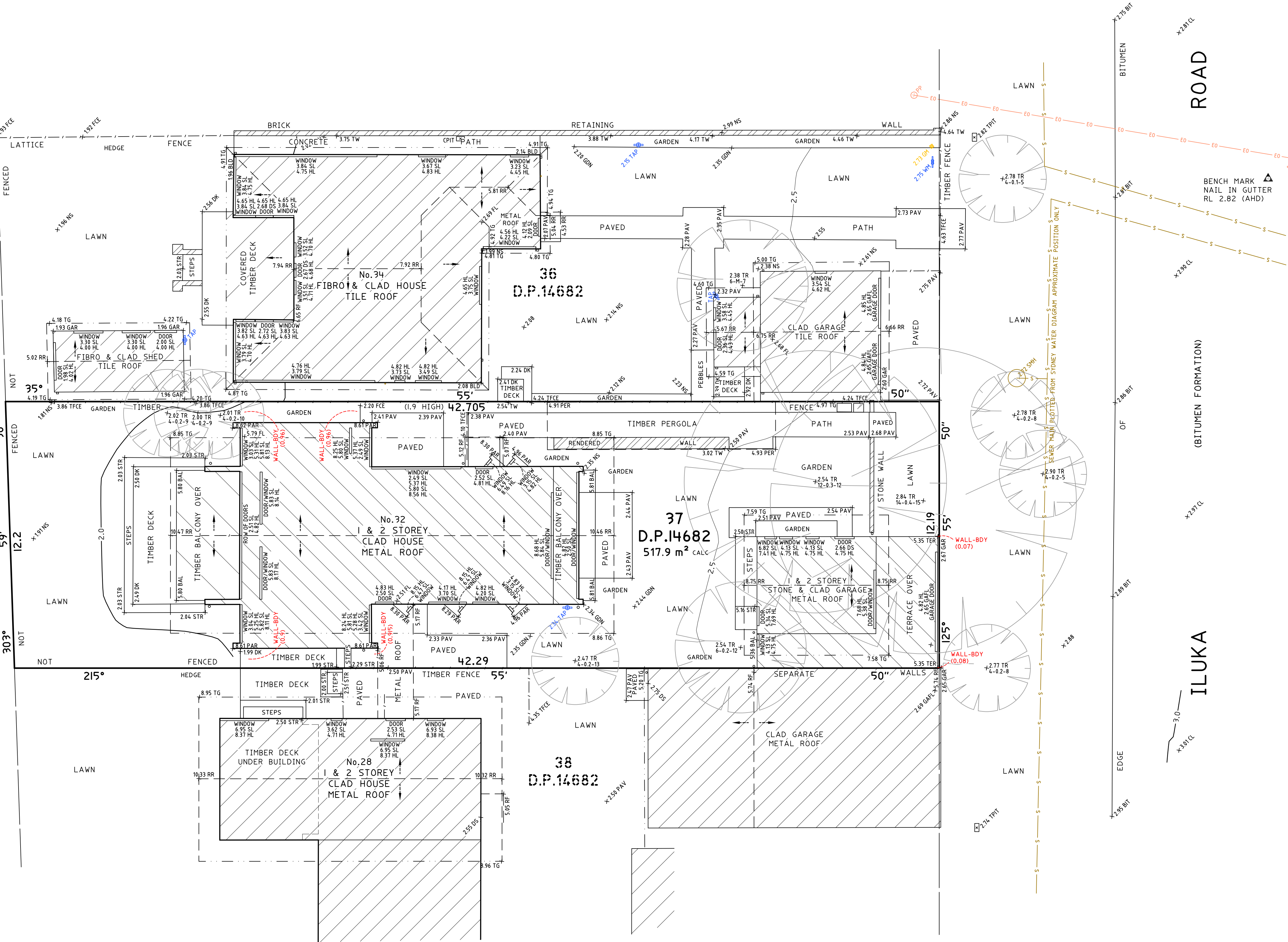
PUBLIC RESERVE

95
D.P.14682

LEGEND:

BAL = BALCONY
BIT = BITUMEN
BLD = EXTERNAL BUILDING
CL = CENTRELINE
CON = CONCRETE
CPIT = COMMUNICATIONS PIT
DK = DECK
DS = DOOR SILL LEVEL
FCE = FENCE
FL = FLOOR LEVEL
FP = FLAG POLE
GAFL = GARAGE FLOOR LEVEL
GAR = GARAGE
GDN = GARDEN
GM = GAS METER
HL = HOOD LEVEL
NS = NATURAL SURFACE
PAR = PARAPET
PAV = PAVING
PERG = PERGOLA
RF = TOP OF ROOF
RR = ROOF RIDGE
SL = SILL LEVEL
SHM = SEWER MAN HOLE
STR = STAIRS
TB = TOP OF BANK
TER = TERRACE
TYCE = TOP OF FENCE
TG = TOP OF GUTTER
TPIT = TELSTRA PIT
TR = TREE
TW = TOP OF WALL
UEV = UNDERSIDE OF EAVE
WM = WATER METER
EO = ELECTRICITY OVERHEAD
S = SEWER UNDERGROUND

TREE
SPREAD-DIAMETER-HEIGHT



TITLE INDICATES THAT LOT 37 IN D.P.14682 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S).

NOTES

- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES, THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF SAM CRAWFORD ARCHITECTS.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (D1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE READINGS.
- COPYRIGHT © CMS SURVEYORS 2025.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

STEPHEN EMERY
REGISTERED SURVEYOR BOSSI NUMBER 1605

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 16499
R.L. 2.880 (CLASS LC)
SOURCE: S.C.I.M.S. (15/12/2021)

2	TREES REMOVED	12/05/2025
1	FIRST ISSUE	7/02/2022

CLIENT:
SAM CRAWFORD ARCHITECTS
No.UNIT 4, 30 WILSON STREET
NEWTOWN, NSW, 2042

BOUNDARY IDENTIFICATION
AND DETAIL & LEVEL SURVEY
OVER LOT 37 IN DP14682
No.32 ILUKA ROAD
PALM BEACH, NSW, 2108

C.M.S. Surveyors Pty Limited
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Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES SHEET 1 OF 1

SURVEYED HH	DRAWN GP	CHECKED HH	APPROVED BG
SURVEY INSTRUCTION 21004A			DATE OF SURVEY 2/02/22 & 12/05/25
DRAWING NAME 21004Adetail			ISSUE 2
CAD FILE 21004Adetail-32 2.dwg			