



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1124

7|4|6

TIBA
ARCHITECTURE
GROUP

Tiba Architecture Group | Nominated Architect: Ihab Sidrak | NSW ARB 6545

8/99 Gladstone Street, North Parramatta, NSW 2151, Australia.

p: +61 2 8677 8484 e: admin@tiba.com.au w: www.tiba.com.au

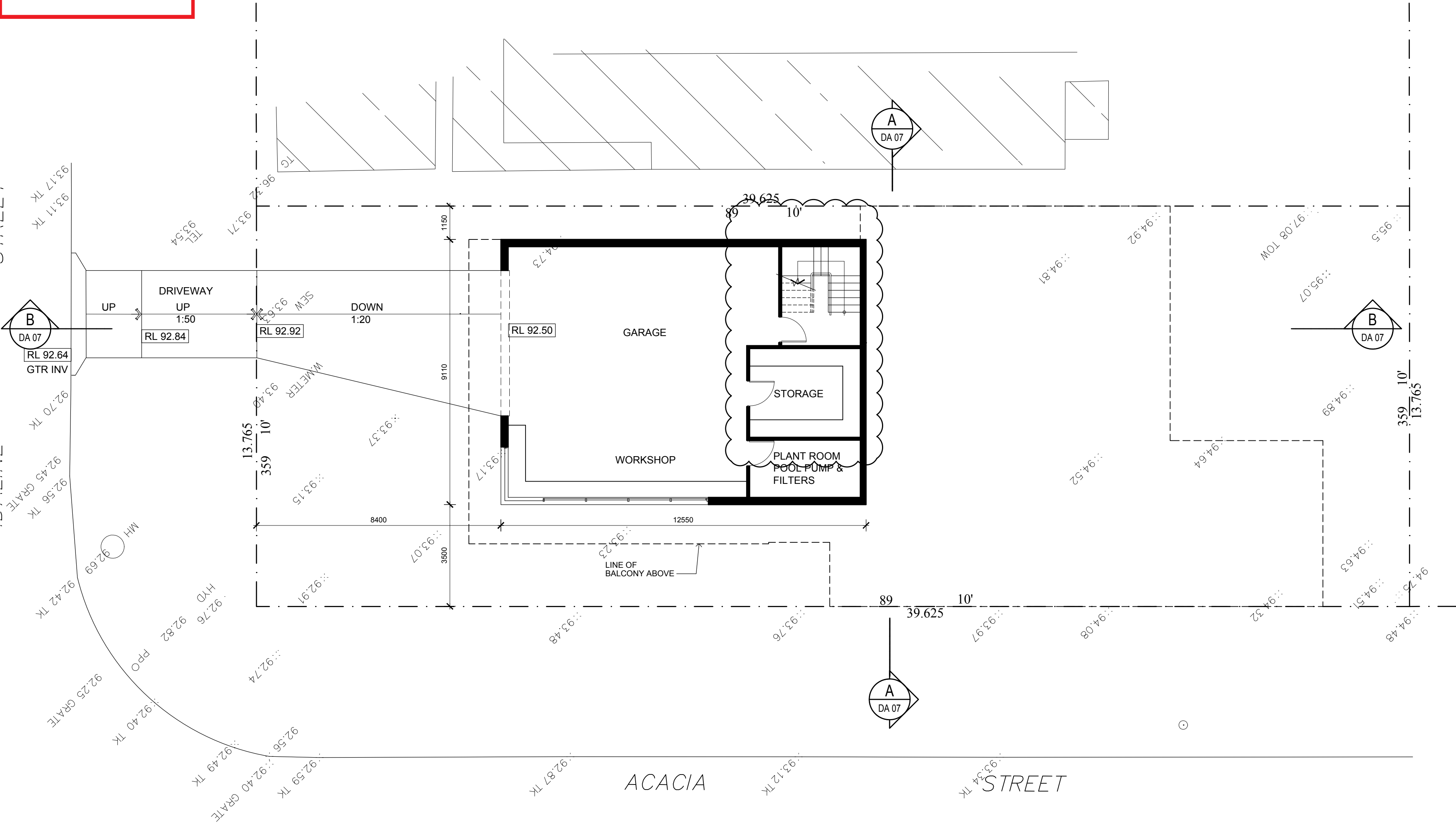
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Contractor to verify all dimensions on site prior to commencement. Figured dimensions shall take precedence over scaled drawings.
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DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

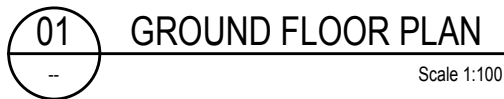
REV.	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	01/05/19
B	DRIVEWAY REVISED HOUSE MOVED TOWARDS THE WESTERN BOUNDARY	09/08/19
C	STAIRS / STORAGE AREA REVISED	30/12/19



PROJECT		
Proposed New Dwelling 88 Idaline Street, Collaroy Plateau		
CLIENT		
Mr. James Millard & Ms. Sandra Nicola		
Drawing: Basement Floor Plan		
Scale:	1:100@A2	Date: DEC 2018
PROJECT # DRAWING # REVISION		
1402	DA-02	C

The work indicated in this drawing shall be carried out in accordance with all Workcover requirements, Occupational health & safety act regulations and National construction code / Building code of Australia.

REV.	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	01/05/19
B	DRIVEWAY REVISED HOUSE MOVED TOWARDS THE WESTERN BOUNDARY	09/08/19
C	STAIRS / BATH AREA REVISED	30/12/19



PROJECT #	DRAWING #	REVISION
1402	DA-03	C

NOT FOR CONSTRUCTION

REV.	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	01/05/19
B	DRIVEWAY REVISED HOUSE MOVED TOWARDS THE WESTERN BOUNDARY	09/08/19
C	STAIRS, BED1 & FAMILY AREA REVISED / BALCONY RELOCATED TO NORTH EASTERN CORNER	30/12/19

PROJECT
Proposed New Dwelling
88 Idaline Street, Collaroy Plateau

CLIENT

Mr. James Millard & Ms. Sandra Nicola

Drawing: First Floor Plan

Scale: 1:100@A2 Date: DEC 2018

PROJECT #	DRAWING #	REVISION
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1402 DA-04 C

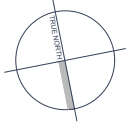
01 FIRST FLOOR PLAN

Scale 1:100

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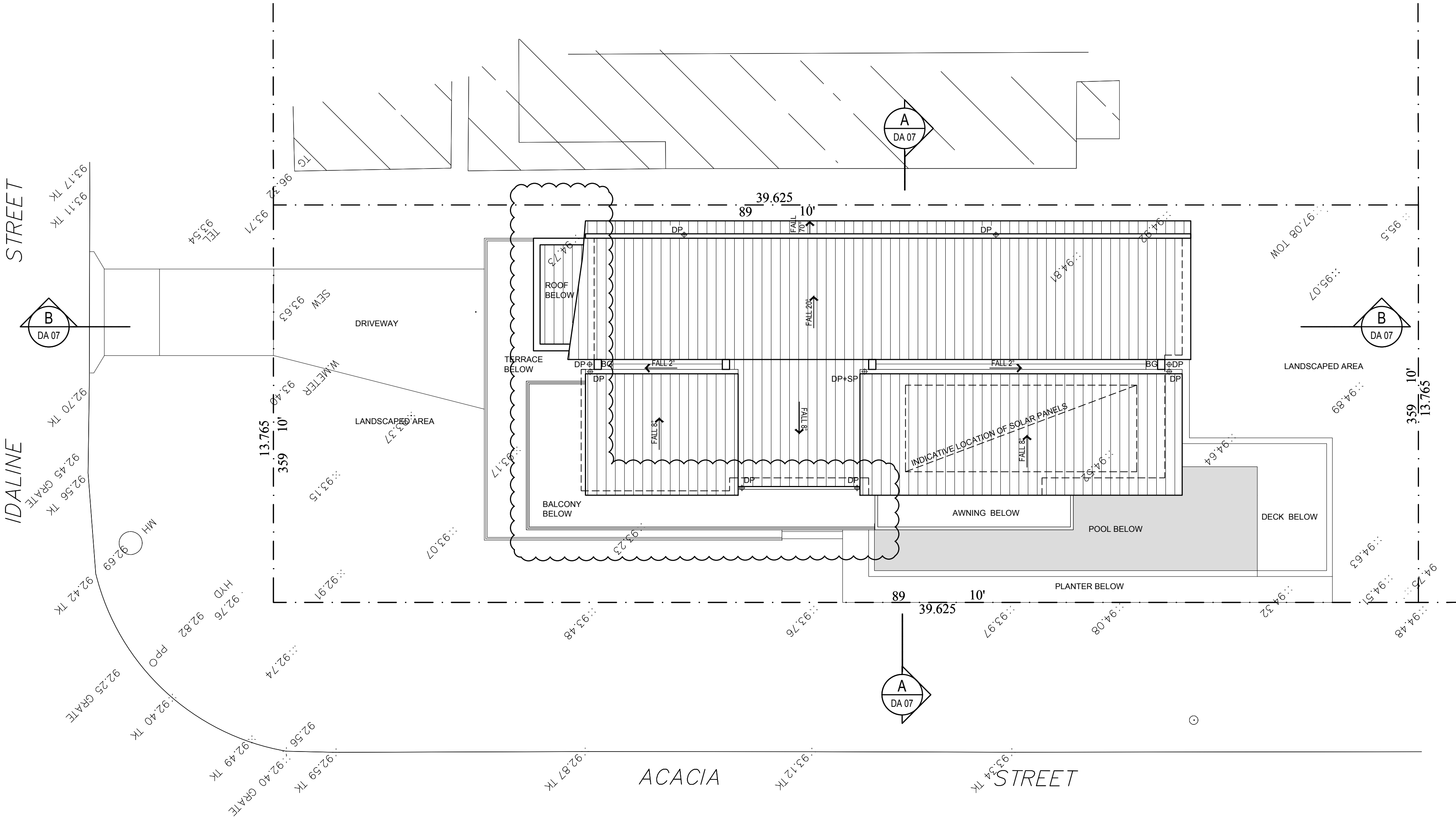
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DEVELOPMENT APPLICATION



NOT FOR CONSTRUCTION

REV.	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	01/05/19
B	DRIVEWAY REVISED HOUSE MOVED TOWARDS THE WESTERN BOUNDARY	09/08/19
C	BALCONY RELOCATED TO NORTH EASTERN CORNER	30/12/19



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DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

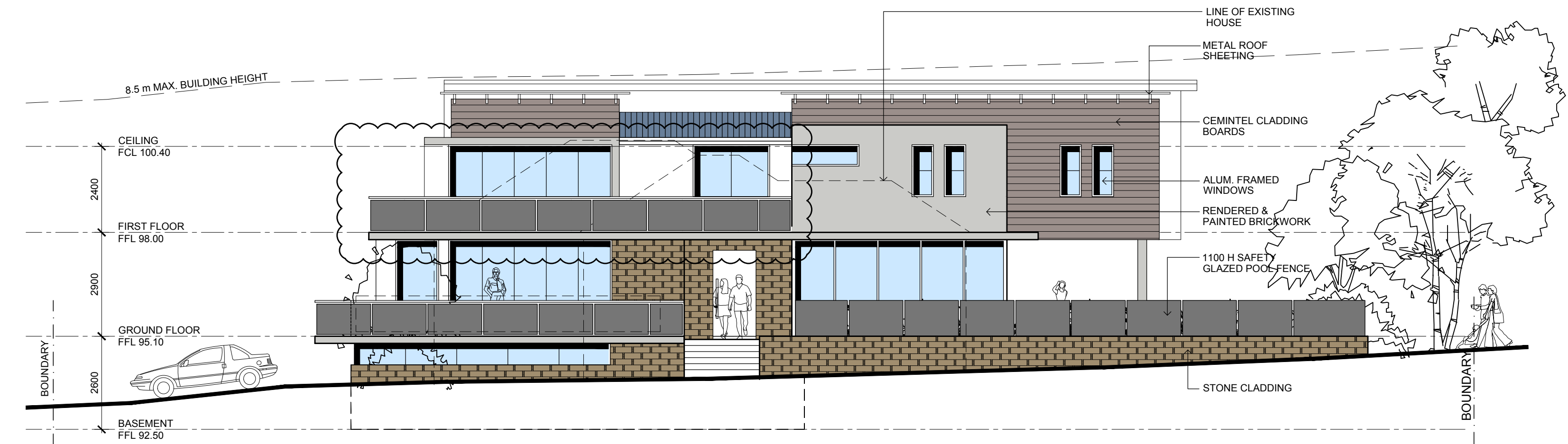
REV.	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	01/05/19
B	DRIVEWAY REVISED HOUSE MOVED TOWARDS THE WESTERN BOUNDARY	09/08/19
C	BALCONY RELOCATED TO NORTH EASTERN CORNER	30/12/19



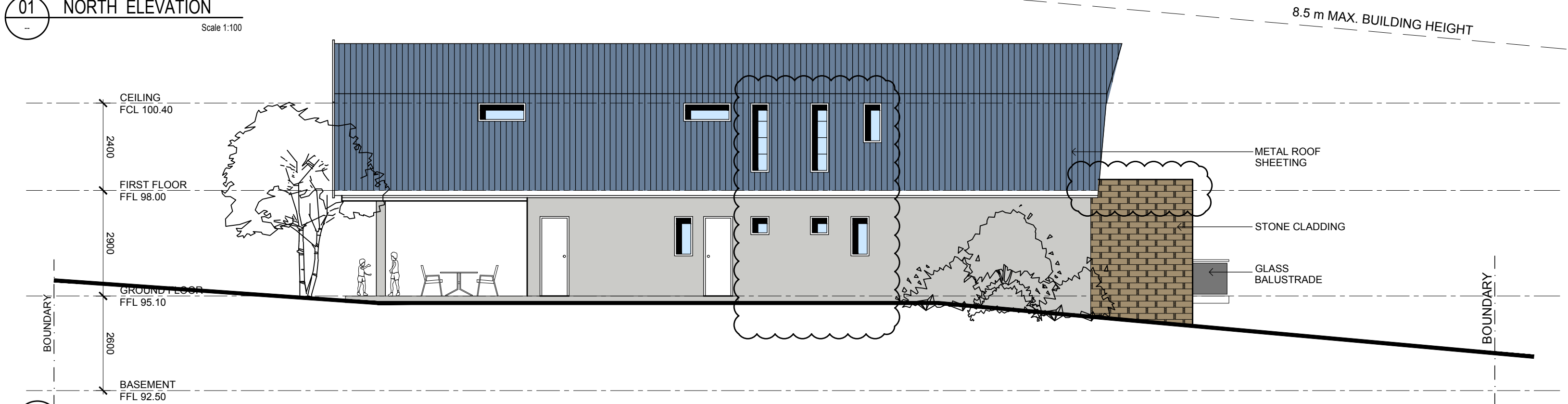
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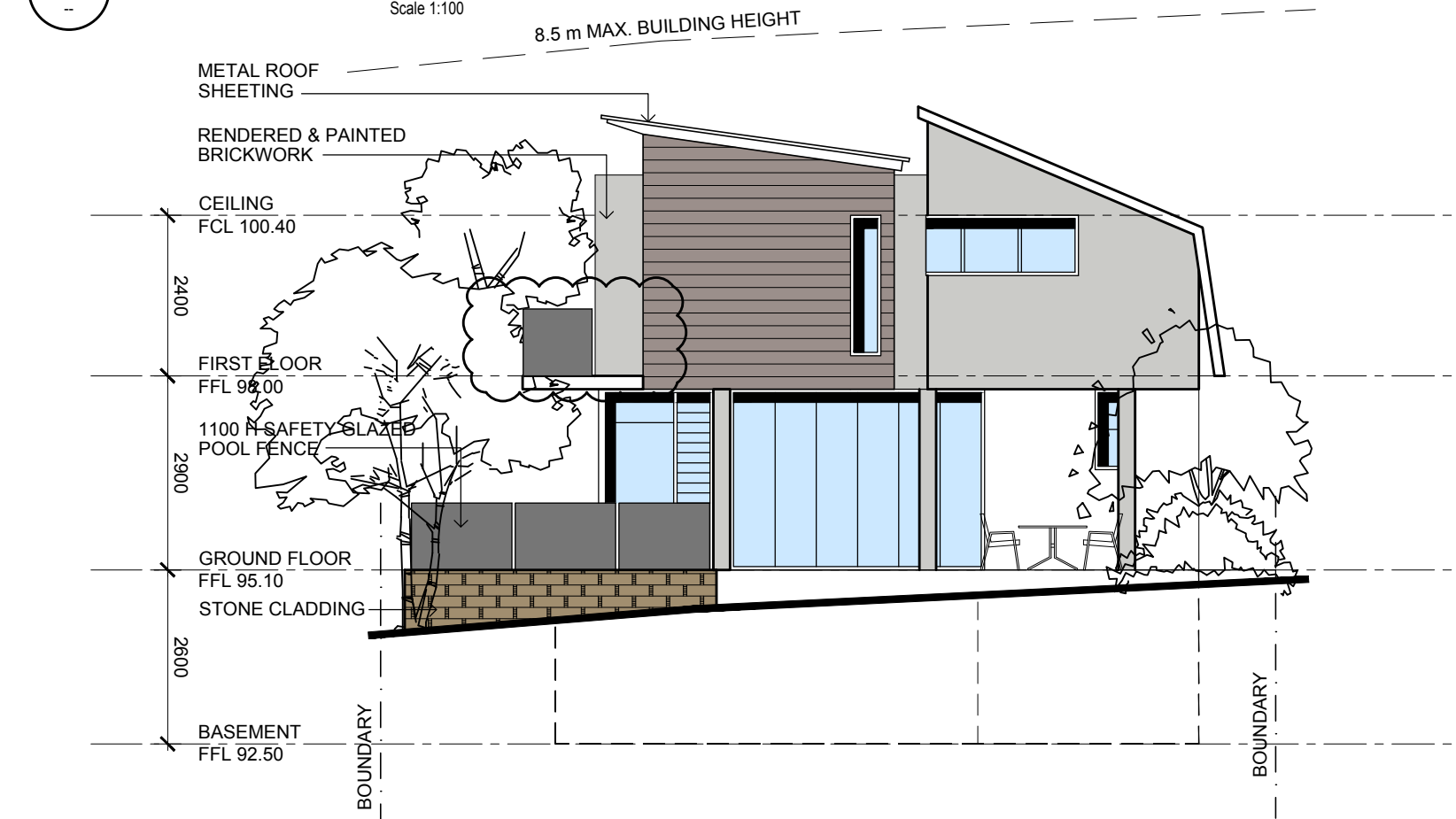
DA2019/1124



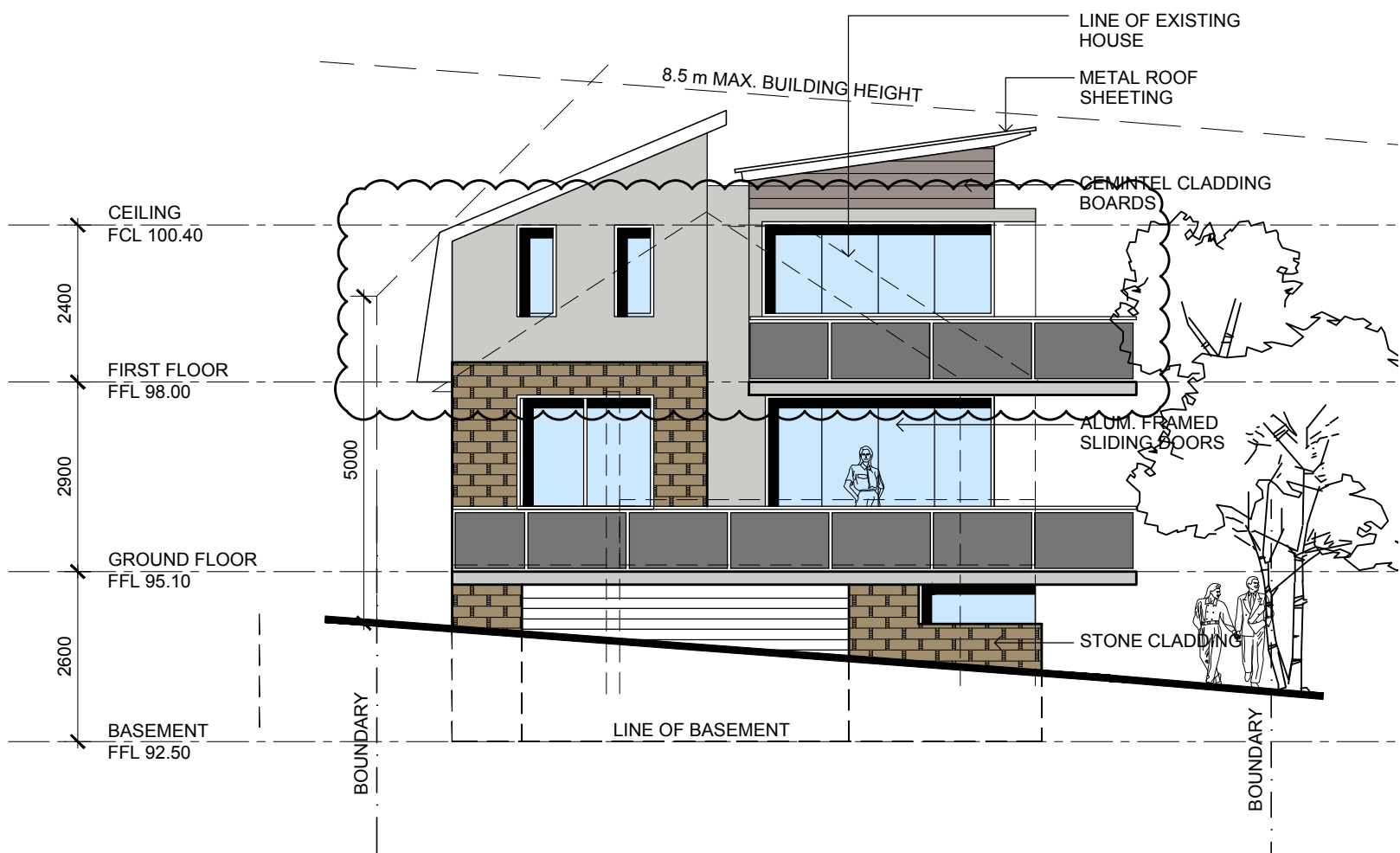
01 NORTH ELEVATION
Scale 1:100



02 SOUTH ELEVATION
Scale 1:100



03 WEST ELEVATION
Scale 1:100



04 EAST ELEVATION
Scale 1:100

NOTE:
FOR EXTERNAL FINISHES
SELECTION REFER TO
EXTERNAL FINISHES
SCHEDULE

PROJECT
Proposed New Dwelling
88 Idaline Street, Collaroy Plateau

CLIENT
Mr. James Millard & Ms. Sandra Nicola

Drawing: Elevations

Scale: 1:100@A2 Date: DEC 2018

PROJECT #	DRAWING #	REVISION
1402	DA-06	C



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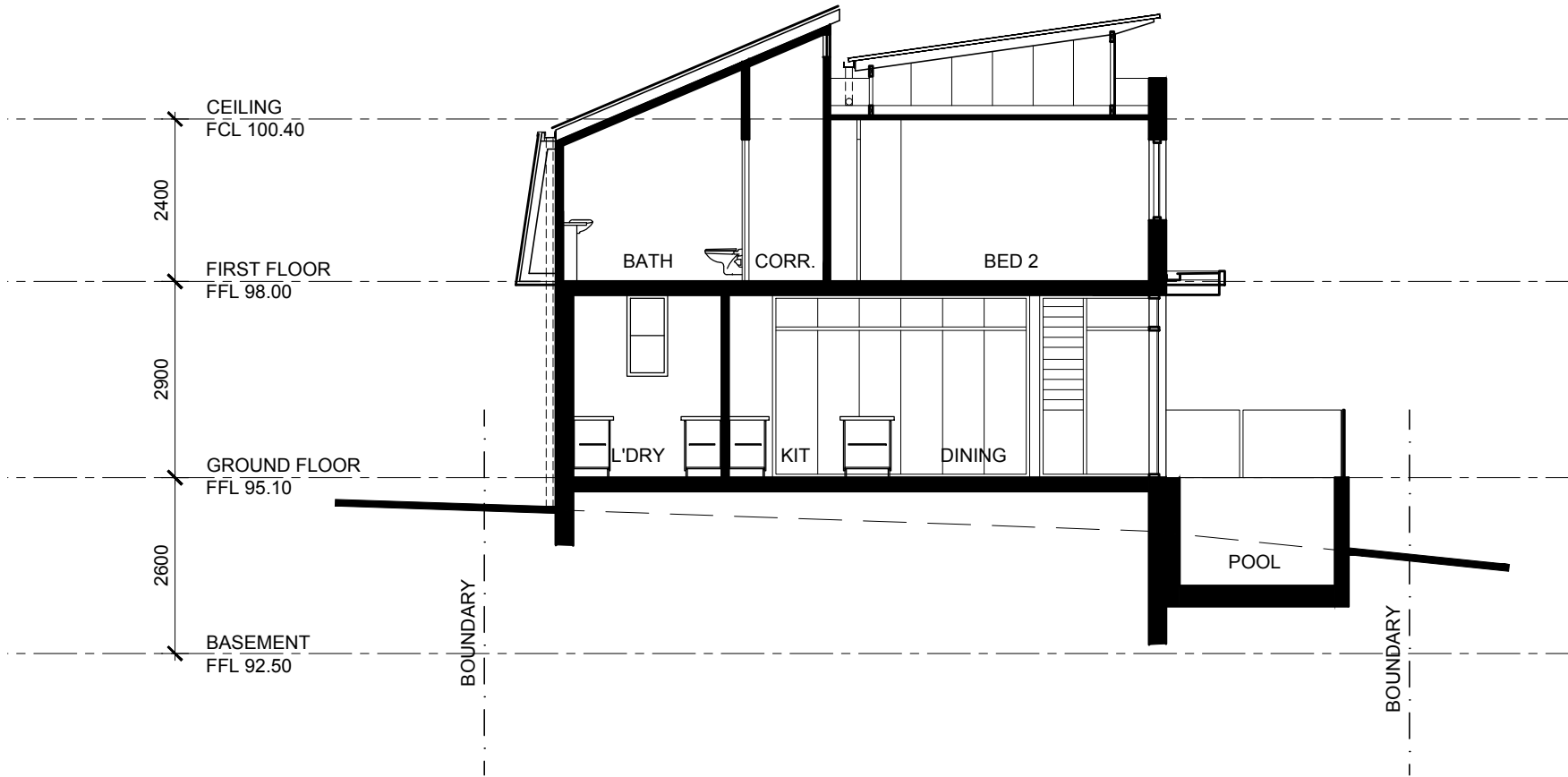
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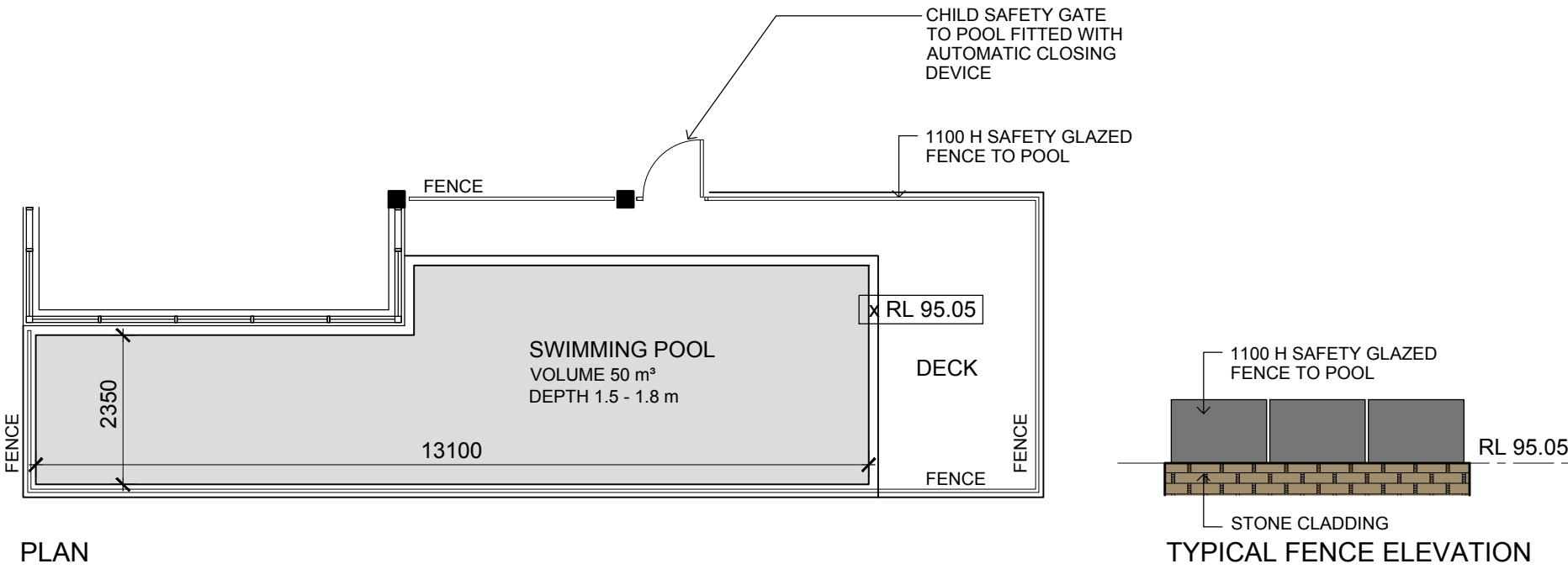
DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

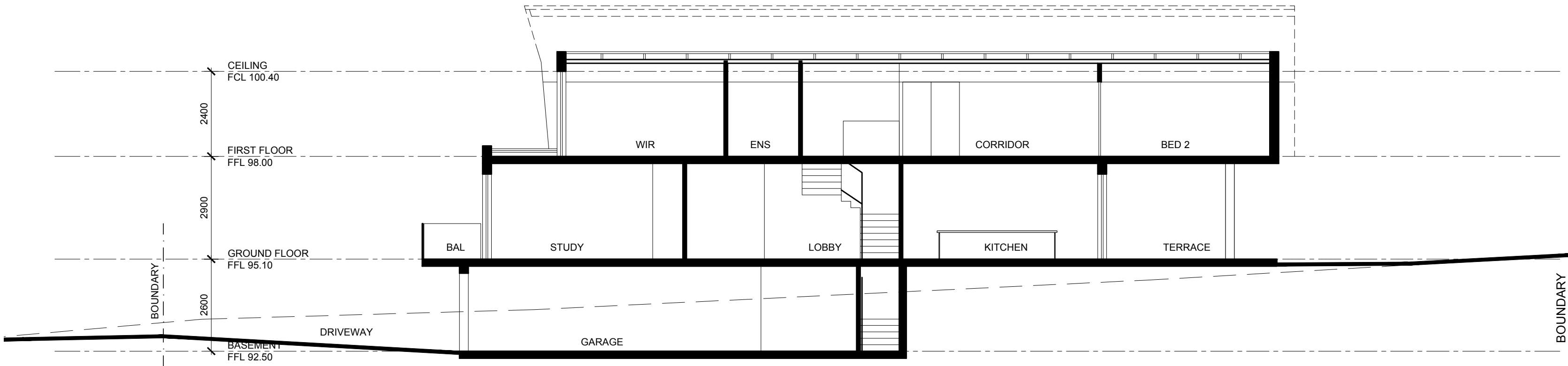
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B	DRIVEWAY REVISED HOUSE MOVED TOWARDS THE WESTERN BOUNDARY	09/08/19
C	BALCONY RELOCATED TO NORTH EASTERN CORNER	30/12/19



01 SECTION A-A
--
Scale 1:100

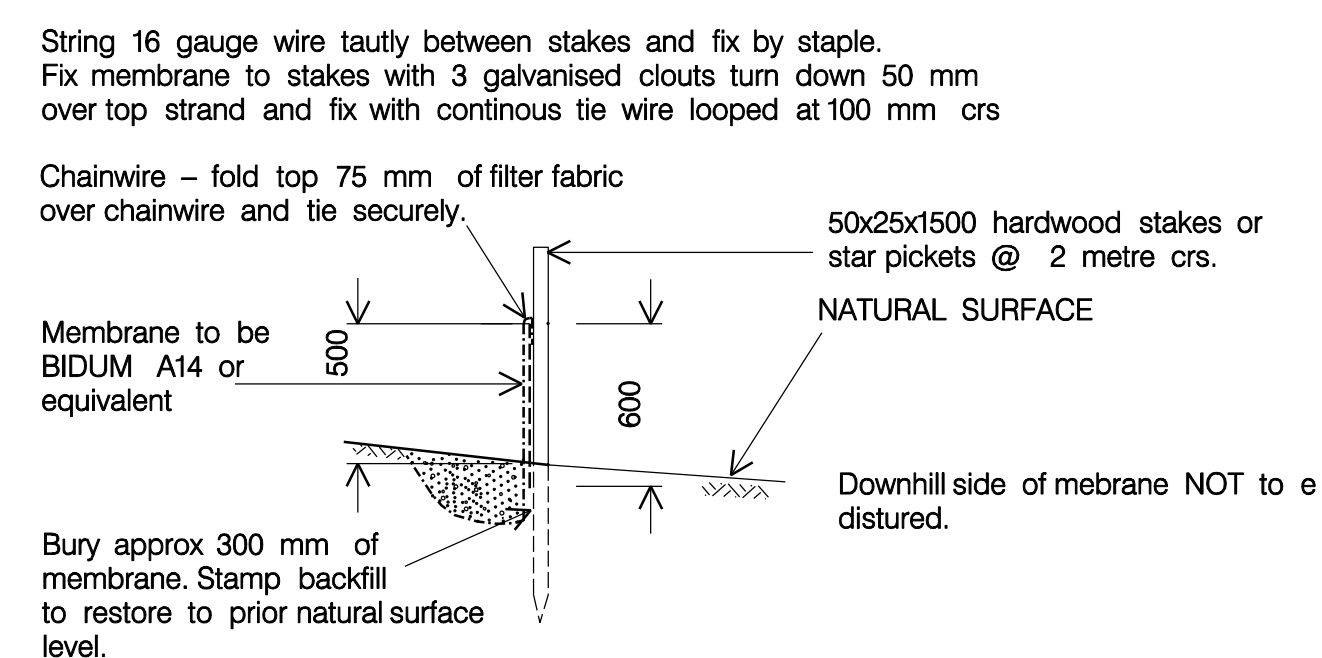


03 SWIMMING POOL
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Scale 1:100



02 SECTION B-B
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Scale 1:100

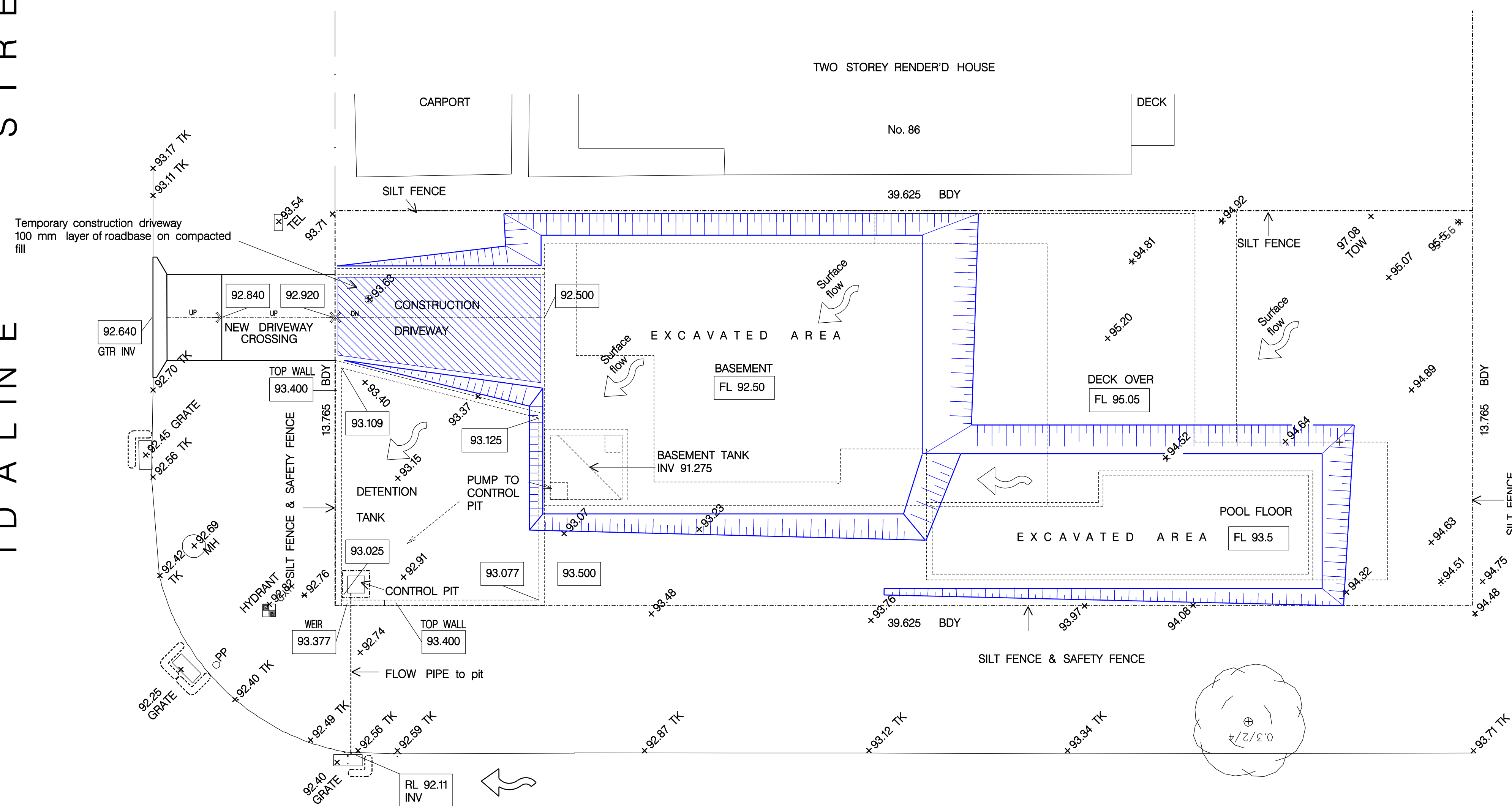
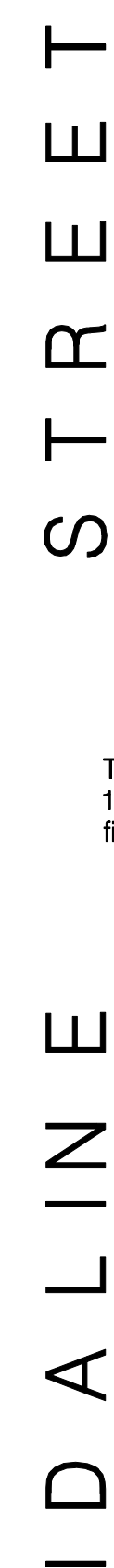
PROJECT		
Proposed New Dwelling 88 Idaline Street, Collaroy Plateau		
CLIENT		
Mr. James Millard & Ms. Sandra Nicola		
Drawing: Sections		
Scale: 1:100@A2		Date: DEC 2018
PROJECT #	DRAWING #	REVISION
1402	DA-07	C



Clean behind fence at regular intervals & after each major storm.
Regularly remove silt from fence fabric, inspect and keep in good repair and function.

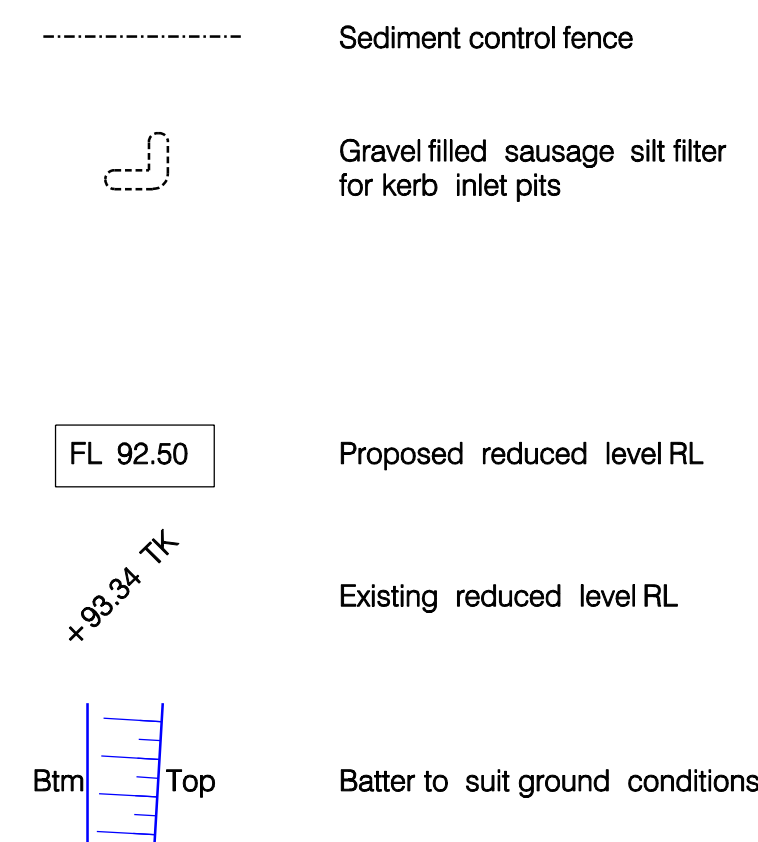
SILT FENCE DETAIL

NTS



A C A C I A S T R E E T

LEGEND



This plan to be read in conjunction with
stormwater drainage plans prepared by AZZURRA
CONSULTING Pty Ltd drawings numbered 1 to 8
dated march 2019 ISSUE 2

B	Driveway relocated	3.9.19
A	Development Application	
Issue		Date
EROSION CONTROL & CUT EXCAVATION PLAN PROPOSED DWELLING AT No. 88 IDALINE STREET COLLARROY PLATEAU		
SJ NICOLA & ASSOCIATES CONSULTING CIVIL & STRUCTURAL ENGINEERS John NICOLA BE FIE Aust. CPEng. NER sjnicolaandassociates@gmail.com 0400 300700		
Scale 1:100 @ A1	Date April 2019	Dwg no. C1 B Of 1