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Statement of Environmental Effects

**Proposed new covered deck and study-room at the
rear of**

**22 Tobruk Avenue Allambie Heights
Lot 11 Setion 50 DP 237501**

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1. Introduction

This document has been prepared on behalf of Damian Rose owner of no. 22 Tobruk Av, Allambie Heights for the purposes of a DA application to add a 18sqm study to the existing lower ground floor plan and to enlarge the existing deck, and cover it with a timber framed roof got provide a more useable outdoor terrace area of 40sqm.

The documents considered for this Statement of Environmental Effects are:

- Northern Beaches Council's Warringah Development Control Plan 2011
- Warringah Local Environment Plan 2011

2. Site Context & Surrounding Development



FIG. 1. LOCATION PLAN

The subject property is identified as LOT 11 Sec 50 DP 237501
The property is located in R2 Low density zoning. The land area is aprox.
800sqm
The proposal is isolated to the rear of the property.



FIG. 2. STREET VIEW



FIG. 3.
Rear view showing Existing deck to be replaced

2. Description of the proposal

Please also refer to the corresponding drawings in the DA Architectural Plans set dated 05/11/2024 for more detail.

This report demonstrates how the proposed architectural design fits into the natural and built environment and how it complies with the current Northern Beaches Council's guidelines and constraints to make sure that the proposed does not have any adverse effect on the amenity of the neighbourhood.

The proposal consists of two elements

1. A new covered deck
2. 16sqm Study below the West side of the new deck.



FIG.4
View of rear additions



Fig. 6
Lower Ground floor Plan - see enclosed plans for more detail

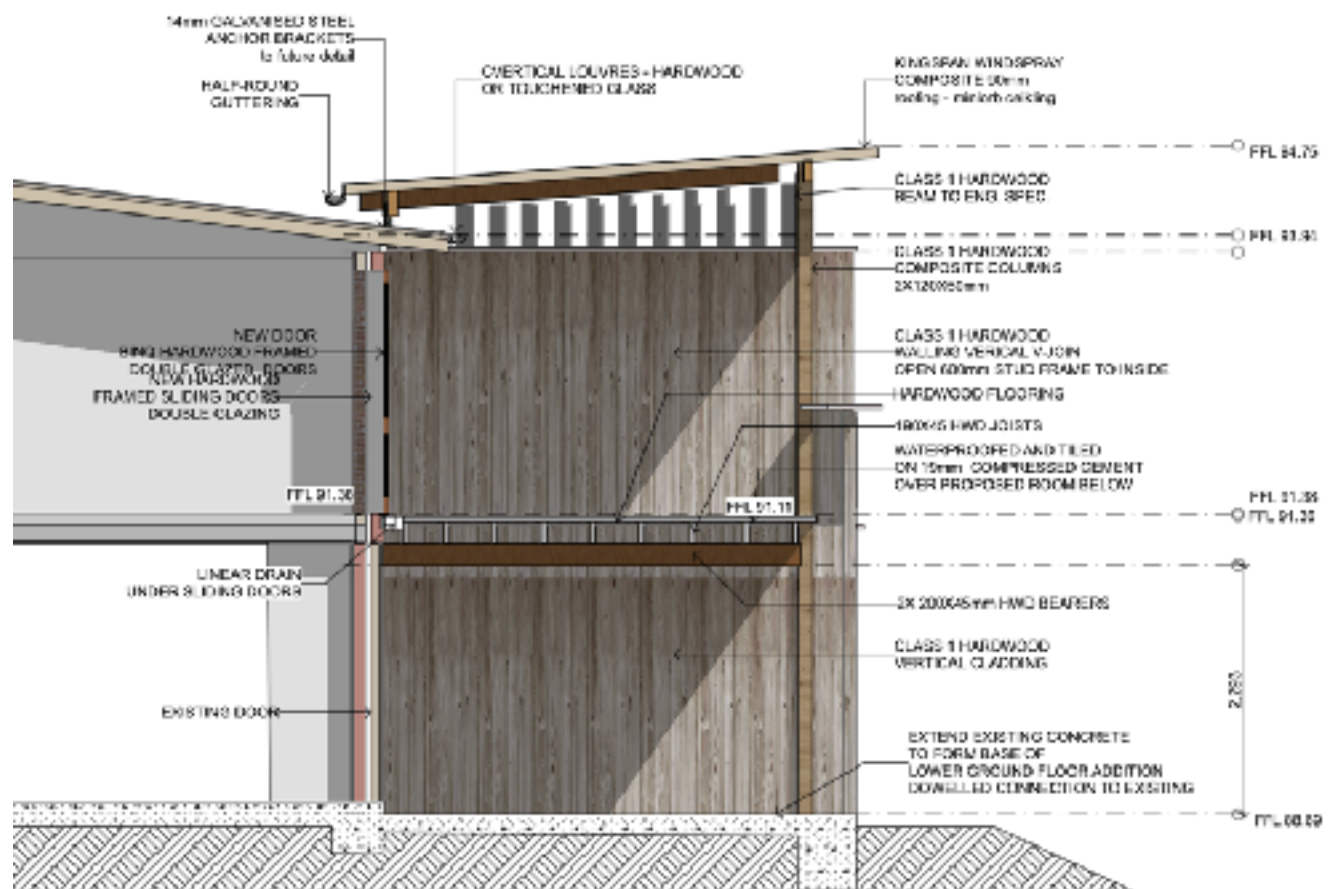


FIG. 7 SECTION THROUGH PROPOSED COVERED VERANDAH

3. NSW Planning Considerations - Warringah Local Environmental Plan LEP 2011

Under the Warringah Local Environmental Plan (LEP) 2022, as per Land Zoning Mapping below, the subject land is classified as R2 Low density Residential.

The corresponding Land Use Table for Zone R1 General Residential, indicates the proposed addition of 16sqm on the lower ground floor and the replacement t covered deck are permitted with Consent.

The proposed development is therefore allowable and encouraged within the given zoning. The proposed alterations and additions comply with the Warring LEP. The Relevant compliance information is shown below:

According to the above Floor Space Ratio Map the FSR classification is 0.5

The area of the subject allotment is 798m², which means that the total proposed FSR is only 0.2

The PROPOSED house is 158sqm therefore the proposed floor area is well within the requirements of the Gosford Local Environment Plan.

MINIMUM LOT SIZE-

The property is 800m² in area, minimum lot size is 600m².

HEIGHT

The maximum building height allowed at this address is 8.5m as per Central Warringah LEP 2011 mapping. The proposed is within the guidelines at

Maximum height is 8.5m

HERITAGE-

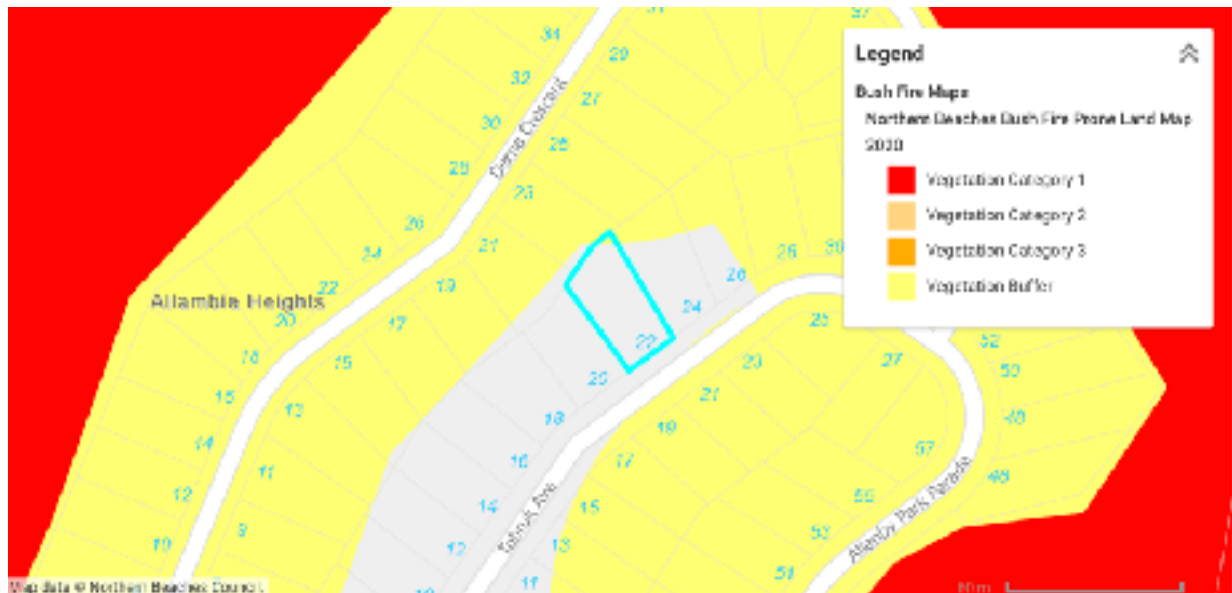
The property is not heritage listed, near a heritage item nor is it in a heritage conservation area.

FLOODING-

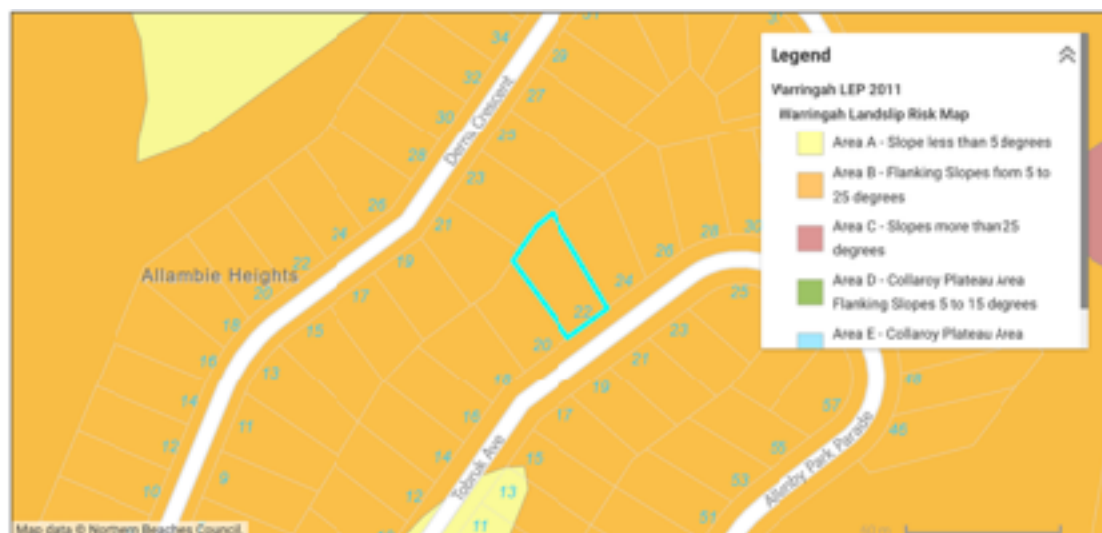
The property is not affected

BUSHFIRE

The property is within the Flame Zone bushfire Category Vegetation Buffer as identified by the Northern Beaches Bush Fire Prone Land Map below. Please refer to the enclosed Bush Fire Assessment Report.



Land Slip Risk Map-Area B



Under Clause 6.4 Development on sloping land. The proposed additions do not alter the ground or subsurface flow conditions of the site because the proposed room addition is sited on an existing concrete slab at the rear of the house, while the raised

deck is simply replacing the existing deck with footings tiered to solid sandstone substrate.

Therefore the proposed satisfies the following as per Part 6 cl.6.4 of the Warringah LEP 2011:

- (a) the application for development has been assessed for the risk associated with landslides in relation to both property and life, and
- (b) the development will not cause significant detrimental impacts because of stormwater discharge from the development site, and
- (c) the development will not impact on or affect the existing subsurface flow conditions.

For more information refer to the enclosed Geotechnical Engineering Report.

4. Warringah Development DCP 2011

A. Introduction

The subheadings below discuss and demonstrate compliance of the proposed additions and alterations with development controls.

B. BUILDING FORM

B2- Setbacks

The proposed raised deck is 4.4m away from the West Boundary and 14.74m from the Northern boundary.

B3 - Side boundary Envelope

At the setback which is 3 times the recommended setback of the first floor and with regards to the building envelope, the proposal is wholly within these guidelines. Please refer to the North Elevation in the DA set of Architectural plans.

C. SITING

C4 - Stormwater

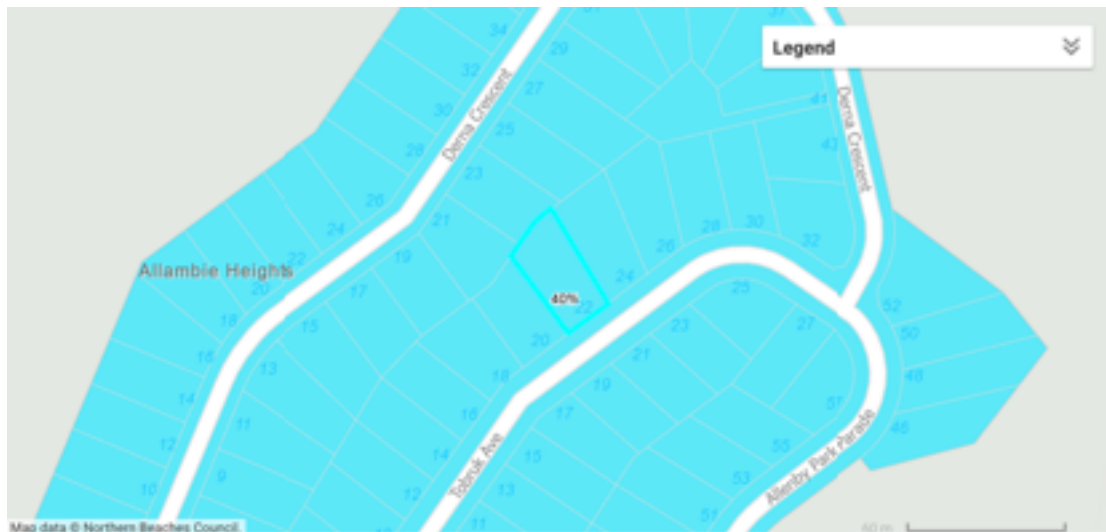
Stormwater reticulation system will not be altered as post development ground site coverage will remain the same. Rainwater Collection Tank is proposed to be installed for gardening purposes.

C9 - Waste Management

Council Collections. See waste management plan enclosed with this application .

D. DESIGN

D1 - LANDSCAPED OPEN SPACE AND BUSHLAND SETTING



The minor nature of the alterations ie. 14 sam addition below an existing deck, Means that the ample landscaped open space on this block measuring 793sqm is left unimpeded. The current and proposed area of Landscaped Open Space is over 600sqm and complies with cl.D1 of the WDCP.

D2 - Private Open Space

D6 - Access to Sunlight

The Proposal does not obstruct any sunlight to neighbouring properties the Northern slope orientation and 4m setback and the placement of the proposed new room on the lower ground floor.

D7 - Views

The Proposal does not obstruct any view from neighbouring properties

D8 - Visual Privacy

The privacy of the enlarged terrace is maintained by the 4m side boundary setback and the solid timber wall on the West side ion the deck.

D9 - BUILDING BULK

The house at 22 Tobruk will remain unchanged as viewed from the street. The lightweight nature of the proposed new awning over the deck and the fact that it is set away from the extent of the existing brick walls of the house, ensuring articulation of the added form so that a monolithic wall to the west is wholly avoided.

D10 Building Colours and materials

The deck is lightweight construction, timber framing and cladding using class 1 Australian Hardwood to complement the ferns and a couple of majestic trees further down the block.

D14 - Fences

Remain unchanged and refurbished where necessary in agreement with neighbours

Other relevant clauses from WDCP 2011**- Car Parking and Access**

A substantial improvement to the current street parking being used by the resident of the existing old house on the block. By providing two off street car parks, two permanently parked cars will be taken off the road in the vicinity of the ferry wharf, and there will be more available space for short term drop-offs to the wharf.

- Earthworks Structural Support

No earthworks are proposed other than piling for foundations

Retaining Walls and Structural Support

No retaining walls are proposed.

TABLE 2: PROPOSAL COMPLIANCE -WARRINGAH DCP 2011

Provision	Requirement	Proposal	Complies
Building height	8.5m	maximum ridge height 7.5m	YES
Front Setback	Shall be consistent with prevailing setbacks	unaltered	YES
Provision	Requirement	Proposal	Complies
Rear Setbacks	The rear setback should not extend beyond the established rear building setback and must allow sufficient space for a useable private open space area and landscaped area	established setbacks 16m varies	YES
Side Setbacks	900+25%of height above 4.5	OVER 4m	YES
Architectural Character and articulation	The character of development is to be consistent with the character of Allambie Heights	see description of proposal e)corrugated metal deck roof is manor red (mid-range colour)	YES

Amenity	Solar access, over-shadowing and visual and acoustic privacy	All criteria have been met,	YES
Materials, Finishes and Colours	Materials, finishes, textures and colours should be appropriate to the Character statement	All proposed materials are sympathetic to desired character of Allambie Heights	YES
Provision	Requirement	Proposal	Complies
Solar access	Sunlight is provided to at least 50% of the main ground level private open space of adjacent properties for a minimum of two hours between 9am and 3pm on 21 June. Where existing overshadowing is greater than this, sunlight is not further reduced.	no overshadowing of adjacent house	YES (see shadow diagrams)
Private Open Space	Minimum required private open space	area of private open space is over 100sqm	YES
Landscaped area	min 35% of the site (min 1m wide)		YES

CI 2.1.2.2 Site Coverage	for allotments 350-400 maximum site cover- age is 50%	42%	YES
2.1.5 carparking	2 off Street parking for 3 bedroom house	2 Car garage	YES
CI.2.1.7.4 Fences	1.8m SIDE 1.2m ON FRONT BOUNDARY	Existing fences are to be retained AND RE- FURBISHED 1.8 SIDE 1.2 FRONT	YES
CI 2.1.6.1 Cut and Fill There will be no cut and fill in the proposed works	No Cut or Fill more than 1m	No cut and fill	Yes

5. General Environmental Controls

-Acid Sulphate Soils

The property is located on class 3 Acid Sulphate Soil.

-Erosion Sedimentation Control

Please refer to the site analysis plan for the location of Sedimentation and erosion measures which are to be put in place during construction to eliminate any adverse environmental effect of the construction process.

-Energy and Water Cycle management

The proposed alterations will not alter the current Energy and Water Cycle on the property as the additions are proposed under the existing roof thereby not adding to stormwater runoff. Furthermore the addition of one toilet and shower will have negligible effect on the council sewerage reticulation system. The property is seweraged, there is no on-site effluent or grey water disposal proposed.

-Tree and Vegetation Management

All existing on site vegetation will be maintained and additional ongoing native flora and fauna management with respect to recommendations in the Bushfire report in aid of under scrubbing and maintaining the property to required Flame Zone management standards to minimise the risk of bushfire.

6. Assessment in relation to other relevant Planning instruments

The proposed modification has been evaluated with regard to the matters for consideration of the Environmental Planning and Assessment Act 1979 (EP&A Act) that may not have been directly referenced elsewhere within this statement.

- 1. The Provisions of any Environmental Planning Instrument – 4.15 (1)(a)(i)**
Consideration has been given to relevant Environmental Planning Instruments (EPI) above. The proposed development is not manifestly inconsistent with any EPI.
- 2. The Provisions of any Draft Environmental Planning Instrument – 4.15(1)(a)(ii)**
The proposed modification is consistent with the Draft Central Coast Local Environmental Plan 2019, which relates to the land.
- 3. The Provisions of any Development Control Plan – 4.15(1)(a)(iii)**
Consideration has been given to the provisions of the relevant Development Control Plan. The proposed development is considered to be consistent with the objectives of GDCP 2022.
- 4. The Provisions of any Planning Agreement – 4.15(1)(a) (iiia)**
No Planning Agreement is applicable to this application.
- 5. The Provisions of the Regulations – 4.15(1)(a)(iv)**
No regulations not previously discussed are applicable to this application.
- 6. Likely Impacts of the Development– 4.15(1)(b)**
no impact
- 7. Suitability of the Site for the Development– 4.15(1)(c)**
The subject site is considered suitable for the proposed development in this location, with no change to the approved use of the land proposed under this modification application.
- 8. The Public Interest – 4.15(1)(e)**

It is considered that the proposed residential proposal will have a positive impact by providing accessible accommodation close to public transport. The house is not too large (165sqm) and in very low maintenance. It is unlikely that the proposed modification would result in any unreasonable adverse impacts on the natural environment, or the amenity of both the subject site or surrounding sites, nor would it generate any adverse impact on the character of the surrounding area. Accordingly, the proposed amendment is considered to be in the public interest and that it will contribute to the public interest of the area.

7. Conclusion

In Conclusion, the proposed is below the maximum controls in all respects. The additions and alterations to the rear of the existing house will have no impact on the sur-

rounding build or natural environment and will contribute positively to the neighbourhood in terms of improved quality of housing stock that will endure for the next generation and demonstrating a well proportioned and aesthetically fitting in the local natural setting. It sets a new standard for a local vernacular that respects what came before it and attempts to conserve a character of smaller scale lightweight housing stock.