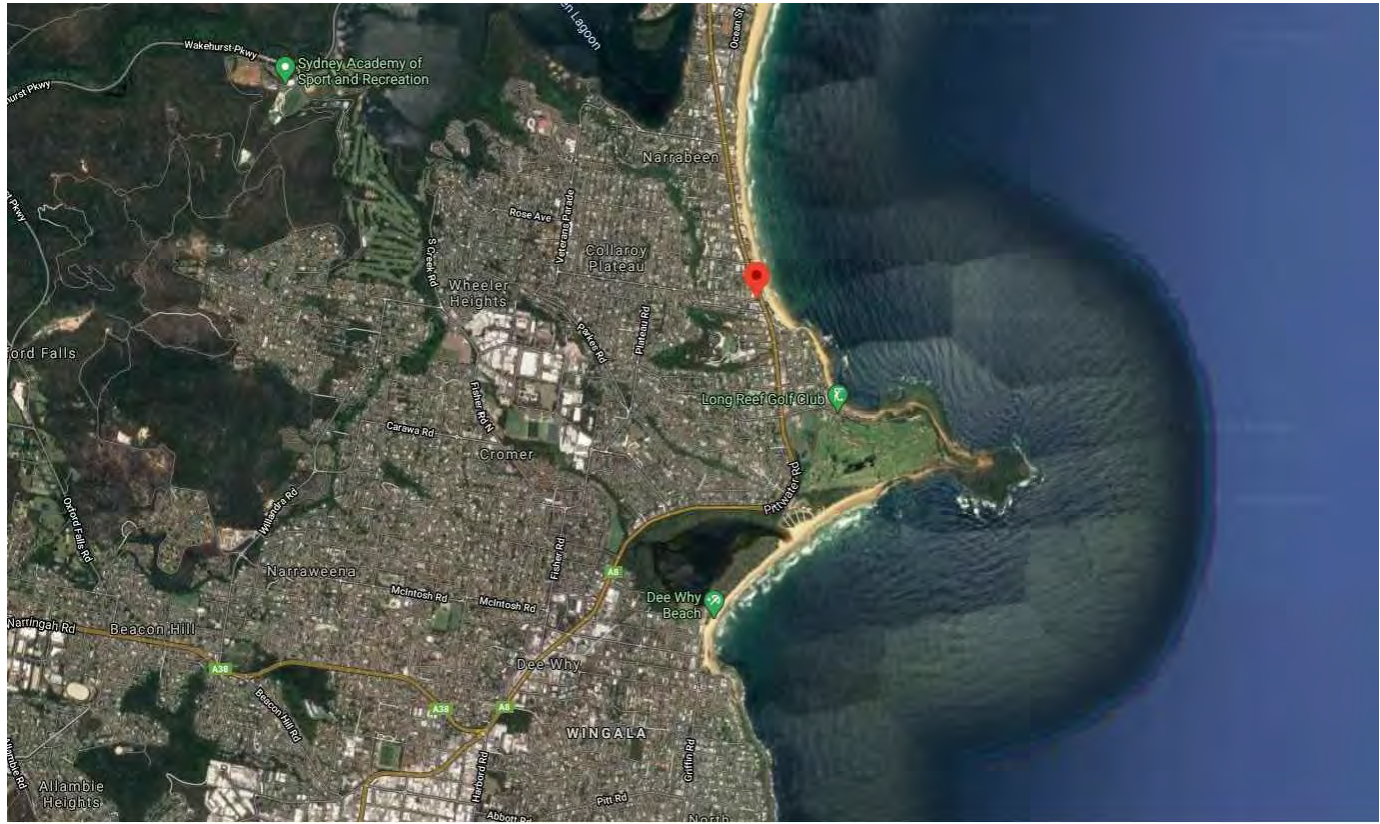


AREA LOCATION (N.T.S.)



SITE LOCATION PLAN (N.T.S.)



LEGEND:

	EXISTING WALLS
	PROPOSED WALLS
	DEMOLISHED
	WINDOW REFERENCE
	DOOR REFERENCE

	TIMBER
	STONE
	CEMENT RENDER
	GLASS
	METAL
	CLAY TILE
	CEMENT / CONCRETE FLOOR
	TIMBER FLOOR

MATERIAL LEGEND:

ABBREVIATIONS:

AC	AIR CONDITIONING
AFFL	ABOVE FINISHED FLOOR LEVEL
AHD	AUSTRALIAN HEIGHT DATUM
AS	AUSTRALIAN STANDARDS
AL	ALUMINIUM
AP	ACCESS PANEL
BAL	BALUSTRADE
BDY	BOUNDARY
BL	BLOCKWORK
BLDG	BUILDING
BW	BRICKWORK
CFC	COMPRESSED FIBRE CEMENT
CL	CENTRELINE

COL	COLUMN
COS	CHECK ON SITE
CPT	CARPET
CT	CEMENT RENDER
DIM	DIMENSION
DP	DOWNPIPE
DW	DISHWASHER
DWG	DRAWINGS
EDB	ELECTRICAL DISTRIBUTION BOARD
EQ	EQUAL
GPO	GENERAL PURPOSE OUTLET
GUT	GUTTER
FR	FRIDGE
FC	FIBRE CEMENT

FCL	FINISHED CEILING LEVEL
FE	FENCE
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
FP	FIREPLACE
FW	FLOOR WASTE
GL	GLASS / GLAZED
GALV	GALVANIZED
GD	GRATED DRAIN
EQ	EQUAL
GPO	GENERAL PURPOSE OUTLET
GUT	GUTTER
HC	HOSECOCK
HR	HANDRAIL

HWS	HOT WATER SYSTEM
LVL	LEVEL
M	METRE
MAX	MAXIMUM
MIN	MINIMUM
MDF	MEDIUM DENSITY FIBREBOARD
MECH	MECHANICAL
MI	MIRROR
MW	MICROWAVE
NTS	NOT TO SCALE
NOM	NOMINAL
PB	PLASTERBOARD
PIT	STORMWATER PIT

PC	POWDERCOATED
PLY	PLYWOOD
PRELIM	PRELIMINARY
PT	PAINT
RL	REDUCED LEVEL
RWH	RAIN WATER HEAD
RWO	RAIN WATER OUTLET
RWT	RAIN WATER TANK
SP	SPREADER (DOWNPIPE)
SD	SMOKE DETECTOR
SHR	SHOWER
SIM	SIMILAR
SS	STAINLESS STEEL

ST	STONE
TBC	TO BE CONFIRMED
TBR	TIMBER
TOF	TOP OF FENCE
TOW	TOP OF WALL
TR	TILED ROOF
U/S	UNDERSIDE
VB	VAPOUR BARRIER
VP	VENT PIPE
WC	WATER CLOSET
WIR	WALK IN ROBE
WM	WASHING MACHINE
WPM	WATER PROOF MEMBRANE

DRAWING SCHEDULE:

DA-00	COVER PAGE	N.T.S.
DA-01	SITE ANALYSIS PLAN	1:250
DA-02	SITE PLAN	1:200
DA-03	EXISTING FLOOR PLANS	1:100
DA-04	DEMOLITION PLAN	1:100
DA-05	PROPOSED FLOOR PLANS	1:100
DA-06	PROPOSED ROOF PLAN	1:100
DA-07	EXISTING ELEVATIONS - WEST & SOUTH	1:100
DA-08	EXISTING ELEVATIONS - EAST & NORTH	1:100
DA-09	PROPOSED ELEVATIONS - WEST & SOUTH	1:100
DA-10	PROPOSED ELEVATIONS - EAST & NORTH	1:100
DA-11	SECTIONS	1:100
DA-12	SHADOW DIAGRAMS - 21 JUNE 9AM	1:250
DA-13	SHADOW DIAGRAMS - 21 JUNE 12PM	1:250
DA-14	SHADOW DIAGRAMS - 21 JUNE 3PM	1:250
DA-15	AREA CALCULATION PLAN	N.T.S.
DA-16	COLOURS & MATERIALS CONCEPT	N.T.S.
DA-17	PROPOSED PLANTING - LEGEND & NOTES	as shown
DA-18	PROPOSED PLANTING - PLANS	as shown
DA-19	WASTE MANAGEMENT SITE PLAN	1:200

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Rev	Description	Date
A	DEVELOPMENT APPLICATION	16.12.20

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Drawing Title:

COVER PAGE

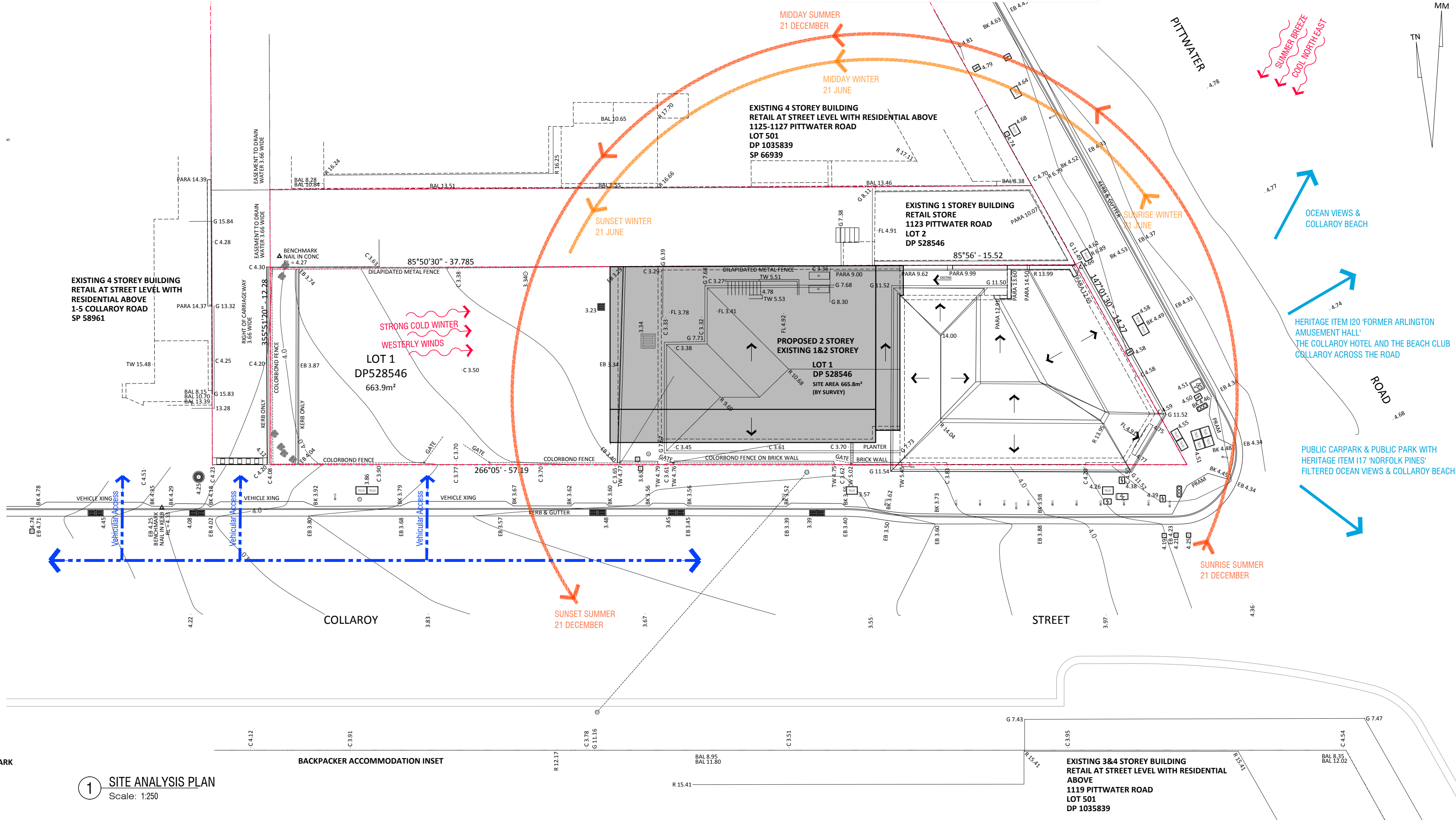
Date: 22.10.20	Scale: N.T.S. @A2	Drawn: CS	North:
Project No: C07-20328		Dwg No: DA-00	Revision: A



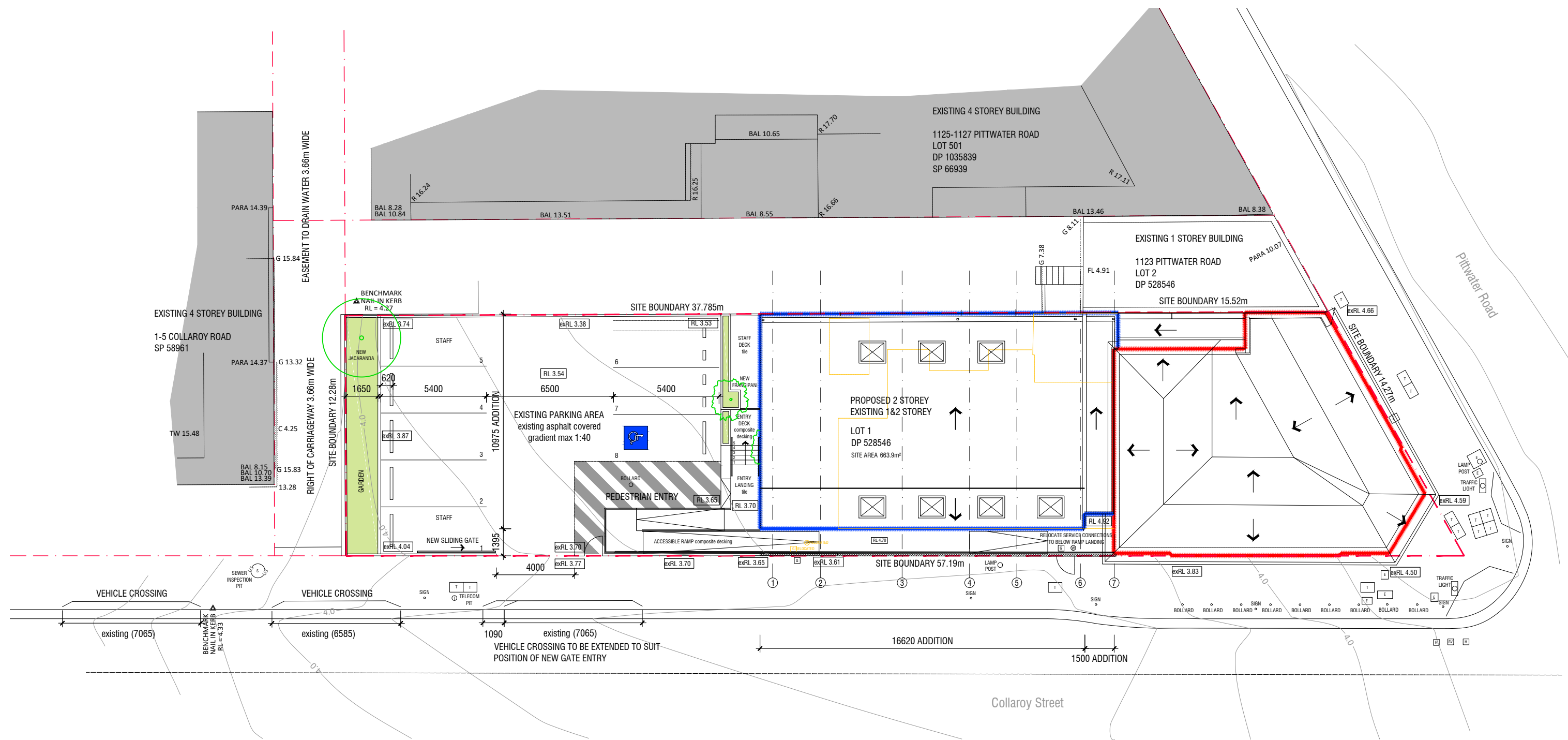
1. STREETScape MONTAGE - PITTWATER ROAD



2. STREETScape MONTAGE - COLLAROY STREET



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Client: 		
Project: COLLAROY VET HOSPITAL 1121 PITTWATER RD COLLAROY NSW 2097 LOT 1 DP 528546		
Drawing Title: SITE ANALYSIS PLAN		
Date: 22.10.20	Scale: 1:200@A2	Drawn: CS
Project No: C07-20328	Dwg No: DA-01	North: 
Revision: A		



- SITE PLAN LEGEND:**
- EXTENT OF DEMOLITION
 - LINE OF EXISTING BUILDING FOOTPRINT
 - LINE OF PROPOSED BUILDING FOOTPRINT
 - UW SERVICE: UNDERGROUND WATER LINE
 - E SERVICE: ELECTRICAL PIT
 - T SERVICE: TELCO PIT
 - G SERVICE: GAS METER
 - W SERVICE: WATER METER
 - H SERVICE: HYDRANT PIT
 - SV SERVICE: STOP VALVE
 - PROPOSED TREES
 - NEW BOUNDARY WALL
 - NATURAL GROUND CONTOUR LINE

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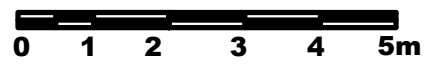
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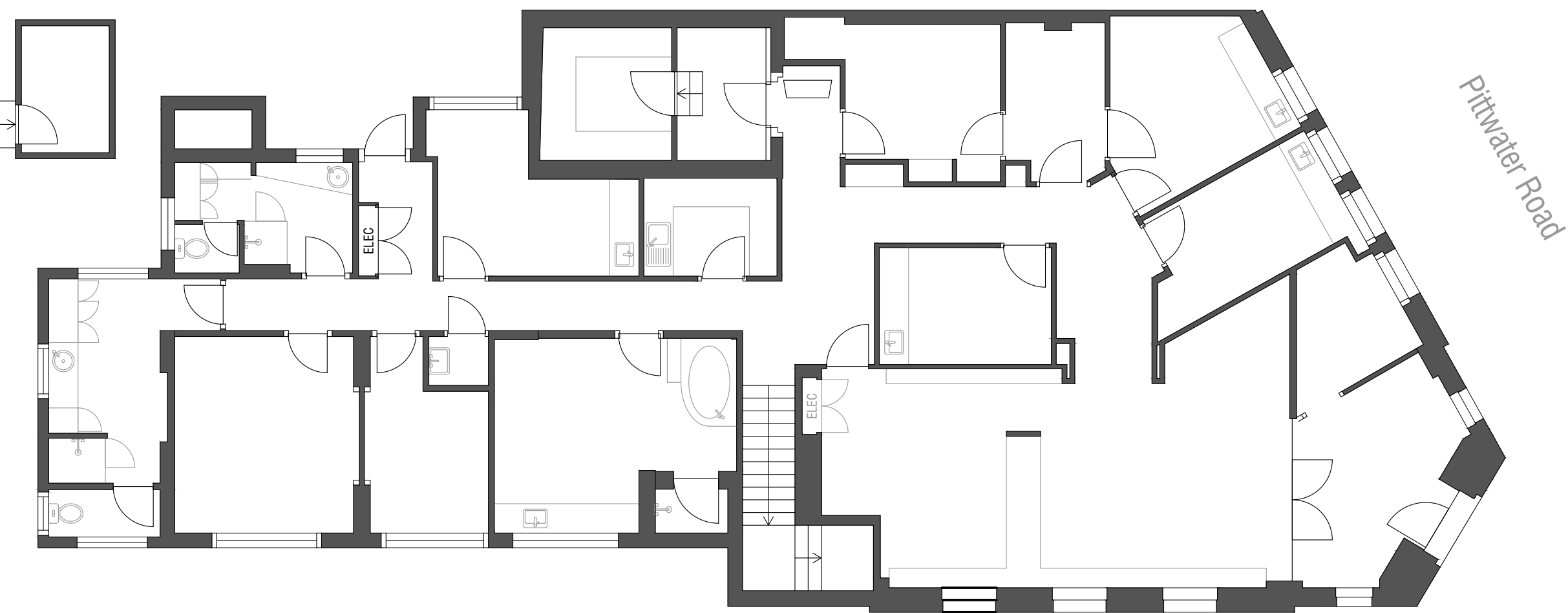
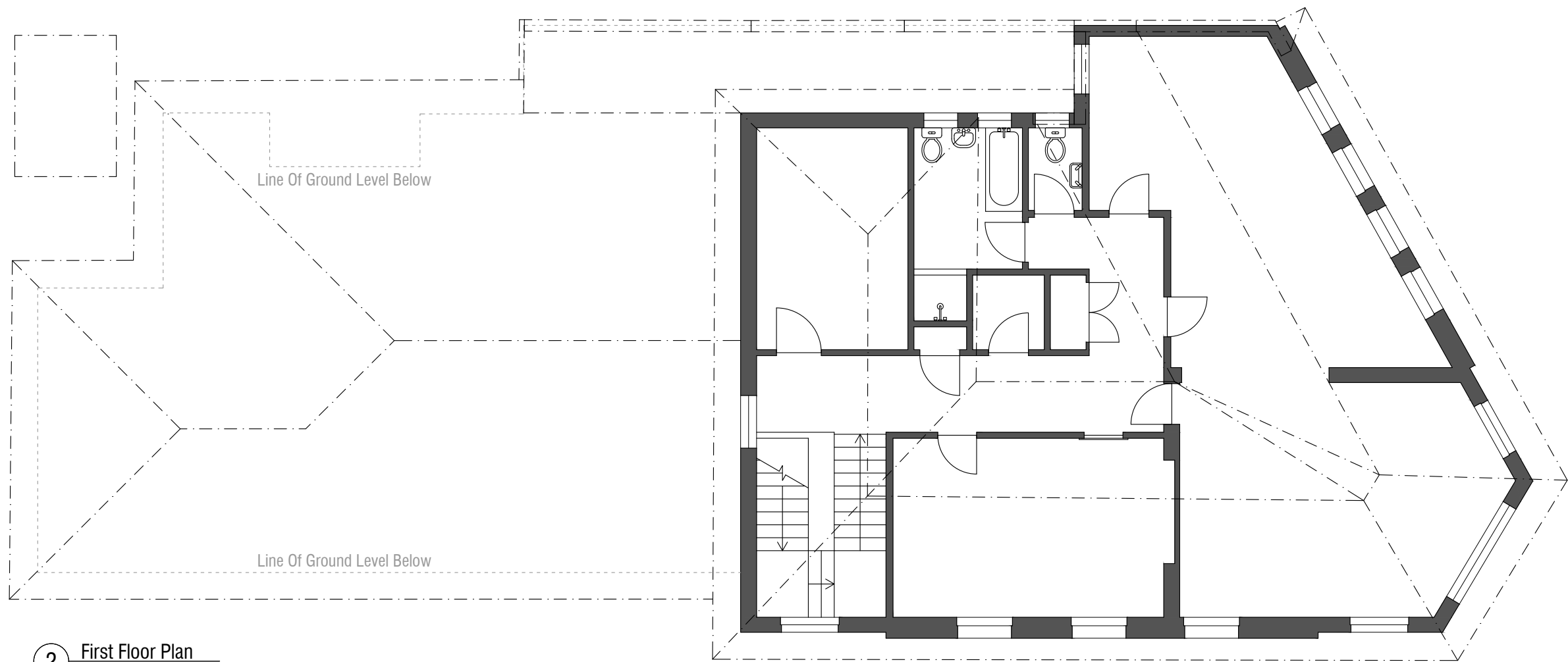
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Drawing Title:

SITE PLAN

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P1	PRELIMINARY ISSUE FOR REVIEW	22.10.20
P2	PRELIMINARY ISSUE FOR REVIEW	02.12.20
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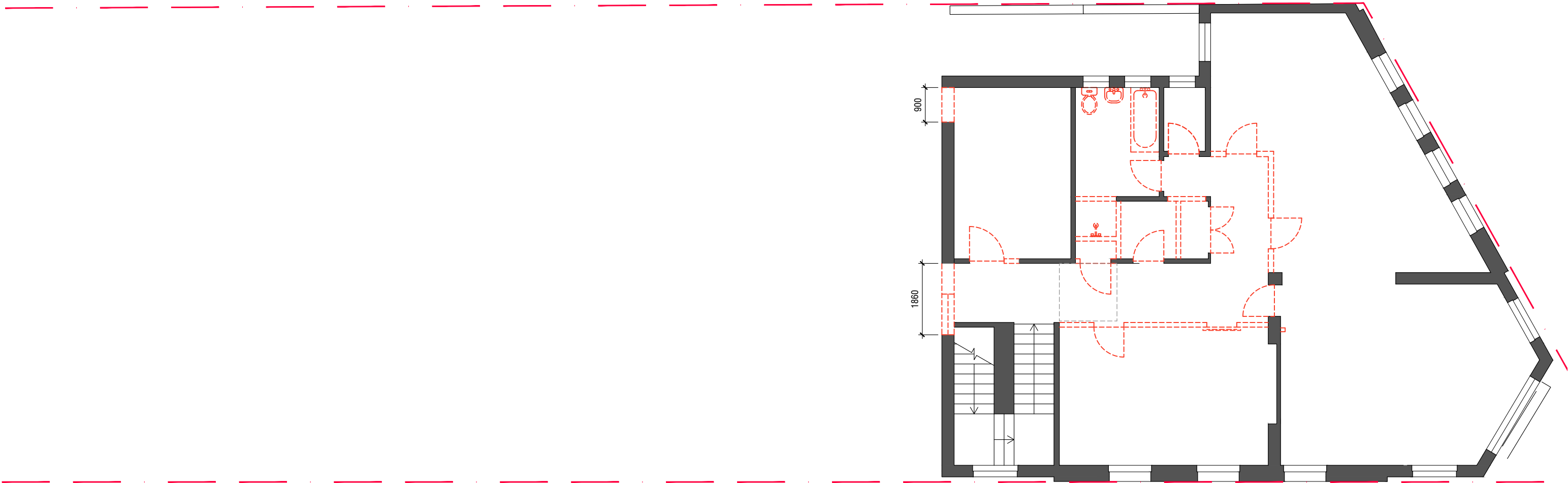
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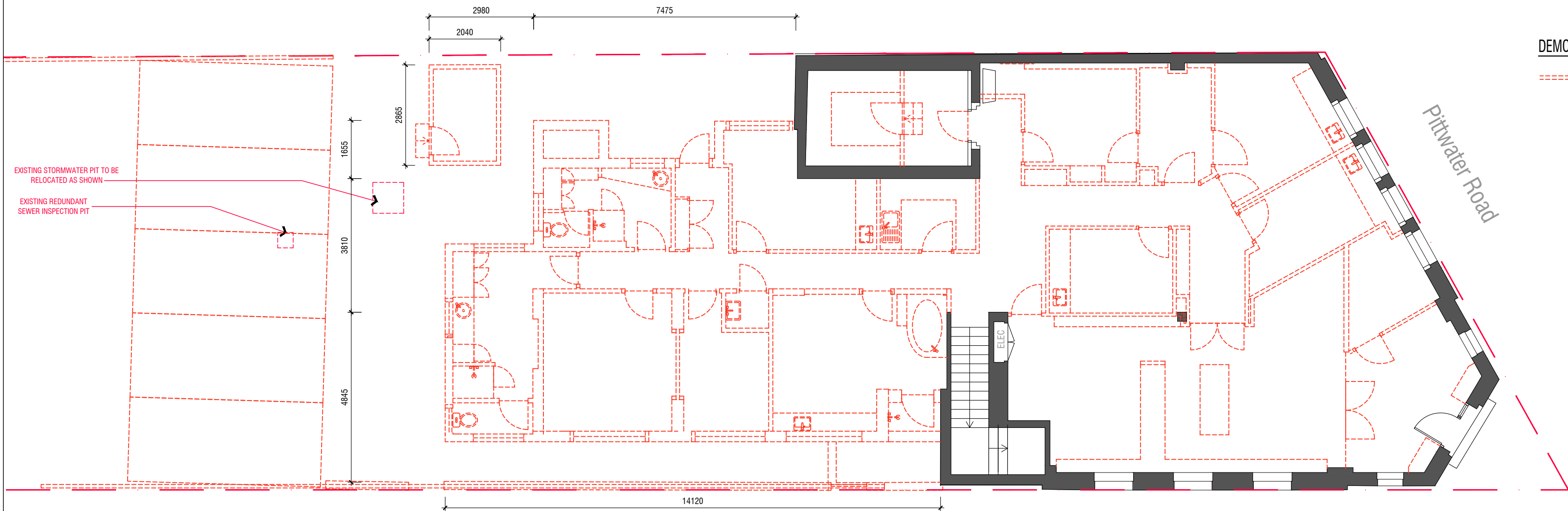
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EXISTING FLOOR PLANS

Date:	Scale:	Drawn:	North:
22.10.20	1:100@A2	CS	
Project No:	Dwg No:	Revision:	
C07-20328	DA-03	A	



2 Existing First Floor Demolition Plan
Scale: 1:100



1 Existing Ground Floor Demolition Plan
Scale: 1:100

DEMOLITION NOTES:

1. REMOVE ALL REDUNDANT CABLING, MECHANICAL SERVICES, DUCTWORK, WAVEBAR, CEILING HANGERS, BOOKER RODS, BAFFLES, INSULATION ETC FROM CEILING VOID AREAS AND PREPARE READY TO ACCEPT NEW CEILINGS AND SERVICES.
2. CO-ORDINATE WITH SERVICES CONTRACTORS AS REQUIRED TO ENSURE SITE SAFETY.
3. HEAD CONTRACTOR TO ALLOW TO REMOVE WASTE MATERIALS FROM SITE PROMPTLY. ALL WORKS TO BE UNDERTAKEN TO COMPLY WITH AS2601 AND OTHER RELEVANT AUSTRALIAN STANDARDS.
4. MAKE GOOD AND REINSTATE ALL SURFACES DISTURBED DURING DEMOLITION WORKS, READY TO ACCEPT NEW FINISHES AS NOMINATED.
5. THE DEMOLITION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROPOSED WORKS DRAWINGS AND DOCUMENTS PREPARED BY THE DESIGNER AND ALL OTHER CONSULTANTS INCLUDING THE STRUCTURAL ENGINEER AND SERVICES ENGINEERS.
6. ALL DEMOLITION AND REMOVAL WORKS ARE TO BE ALLOWED FOR AND UNDERTAKEN FOR THE PROPOSED WORKS WHETHER OR NOT EXPRESSLY NOTED ON THESE DRAWINGS.
7. ALL SURROUNDING SURFACES INCLUDING WALLS, FLOORS, CEILINGS, LIFTS, COMMON AREAS, BATHROOMS, DECKS, LANDSCAPE AND BUILDING SERVICES TO BE MADE GOOD FOLLOWING COMPLETION OF THE WORKS. ALLOW TO REPAINT LOCALLY ALL WALLS, DOORS, CEILINGS, COLUMNS ETC. MADE GOOD TO MATCH EXISTING FINISH.
8. ALL WORKS ARE TO BE CAREFULLY INSPECTED, REVIEWED AND CONFIRMED ON SITE PRIOR TO COMMENCEMENT.
9. ALL WORKS TO BE UNDERTAKEN IN A MANNER WHICH MINIMISES DISRUPTION, NOISE AND DUST TO THE TENANTS OF THE BUILDING.
10. ALL REDUNDANT SECURITY EQUIPMENT TO BE DECOMMISSIONED & REMOVED BY NOMINATED SECURITY CONTRACTOR ONLY.
11. NO VARIATIONS OR TIME EXTENSIONS WILL BE CONSIDERED DUE TO DELAYS CAUSED BY ADVERSE TENANT DISRUPTIONS, UNLESS THERE IS A CLEAR CHANGE TO THE INTENT AND THE SCOPE OF THE WORKS ISSUED IN WRITING BY THE DESIGNER.
12. THE CONTRACTOR IS TO PROVIDE A DILAPIDATION REPORT INCLUDING PHOTOS PRIOR TO COMMENCING DEMOLITION WORKS.
13. CONTRACTOR TO AGREE EXTENT OF FITTINGS FOR REMOVAL AND STORAGE FOR REUSE WITH DESIGNERS PRIOR TO COMMENCING DEMOLITION WORKS.

DEMOLITION LEGEND:

----- EXISTING BUILDING ELEMENT TO BE DEMOLISHED

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Rev	Description	Date
P1	PRELIMINARY ISSUE FOR REVIEW	30.10.20
P2	PRELIMINARY ISSUE FOR HERITAGE REVIEW	09.11.20
P3	PRELIMINARY ISSUE FOR COSTING	27.11.20
A	DEVELOPMENT APPLICATION	16.12.20

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LOT 1 DP 528546

Drawing Title:

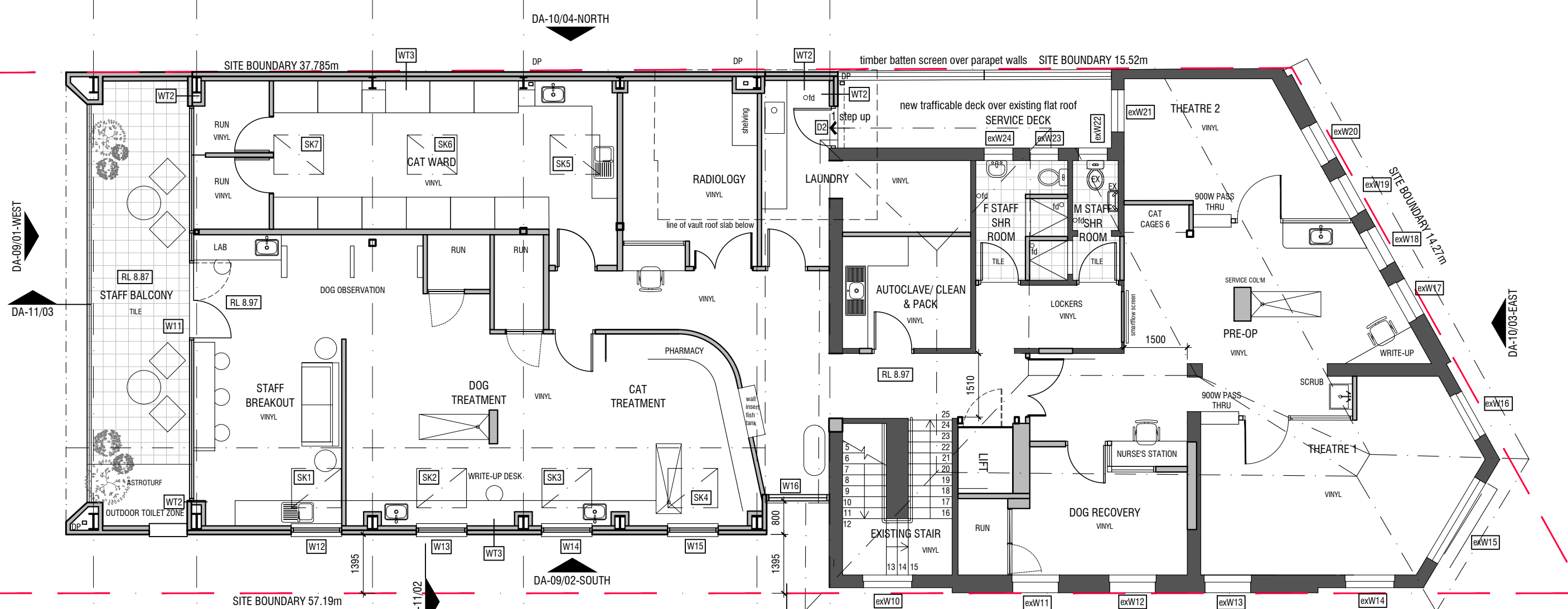
DEMOLITION FLOOR PLANS

Date:	Scale:	Drawn:	North:
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Project No:	Dwg No:	Revision:	
C07-20328	DA-04	A	

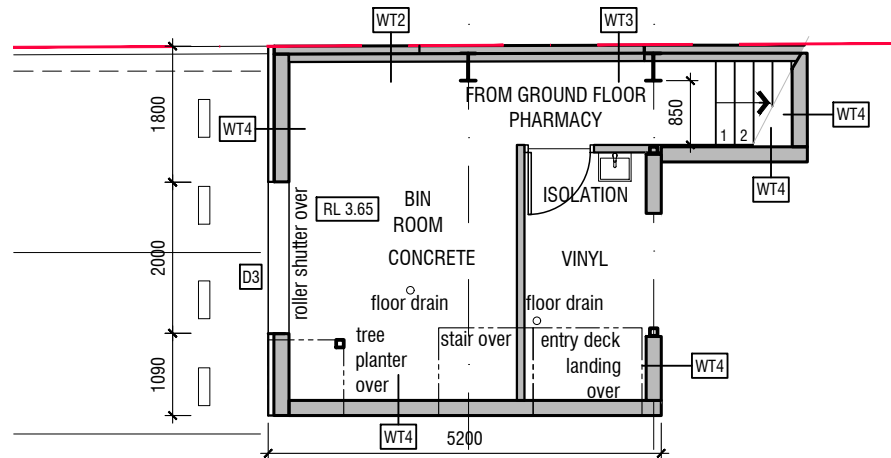
PROPOSED WINDOW & DOOR LEGEND						
WINDOW No.	FRAME TYPE	GLASS TYPE	WIDTH	HEIGHT	LOCATION	SHADING TYPE-PROJECTION
W1	ALUMINIUM	CLEAR GLASS	1800	1560	WEST GF	BALCONY - 2600
W2	ALUMINIUM	CLEAR GLASS	5350	3300	WEST GF	BALCONY - 4300
W3	ALUMINIUM	CLEAR GLASS	1500	1575	SOUTH GF	
W4	ALUMINIUM	CLEAR GLASS	1500	1575	SOUTH GF	
W5	ALUMINIUM	CLEAR GLASS	1500	1575	SOUTH GF	
W6	ALUMINIUM	CLEAR GLASS	1500	1575	SOUTH GF	
W7	ALUMINIUM	TRANSLUCENT GLASS - FIRE RATED	1500	600	NORTH GF	
W8						
W9						
W10						
W11	ALUMINIUM	CLEAR GLASS	3585	9365	WEST L1	ROOF - 2980
W12	ALUMINIUM	CLEAR & OPAQUE GLASS	1200	2625	SOUTH L1	
W13	ALUMINIUM	CLEAR & OPAQUE GLASS	1200	2625	SOUTH L1	
W14	ALUMINIUM	CLEAR & OPAQUE GLASS	1200	2625	SOUTH L1	
W15	ALUMINIUM	CLEAR & OPAQUE GLASS	1200	2625	SOUTH L1	
W16	ALUMINIUM	CLEAR & OPAQUE GLASS	1500	3740	SOUTH L1	
D1	ALUMINIUM	CLEAR GLASS	1500	2700	SOUTH L1	
D2	ALUMINIUM	SOLID TIMBER - FIRE RATED	920	2100	WEST L1	
SK1	TIMBER	DOUBLE GLAZED LOW-E ARGON FILLED	1140	1180	SOUTH L1	
SK2	TIMBER	DOUBLE GLAZED LOW-E ARGON FILLED			SOUTH L1	
SK3	TIMBER	DOUBLE GLAZED LOW-E ARGON FILLED			SOUTH L1	
SK4	TIMBER	DOUBLE GLAZED LOW-E ARGON FILLED			SOUTH L1	
SK5	TIMBER	DOUBLE GLAZED LOW-E ARGON FILLED			NORTH L1	
SK6	TIMBER	DOUBLE GLAZED LOW-E ARGON FILLED			NORTH L1	
SK7	TIMBER	DOUBLE GLAZED LOW-E ARGON FILLED			NORTH L1	

PROPOSED WALL TYPES	
WALL No.	WALL STRUCTURE TYPE AND THICKNESS
WT1	BRICK VENEER - CLAY BRICK, CAVITY, 90mm GLASS WOOL, METAL STUDS WITH 13mm PLASTERBOARD - OVERALL 265 THK
WT2	INSULATED WALL PANEL 100mm THK, METAL STUDS WITH 13mm PLASTERBOARD - OVERALL 205 THK
WT3	INSULATED TRAPEZOIDAL WALL PANEL 70mm THK CORE, METAL STUDS WITH 13mm PLASTERBOARD - OVERALL 210 THK
WT4	190mm FILLED CONCRETE BLOCK

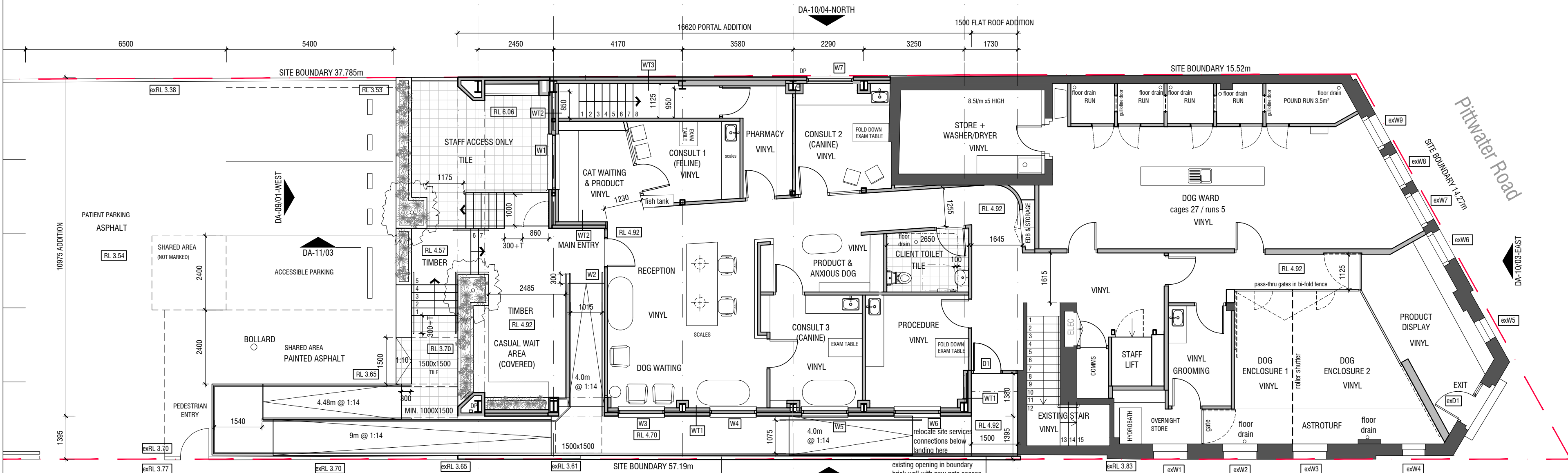
3 First Floor Plan
Scale: 1:100



2 Sub-Floor Plan
Scale: 1:100



1 Ground Floor Plan
Scale: 1:100



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P3	PRELIMINARY ISSUE FOR STRUCTURAL REVIEW	25.11.20
P4	PRELIMINARY ISSUE FOR COSTING	27.11.20
P5	PRELIMINARY ISSUE FOR ACCESS REVIEW	03.12.20
P6	PRELIMINARY ISSUE FOR ACCESS REVIEW	13.12.20
A	DEVELOPMENT APPLICATION	16.12.20

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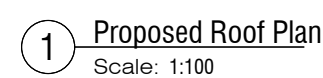
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LOT 1 DP 528546

Drawing Title:

PROPOSED FLOOR PLANS

Date:	Scale:	Drawn:	North:
22.10.20	1:100@A2	CS	
Project No:	Dwg No:	Revision:	
C07-20328	DA-05	A	



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P1 A	PRELIMINARY ISSUE FOR REVIEW DEVELOPMENT APPLICATION	22.10.20 16.12.20

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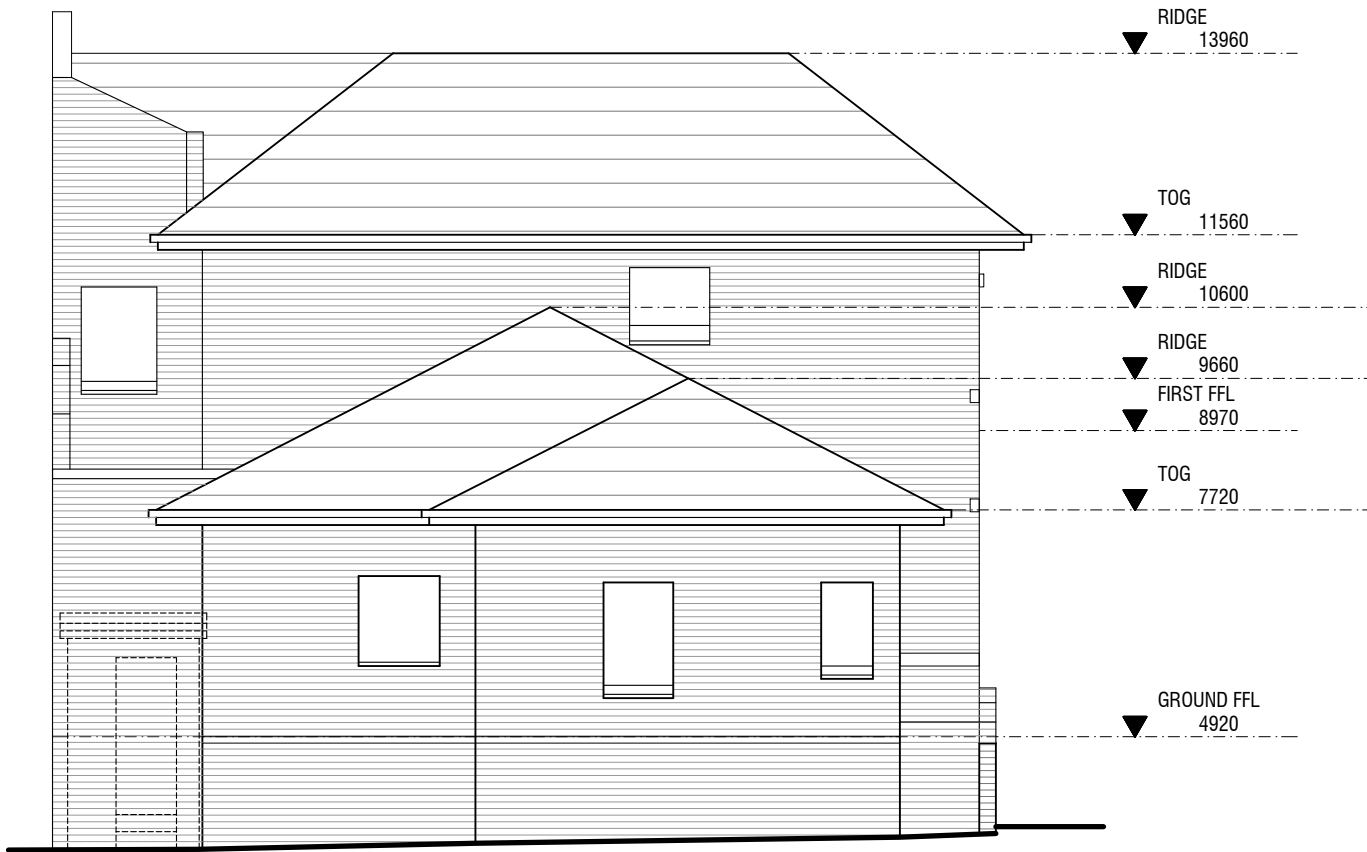
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Drawing Title:

EXISTING WEST AND
SOUTH ELEVATIONS

Date: 22.10.20	Scale: 1:100@A2	Drawn: CS	North:
Project No: C07-20328	Dwg No: DA-07	Revision: A	



1 Existing West (Carpark) Elevation
Scale: 1:100



2 Existing South (Collaroy St) Elevation
Scale: 1:100



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E dimitra@bigcitydesign.com.au

Client:



Project:

COLLAROY VET HOSPITAL
1121 PITTWATER RD
COLLAROY NSW 2097
LOT 1 DP 528546

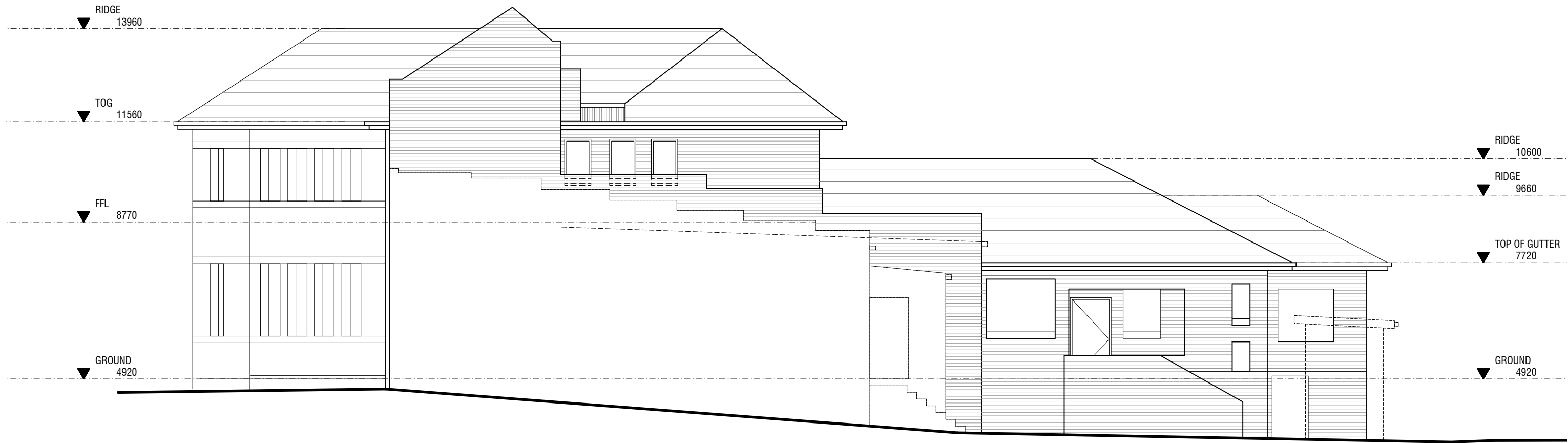
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EXISTING EAST AND
NORTH ELEVATIONS

Date:	Scale:	Drawn:	North:
22.10.20	1:100@A2	CS	
Project No:	Dwg No:	Revision:	
C07-20328	DA-08	A	



3 Existing East (Pittwater Rd) Elevation
Scale: 1:100



4 Existing North Elevation
Scale: 1:100



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Rev	Description	Date
P1	PRELIMINARY ISSUE FOR REVIEW	22.10.20
P2	PRELIMINARY ISSUE FOR HERITAGE REVIEW	09.11.20
P3	PRELIMINARY ISSUE FOR COSTING	27.11.20
P4	PRELIMINARY ISSUE FOR ACCESS REVIEW	03.12.20
A	DEVELOPMENT APPLICATION	16.12.20

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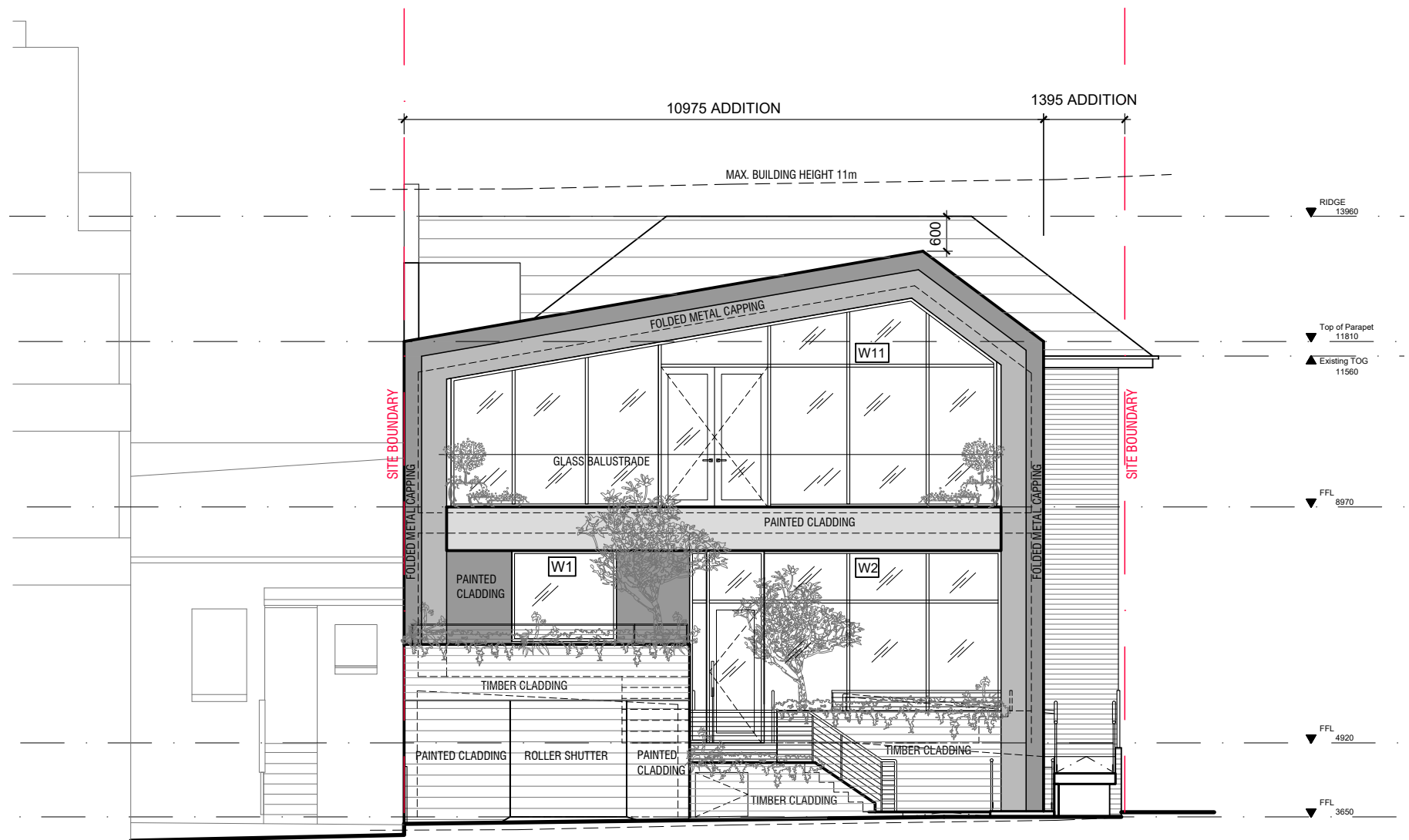
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COLLARROY NSW 2097
LOT 1 DP 528546

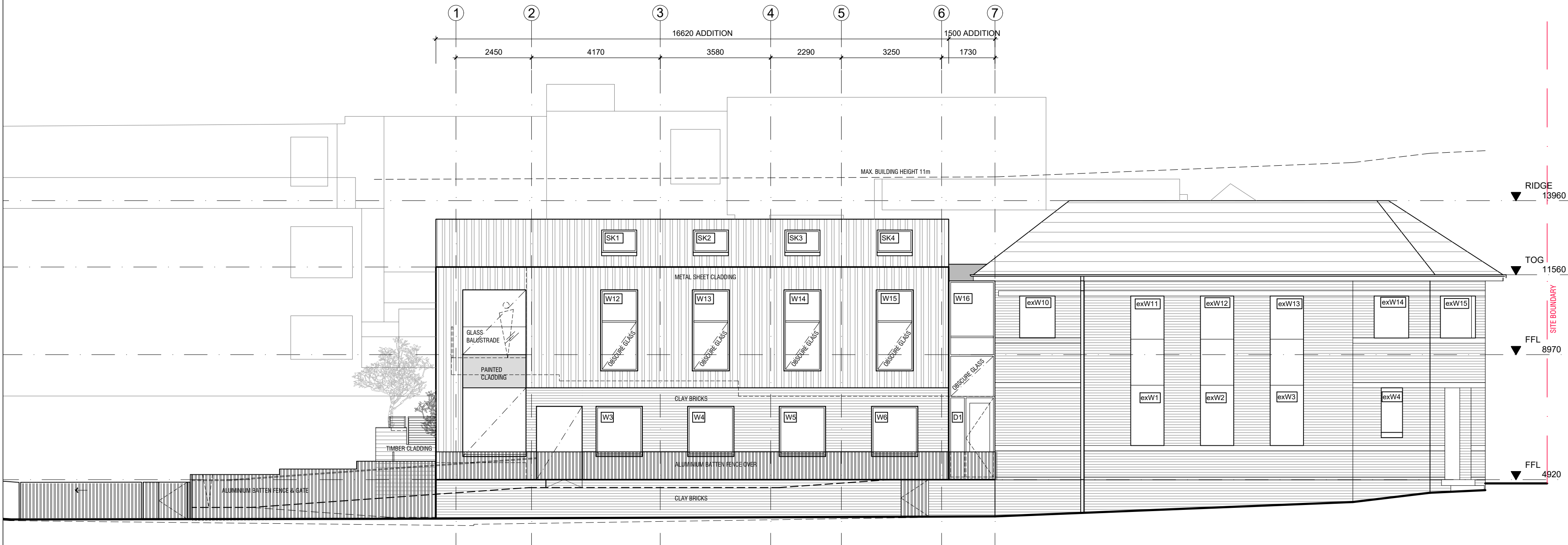
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PROPOSED WEST AND SOUTH ELEVATIONS

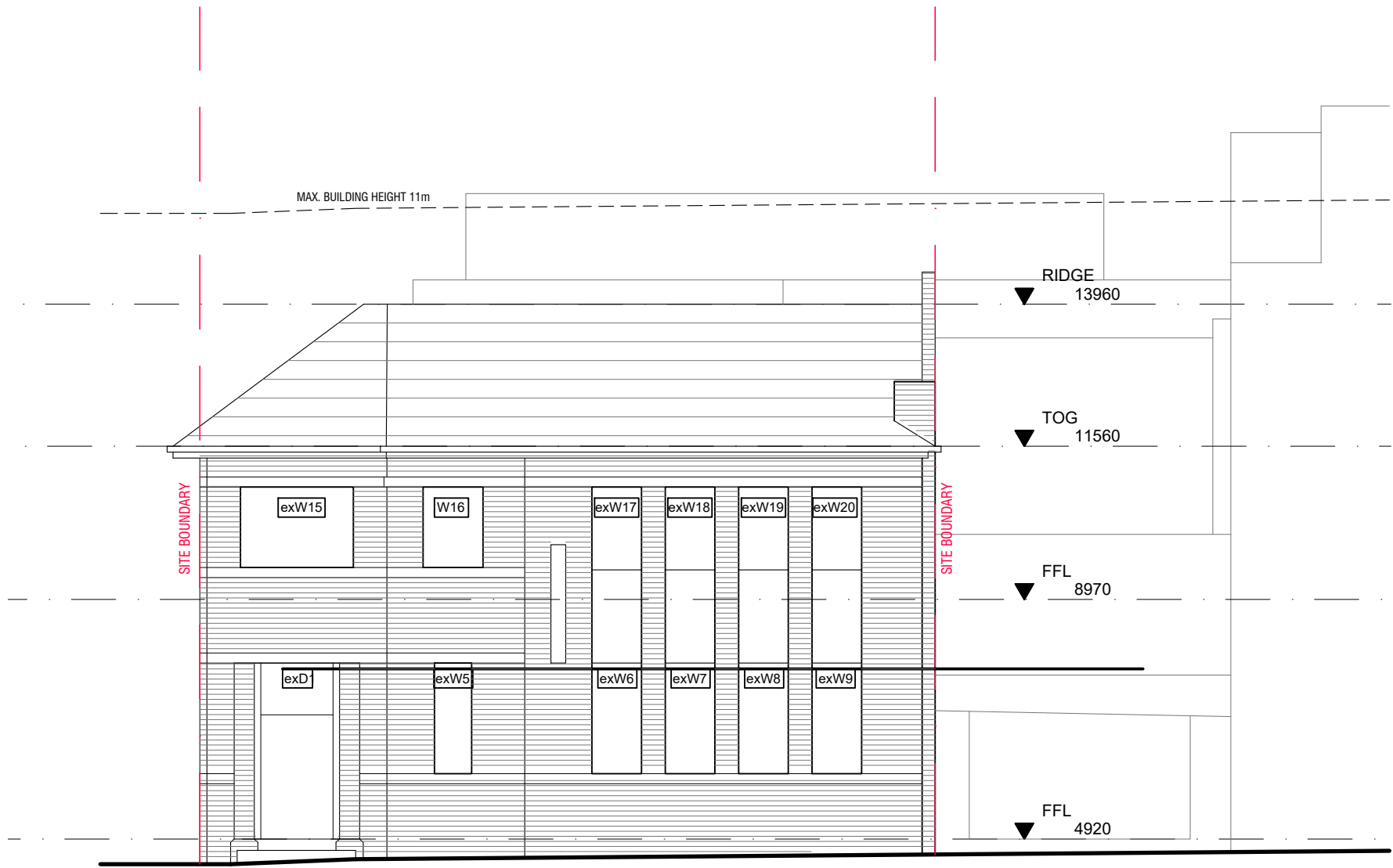
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22.10.20	1:100@A2	CS	
Project No:		Dwg No:	Revision:
C07-20328		DA-09	A



1 Proposed West (Carpark) Elevation
Scale: 1:100

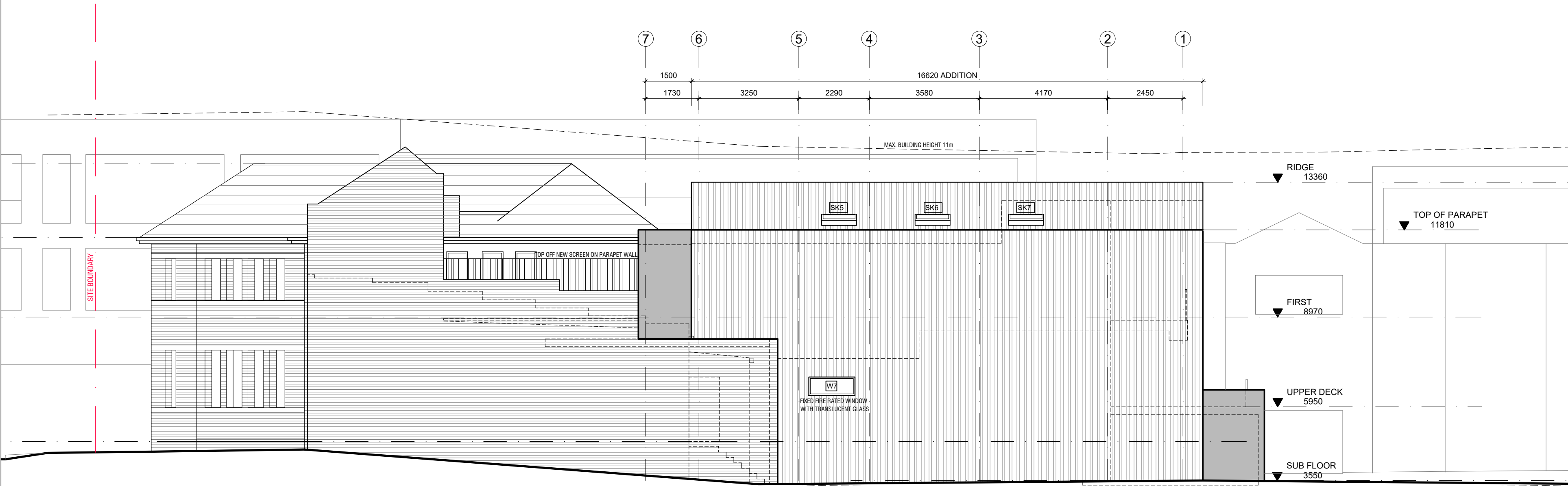


2 Proposed South (Collaroy St) Elevation
Scale: 1:100



NOTE:
NO INTENDED REVISION TO THIS
ELEVATION OTHER THAN NEW SIGNAGE.
EXISTING SIGNAGE LOCATIONS TO BE
UTILISED.

3 Proposed East (Pittwater Rd) Elevation
Scale: 1:100



4 Proposed North Elevation
Scale: 1:100



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Services Engineer:



IGS
INTEGRATED
GROUP
SERVICES

Structural Engineer:



TTW
Taylor
Thomson
Whitting



BigCity
Design

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Client:



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1121 PITTWATER RD
COLLARROY NSW 2097
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Drawing Title:

PROPOSED EAST AND
NORTH ELEVATIONS

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22.10.20	1:100@A2	CS	

Project No:	Dwg No:	Revision:
C07-20328	DA-10	A

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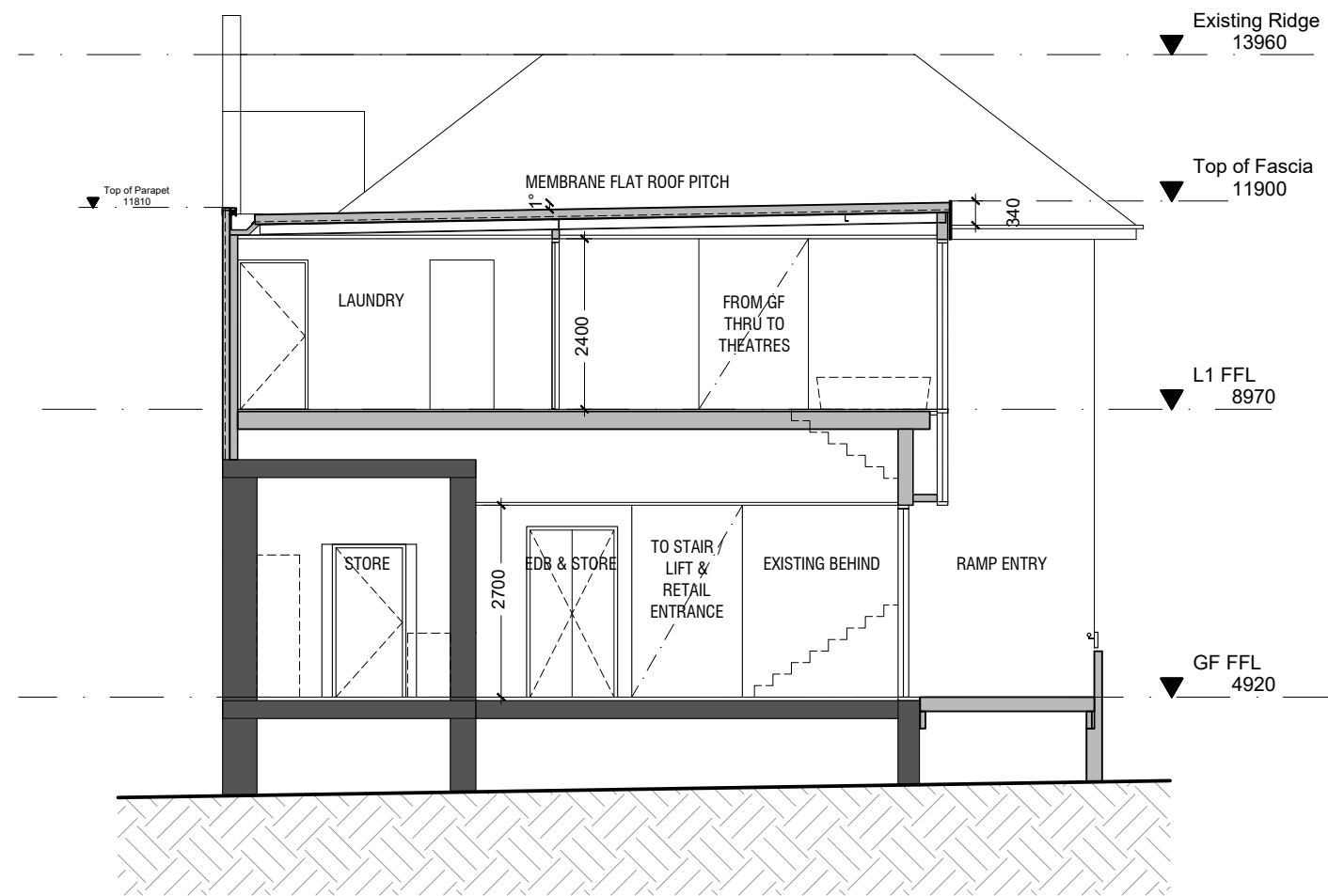
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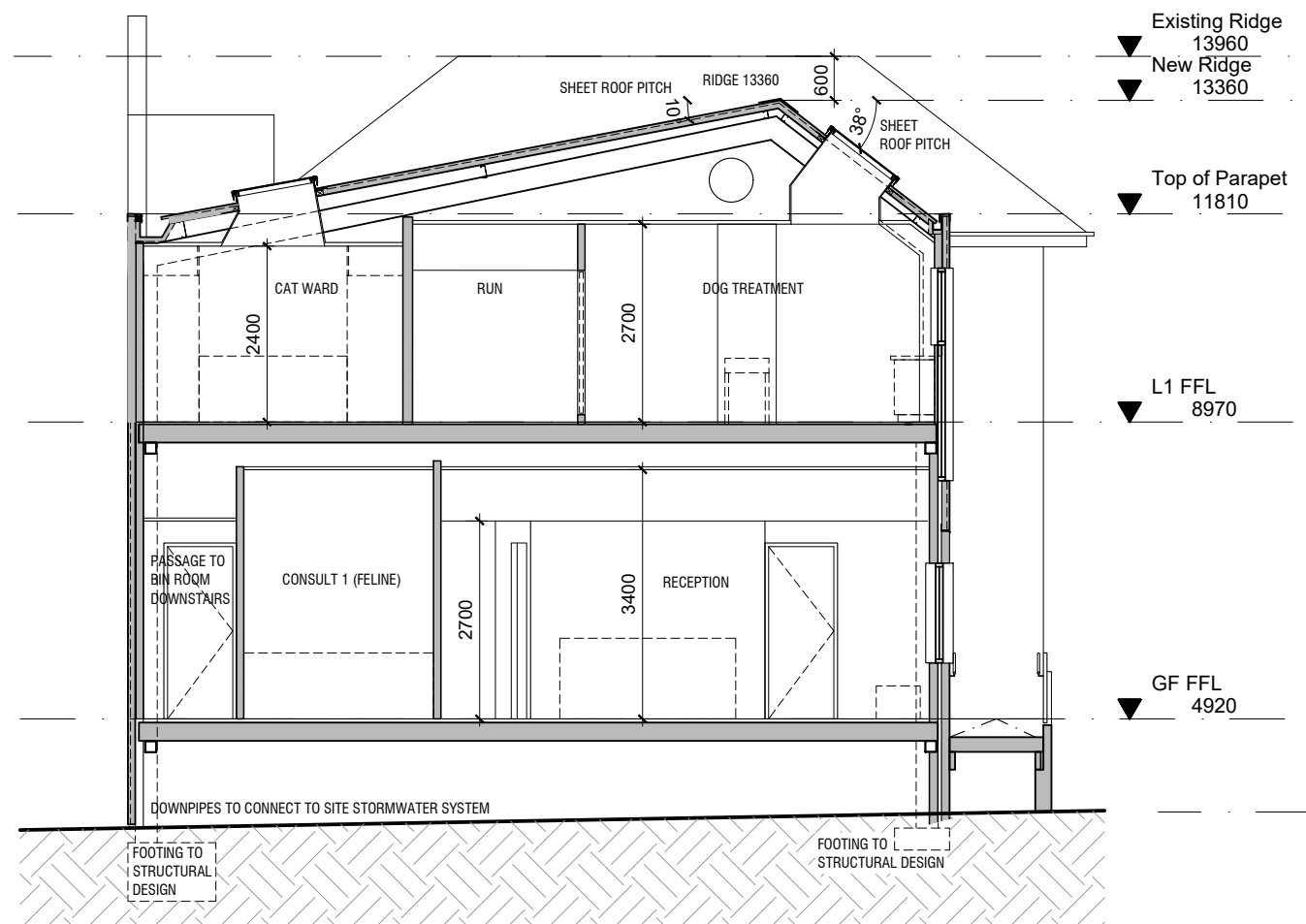
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SECTIONS

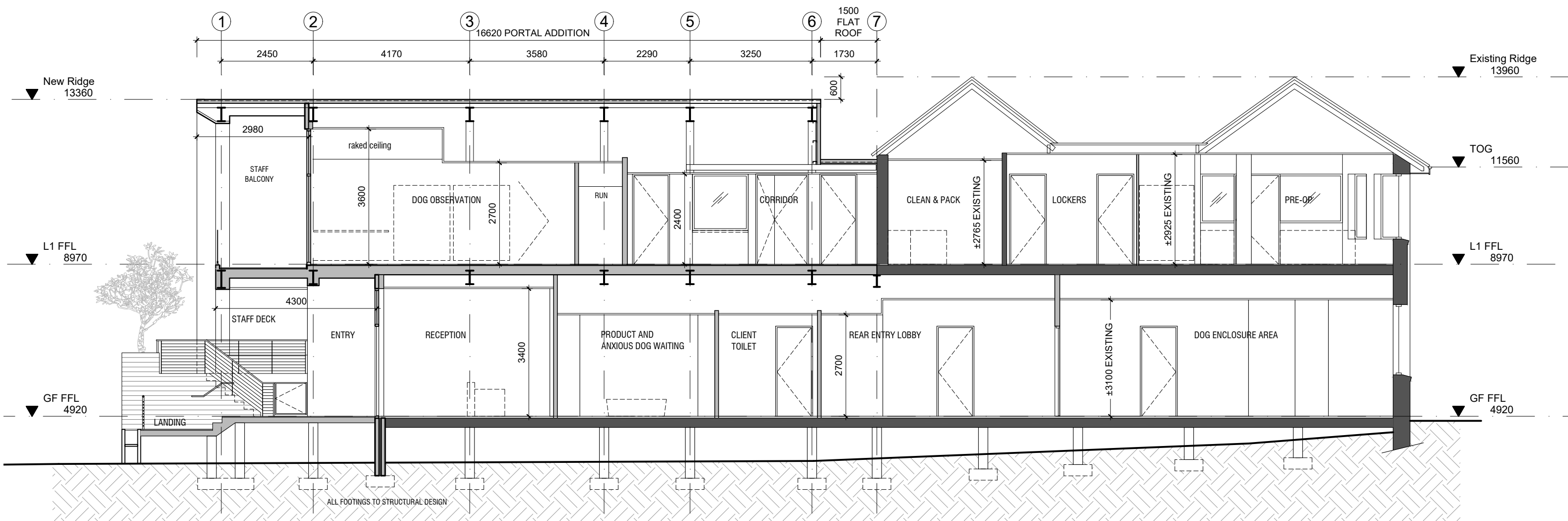
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22.10.20	1:100@A2	CS	
Project No:	Dwg No:	Revision:	
C07-20328	DA-11	A	



1 Section thru Flat roof
Scale: 1:100

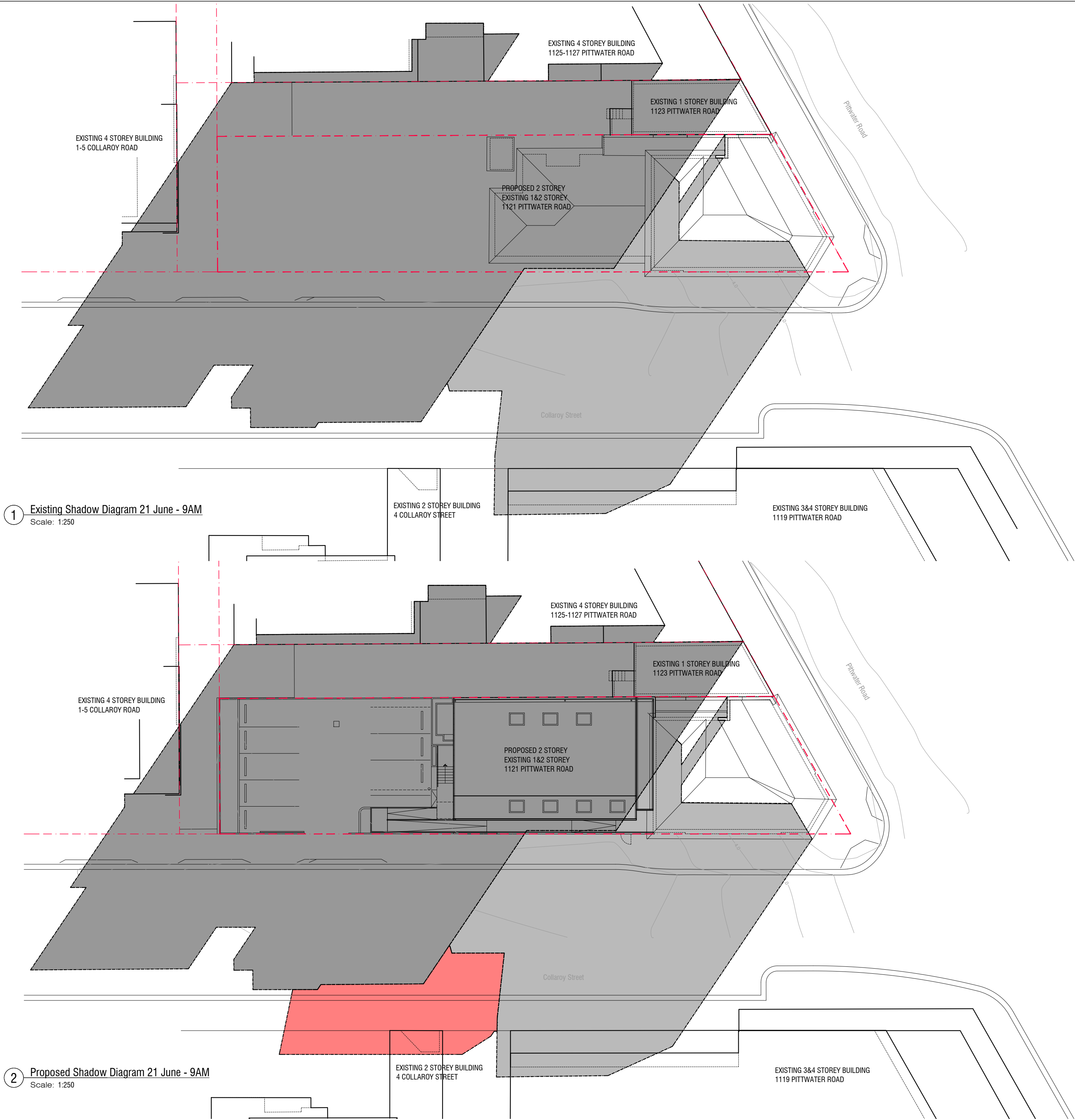


2 Section thru Portal Structure
Scale: 1:100



3 Long Section
Scale: 1:100



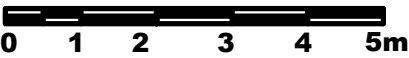
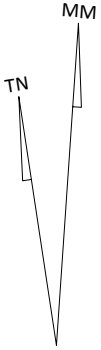


1 Existing Shadow Diagram 21 June - 9AM
Scale: 1:250

2 Proposed Shadow Diagram 21 June - 9AM
Scale: 1:250

NOTES:
SHADOW DIAGRAMS HAVE BEEN
PREPARED BASED ON SURVEY
PLAN CARRIED OUT ON 22.11.2020
BY SHEPHERD SURVEYS.

- EXISTING BUILDING SHADOWS ON PROPOSED SITE
- PROPOSED NEW SHADOW ON PROPOSED SITE
- EXISTING BUILDING SHADOWS FROM NEIGHBOURING SITES



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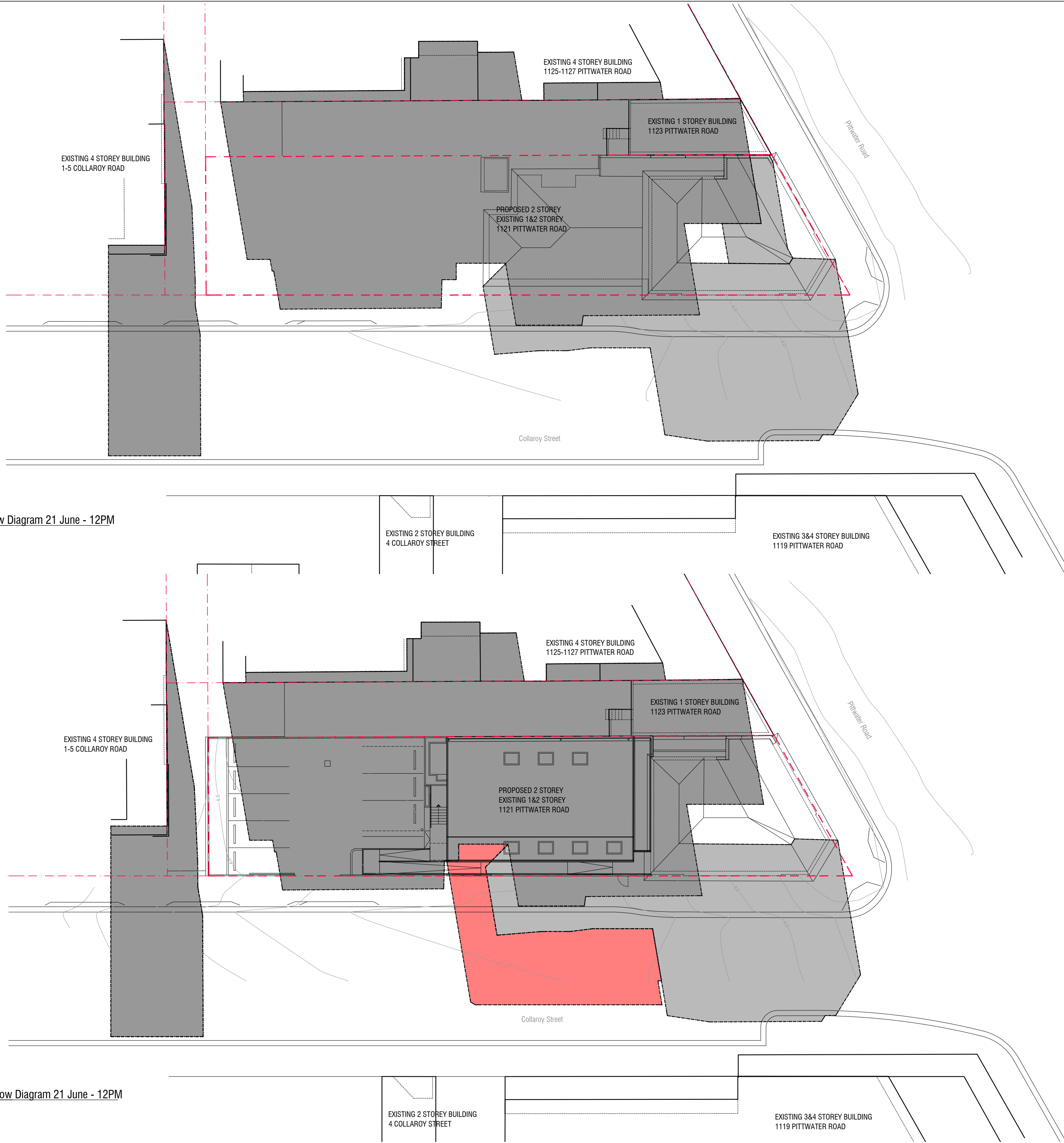
Drawing Title:

SHADOW DIAGRAMS 21 JUNE 9AM

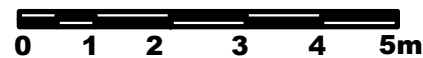
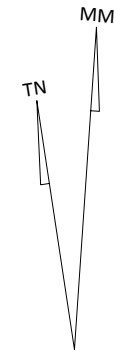
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22.10.20	1:250@A2	CS	
Project No:	Dwg No:	Revision:	
C07-20328	DA-12	A	

1 Existing Shadow Diagram 21 June - 12PM
Scale: 1:250

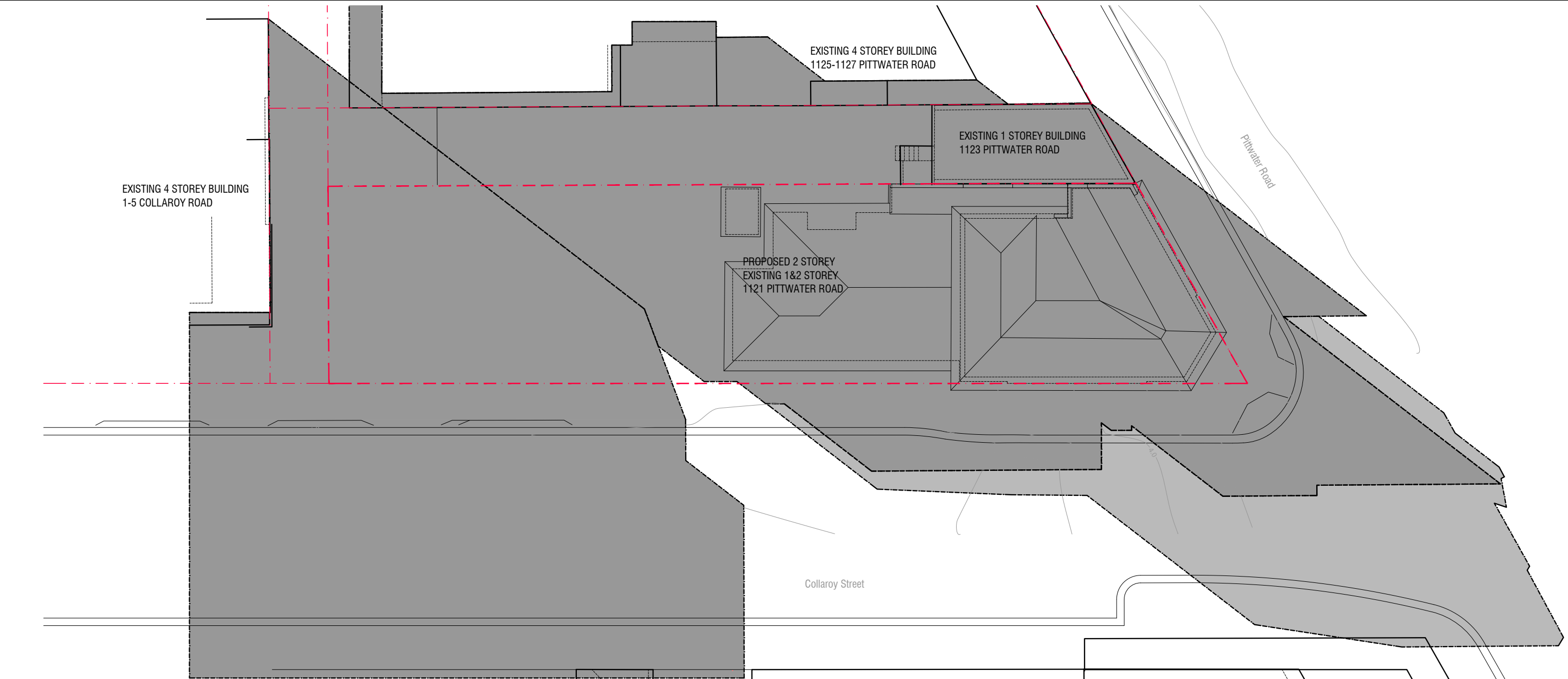
2 Proposed Shadow Diagram 21 June - 12PM
Scale: 1:250



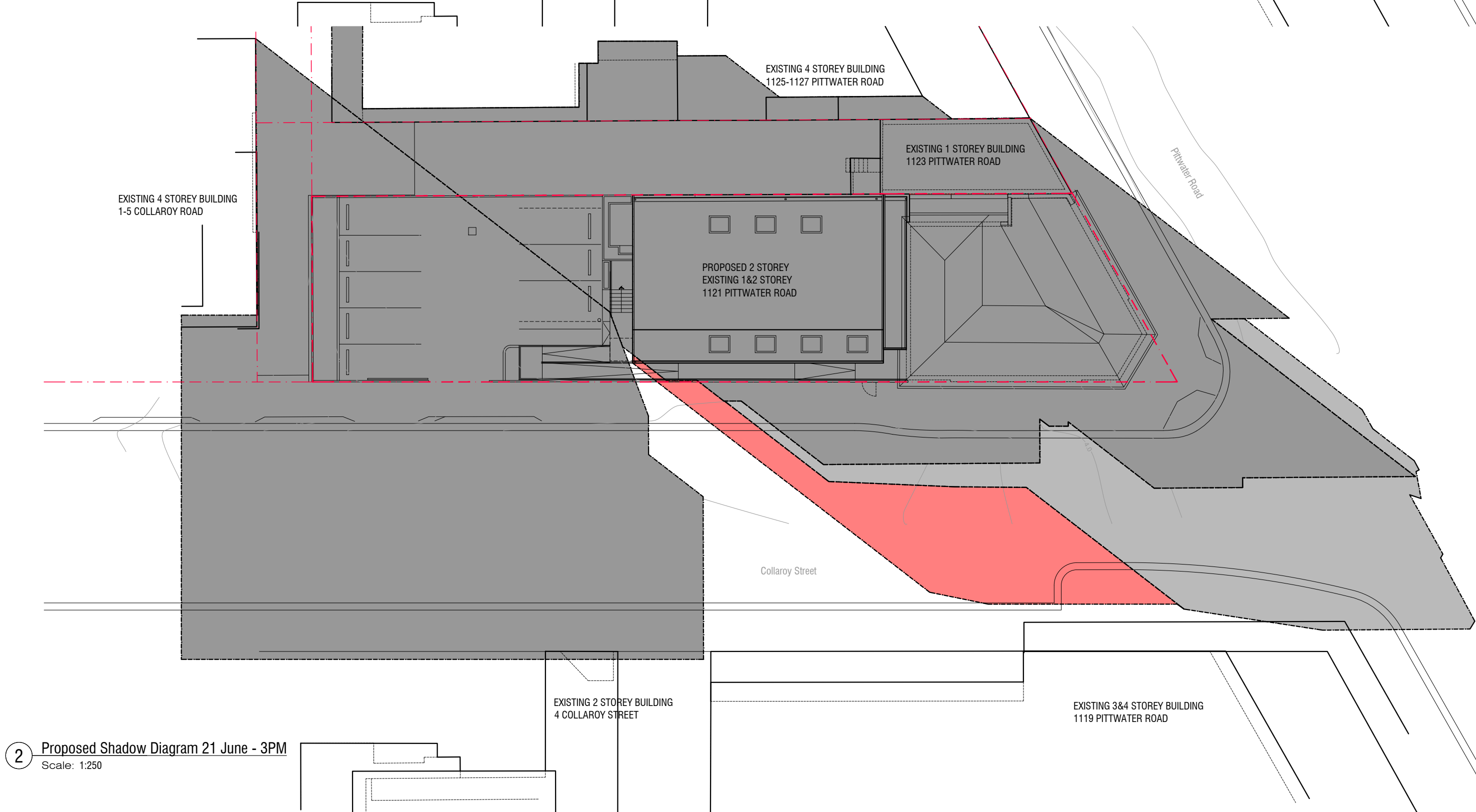
- NOTES:**
SHADOW DIAGRAMS HAVE BEEN PREPARED BASED ON SURVEY PLAN CARRIED OUT ON 22.11.2020 BY SHEPHERD SURVEYS.
- EXISTING BUILDING SHADOWS ON PROPOSED SITE
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BigCity Design PO Box 526 Turrumurra NSW 2074 P 9943 1036 F 9943 1037 E dimitra@bigcitydesign.com.au		
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COLLARROY VET HOSPITAL 1121 PITTWATER RD COLLARROY NSW 2097 LOT 1 DP 528546		
Drawing Title:		
SHADOW DIAGRAMS 21 JUNE 12PM		
Date:	Scale:	Drawn:
22.10.20	1:250@A2	CS
North:		
Project No:		Revision:
C07-20328		A
Dwg No:		DA-13



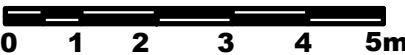
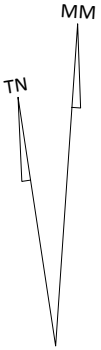
1 Existing Shadow Diagram June - 3PM
Scale: 1:250



2 Proposed Shadow Diagram 21 June - 3PM
Scale: 1:250

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Drawing Title:

SHADOW DIAGRAMS 21 JUNE 3PM

Date:	Scale:	Drawn:	North:
22.10.20	1:250@A2	CS	
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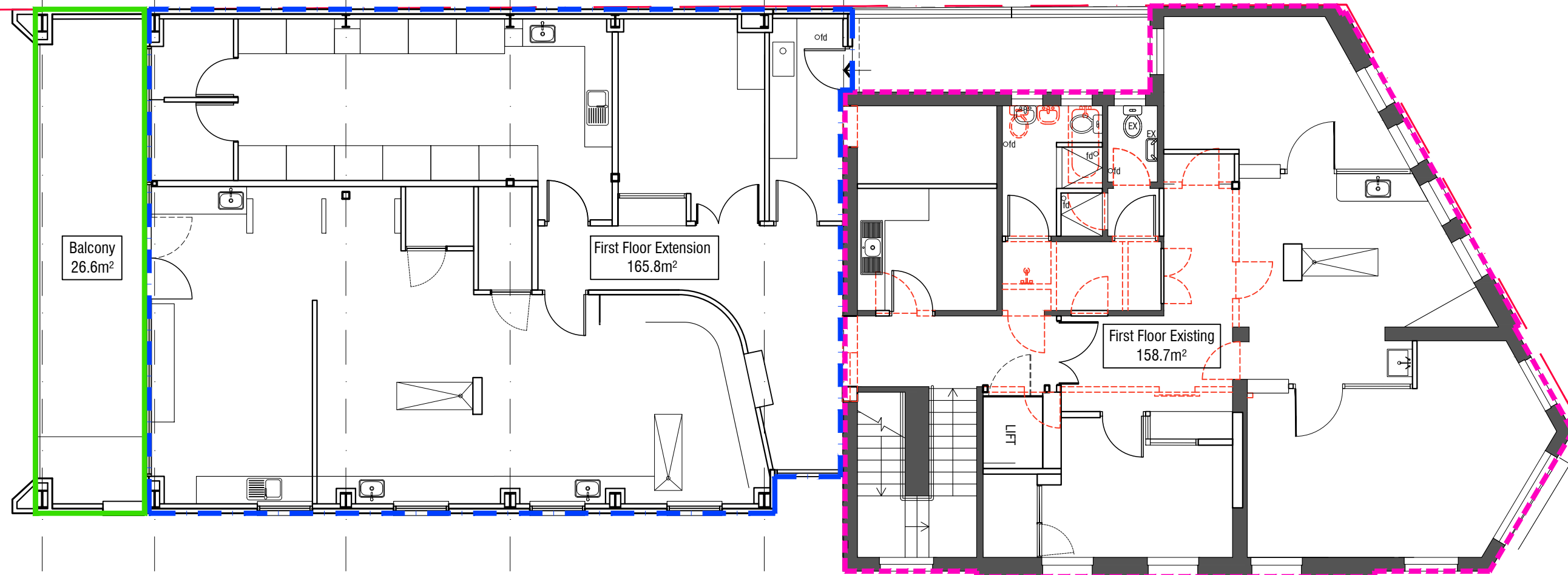
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AREA CALCULATION PLANS

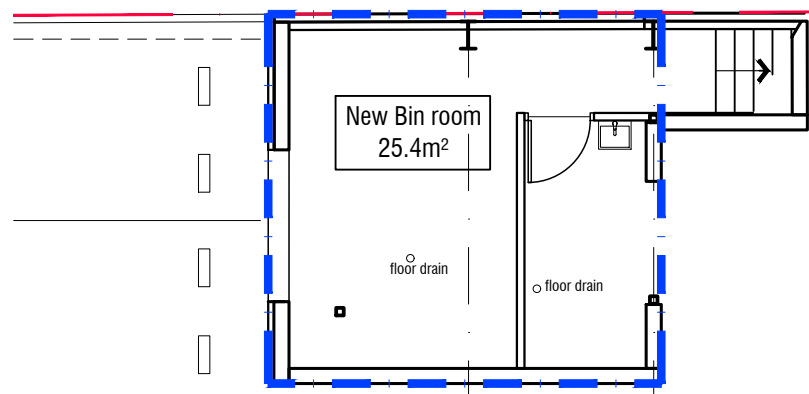
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C07-20328	DA-15	A	

AREA LEGEND:

- EXISTING
- PROPOSED EXTENSION
- PROPOSED EXTERNAL AREAS

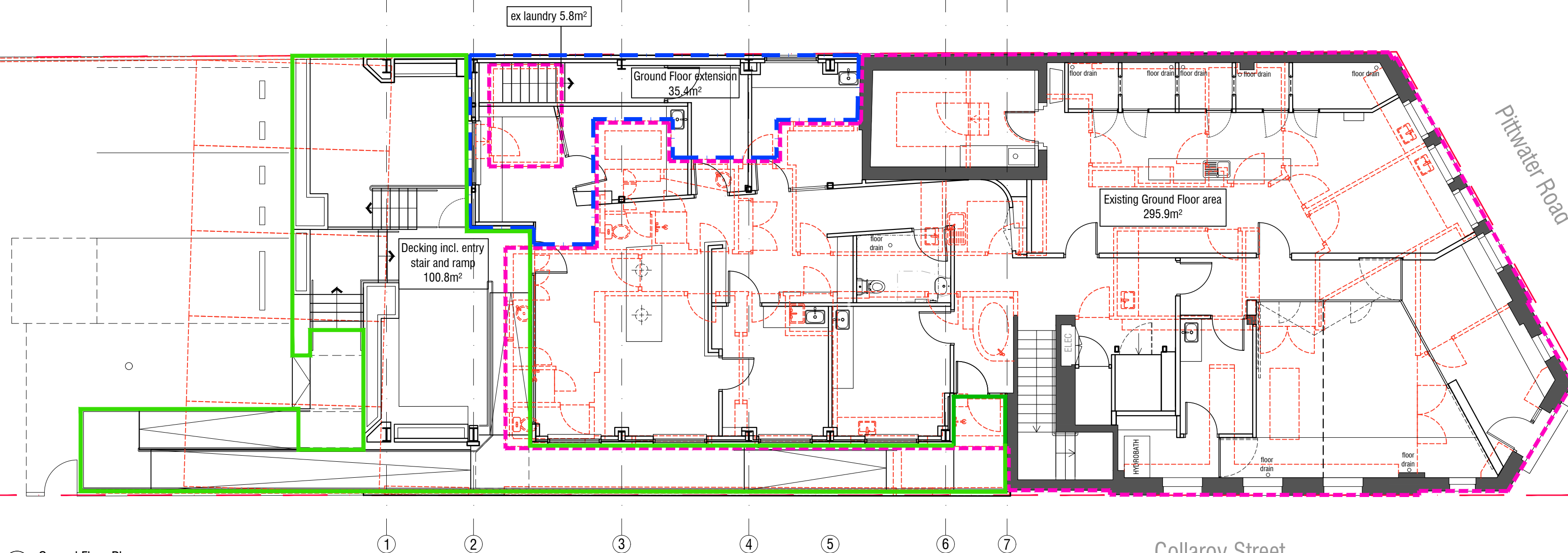


3 First Floor Plan
Scale: 1:100



2 Sub-Floor Plan
Scale: 1:100

	Existing	New Building extension	New external areas
Ground Floor	Ground Floor + Laundry 295.9m² + 5.8m²	Ground Floor + Bin Room 35.4m² + 25.4m²	All decking including entry stairs and ramp 100.8m²
1st Floor	First Floor existing 158.7m²	First Floor Extension 165.8m²	Balcony 26.6m²
Total	460.4m²	226.6m²	127.4m²



1 Ground Floor Plan
Scale: 1:100

PORTAL & CLADDING



DECKING & DECK CLADDING



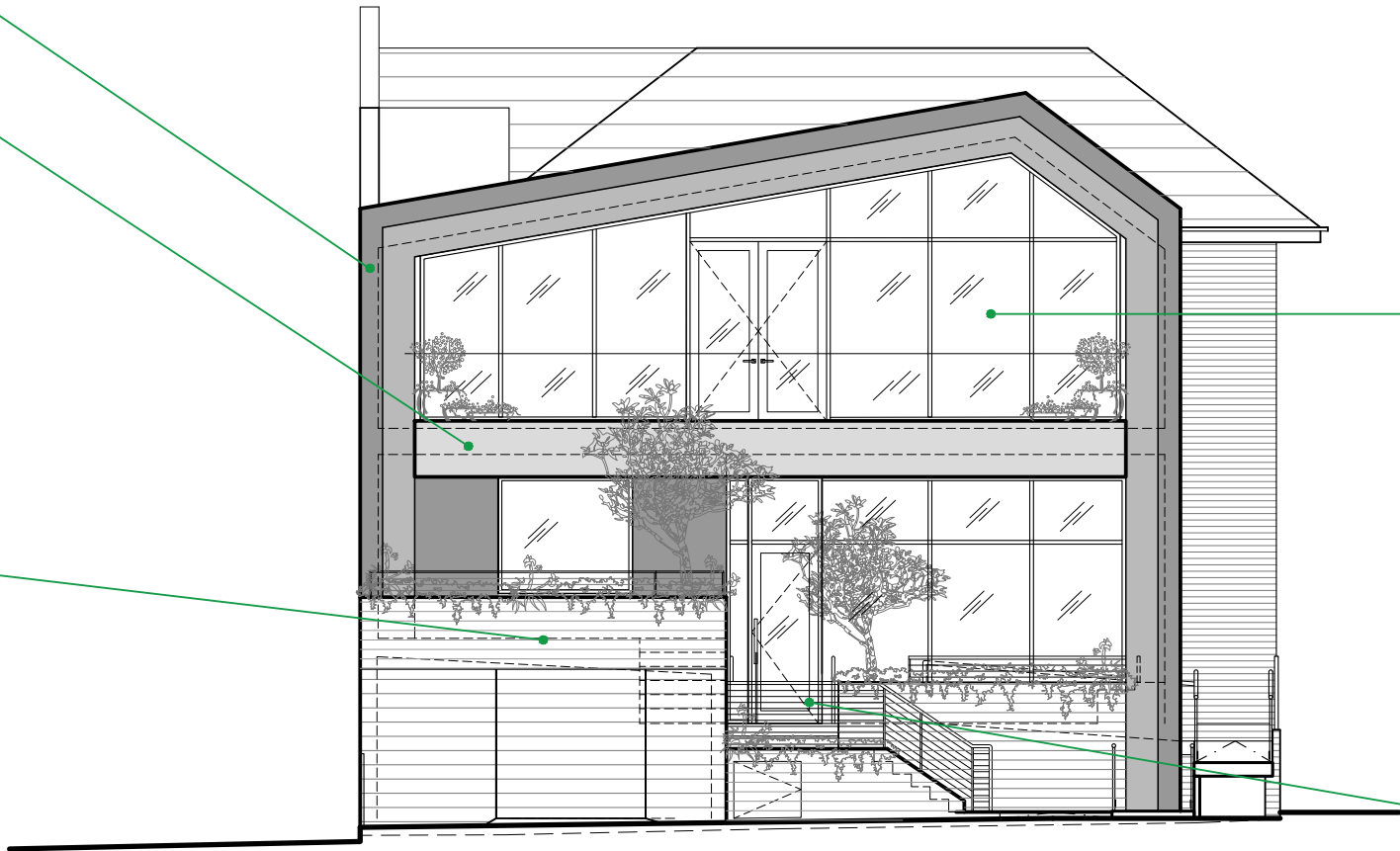
CLADDING



BATTEN FENCING



1 Proposed West (Carpark) Elevation
Scale: 1:100



PROPOSED WINDOW IN BRICKWORK



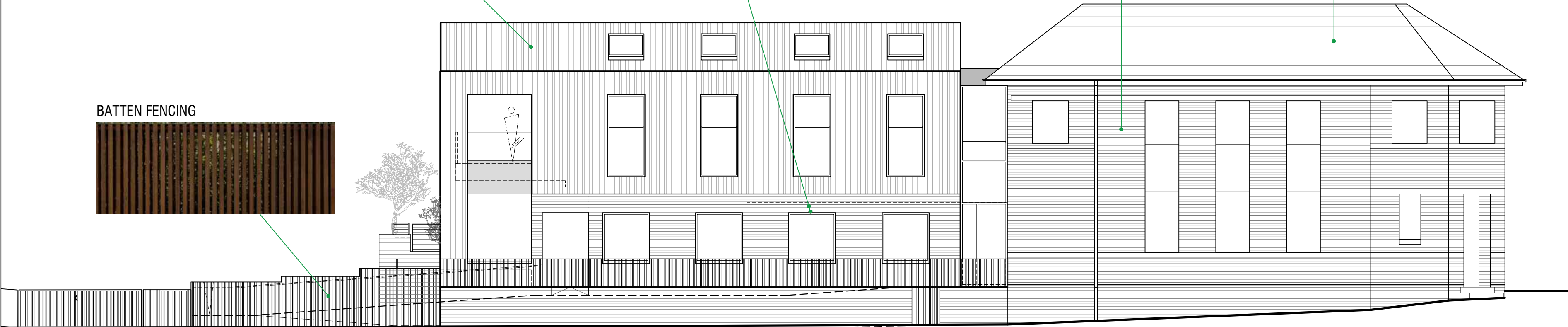
EXISTING BRICKWORK



EXISTING ROOF TILES



2 Proposed South (Collaroy St) Elevation
Scale: 1:100



PROPOSED GLAZING



PROPOSED BALUSTRADE



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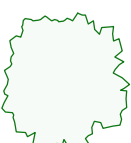











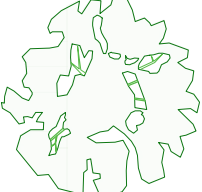

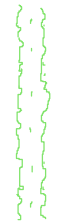







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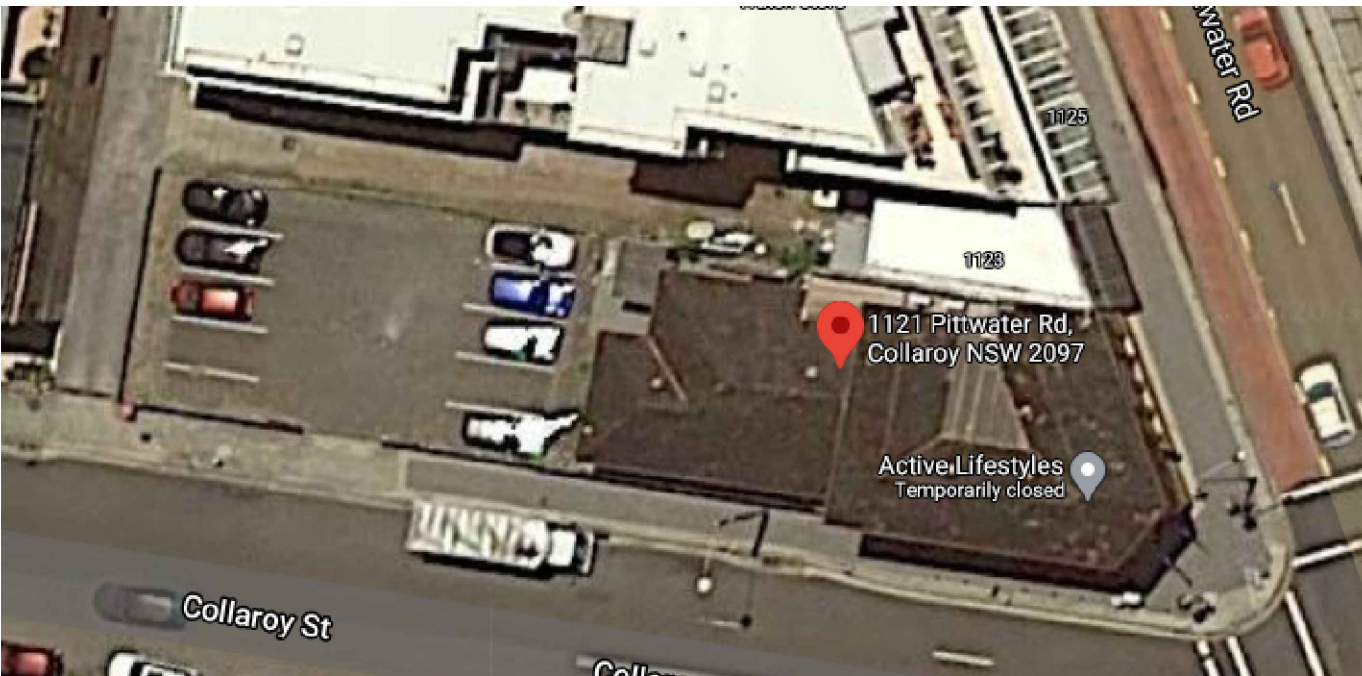
PROPOSED FINISHES
CONCEPT

Date:	Scale:	Drawn:	North:
22.10.20	1:100@A2	CS	
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C07-20328	DA-16	A	



PROPOSED PLANTING SCHEDULE							
IMAGE	QTY	CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	IMAGE
	2	PO	PLUMERIA OBTUSA	FRANGIPANI SINGAPORE WHITE	3.5 - 4M	4M	
	XX	TS	TRADESCANTIA SPATHACEO	MOSES IN THE CRADLE	0.5M	0.5M	
	XX	LG	LAMPRANTHUS GLAUCUS	WHITE PIG FACE	0.1M	0.4M	
	XX	DSF	DICONDRA	SILVER FALLS	0.2M	1M	
	XX	LL	LOMANDRA LONGIFOLIA	MAT RUSH	0.7M	0.5M	
	XX	CT	CERASTIUM TOMENTOSUM	SNOW IN SUMMER	0.2M	.7M	
	1	JM	JACARANDA MIMOSIFOLIA	JACARANDA	10-15M	10-15M	
	XX	TJ	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	6M	1.2M - HEIGHT OF SUPPORTING FENCE	
	XX	PA	PENNISETUM ALOPECUROIDES "HAMELIN"	DWARF FOUNTAIN GRASS	0.5 - 0.75M	0.5M	
	XX GROUPED IN POTS	SRH	SEMPERVIVUM "RUBY HEART"	HENS & CHICKS	10CM	20CM	
	XX GROUPED IN POTS	HF	HAWORTHIA FASCIATA	ZEBRA PLANT	25CM	30CM	

PLANTING NOTES
<p>PLANT SELECTION</p> <p>PLANTS HAVE BEEN SELECTED BASED UPON SPECIES OF PLANTS THAT ARE NON-TOXIC TO PETS, HARDY AND EASILY MAINTAINED. PLANTS NOMINATED FOR DECK PLANTERS AND BALCONIES, HAVE BEEN CHOSEN WITH THEIR SUITABILITY FOR A WEST FACING ORIENTATION IN MIND. PLANTS HAVE BEEN SELECTED TO MAXIMISE THE SITE'S APPEAL. THE CURRENT SITE OFFERS LITTLE OPPORTUNITY FOR PLANTING, AND ANY EXISTING GARDEN BEDS HAVE NOT BEEN MAINTAINED - REFER TO IMAGE OF SITE BELOW.</p> <p>ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASE BY THE PROJECT MANAGER.</p> <p>ALL FINAL PLANT QUANTITIES INDICATED IN THE PLANTING SCHEDULE SHALL BE CHECKED AND VERIFIED BY THE SUCCESSFUL LANDSCAPE CONTRACTOR.</p>
<p>GENERAL NOTES</p> <p>THE CONTRACTOR IS TO FAMILIARISE THEMSELVES WITH THE SITE PRIOR TO TENDER.</p> <p>THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO UTILITY SERVICES, PIPES, BUILDING STRUCTURES, PAVING SURFACES, FENCING, FOOTPATHS, KERBS AND ROADS.</p> <p>THE CONTRACTOR IS TO MAINTAIN ALL AREAS OF THE CONTRACT DURING PROGRESS OF THE WORKS AND THE SITE IS TO BE LEFT IN A CLEAN AND TIDY CONDITION AT THE COMPLETION OF WORKS TO THE SATISFACTION OF THE SITE FOREMAN.</p> <p>NO WORK RESULTING IN A VARIATION SHALL BE UNDERTAKEN WITHOUT THE WRITTEN APPROVAL OF THE PROJECT MANAGER.</p> <p>NO MATERIAL SUBSTITUTES MAY BE MADE WITHOUT APPROVAL OF THE PROJECT MANAGER</p>
<p>SITE PREPARATION</p> <p>EXISTING GARDEN BED AT WESTERN PROPERTY BOUNDARY TO BE CLEARED OF DEAD / DYING PLANTS AND EXISTING SOIL REMOVED. ENSURE SUB-GRADE IS FREE OF STONES LARGER THAN 100MM DIAMETER, CEMENT, RUBBISH OR ANY OTHER FOREIGN MATERIAL THAT COULD HINDER PLANT GROWTH. NEW GARDEN MIX TO INFILL TO BE PROVIDED TO DEPTHS AS REQUIRED TO SUPPORT SELECTED PLANT SPECIES. SOIL MIX FOR GROUND LEVEL PLANTED BEDS TO BE ORGANIC GARDEN MIX AS SUPPLIED BY A.N.L. OR SIMILAR</p> <p>50MM MINIMUM DRAINAGE LAYER AT THE BASE OF PLANTERS. PLANTERS TO BE FILLED WITH HIGH QUALITY GARDEN / POTTING MIX .</p> <p>AN AUTOMATED, COMMERCIAL GRADE IRRIGATION SYSTEM SHALL BE PROFESSIONALLY INSTALLED TO ALL GARDEN AREAS, INCLUDING RAISED DECK PLANTERS AND GARDENS AT NATURAL GROUND LEVEL. THE SYSTEM SHALL BE DESIGNED AND INSTALLED BY A LICENCED CONTRACTOR OR LANDSCAPER WHO SHALL PREPARE AN "AS BUILT" PLAN OF THE SYSTEM TO THE PROJECT MANAGER.</p>
<p>PLANTING</p> <p>ALL PLANTS ARE TO BE HARDENED OFF, DISEASE AND INSECT FREE AND TRUE TO SPECIES, TYPE AND VARIETY. PLANTS ARE TO BE WELL GROWN BUT NOT ROOT BOUND AND SHALL COMPLY WITH NATSPEC - "GUIDE TO PURCHASING LANDSCAPE TREES".</p> <p>ALL PLANTS ARE TO BE REMOVED FROM THEIR CONTAINERS PRIOR TO PLANTING WITH AS LITTLE DISTURBANCE TO THE ROOT SYSTEM AS POSSIBLE.</p> <p>PLANTING SHALL NOT BE CARRIED OUT WITHIN DRY SOIL OR IN EXTREME WEATHER CONDITIONS</p> <p>PLANTS SHOULD BE PLANTED AT THE SAME DEPTH AS THE PLANTS WERE IN THEIR ORIGINAL CONTAINERS AND ALLOW FOR A SHALLOW SAUCER OF SOIL TO BE FORMED AROUND THE PLANT TO AID THE PENETRATION OF WATER</p> <p>ALL PLANTS SHOULD BE WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING.</p> <p>LABELS SHALL BE REMOVED ENTIRELY FROM THE PLANTS.</p> <p>MULCH FOR ALL BEDS TO BE "DROUGHTMASTER" MULCH AS SUPPLIED BY A.N.L. OR SIMILAR, 75MM WITH PINE BARK OVER FOR GROUND LEVEL GARDENS.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FAILURE OF PLANTS DURING CONSTRUCTION, EXCLUDING ACTS OF VANDALISM.</p>

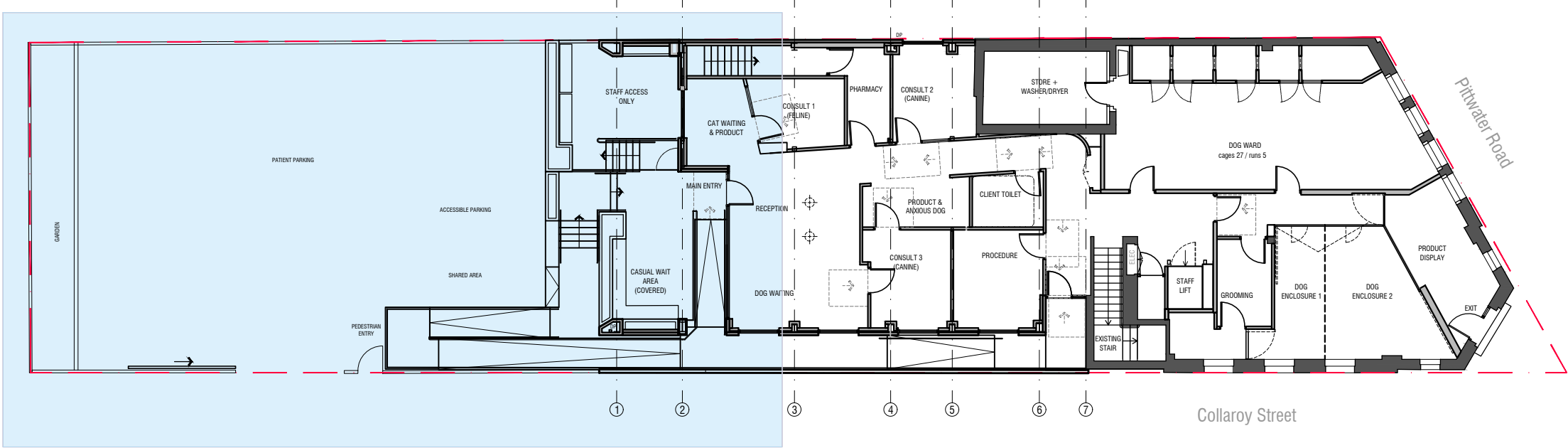


EXISTING SITE

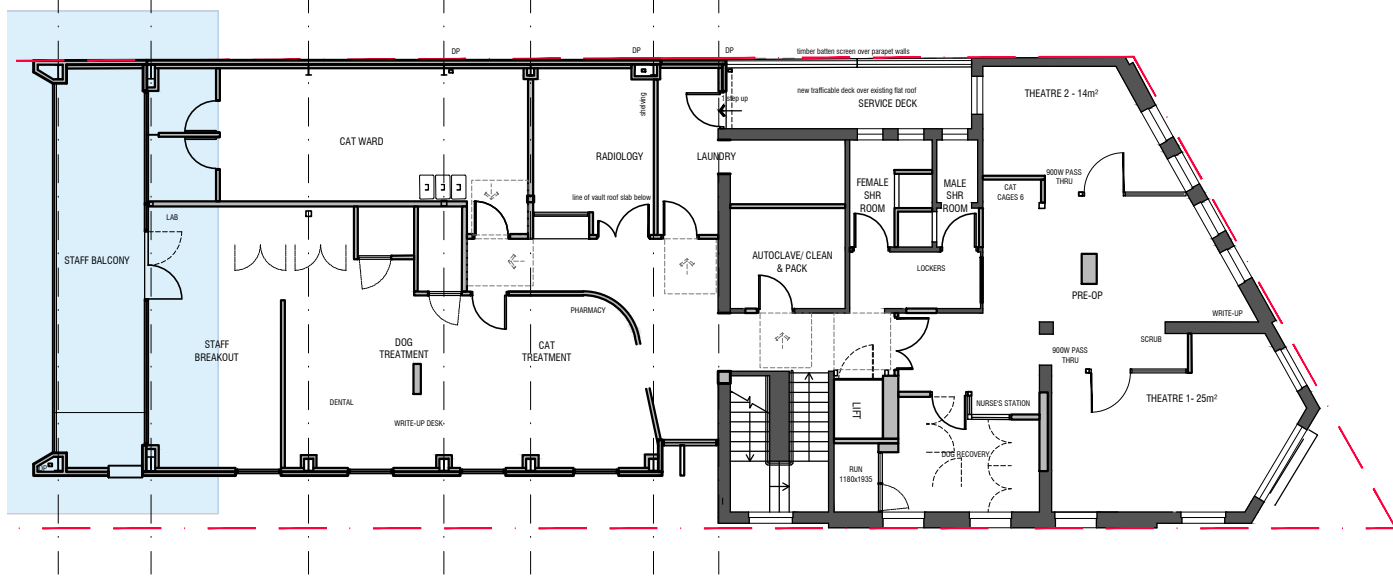
CONTRACTORS MUST VERIFY AND CHECK ALL SITE CONDITIONS, DIMENSIONS AND CEILING HEIGHTS BEFORE COMMENCING ANY WORK ON SITE OR PREPARING ANY SHOP DRAWINGS. ANY DISCREPANCIES ARE TO BE REFERRED IMMEDIATELY TO THE DESIGNER FOR CO-ORDINATION.

HEAD CONTRACTOR TO ENSURE ALL WORKS COMPLY WITH CURRENT BCA, ALL RELEVANT AS, DDA AND ALL OTHER STATUTORY REQUIREMENTS.

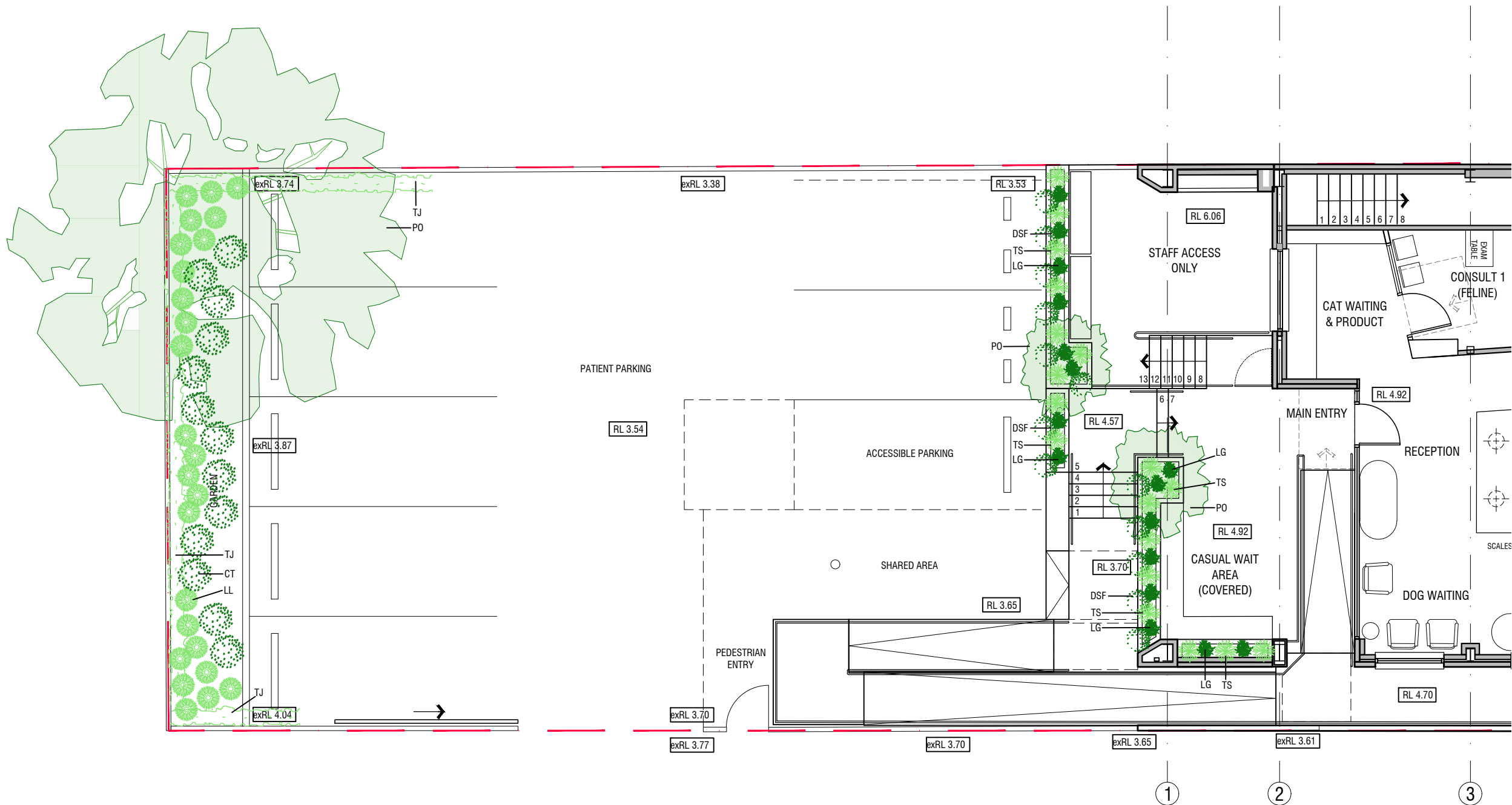
Rev	Description	Date																
A	DEVELOPMENT APPLICATION	16.12.20																
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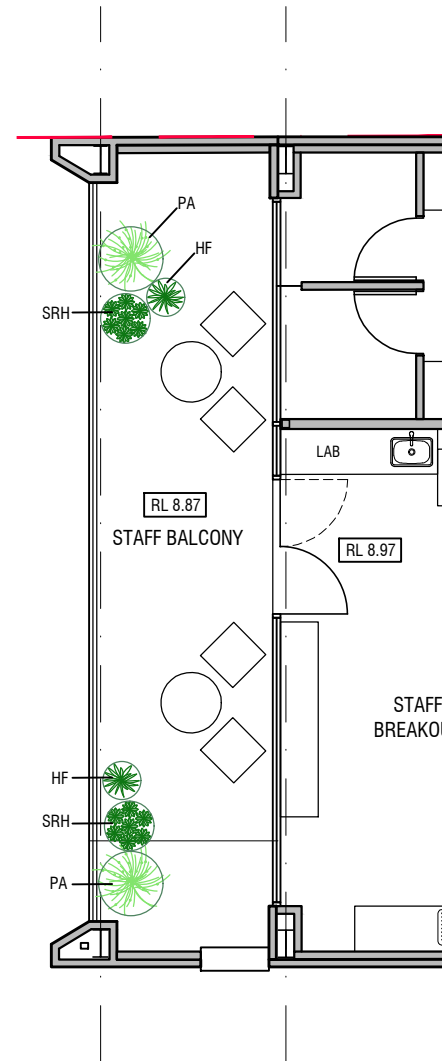
1 Ground Floor Planting Location Plan
Scale: 1:200



2 First Floor Planting Location Plan
Scale: 1:200



3 Ground Floor Planting Plan
Scale: 1:100



4 First Floor Planting Plan
Scale: 1:100

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A	DEVELOPMENT APPLICATION	16.12.20

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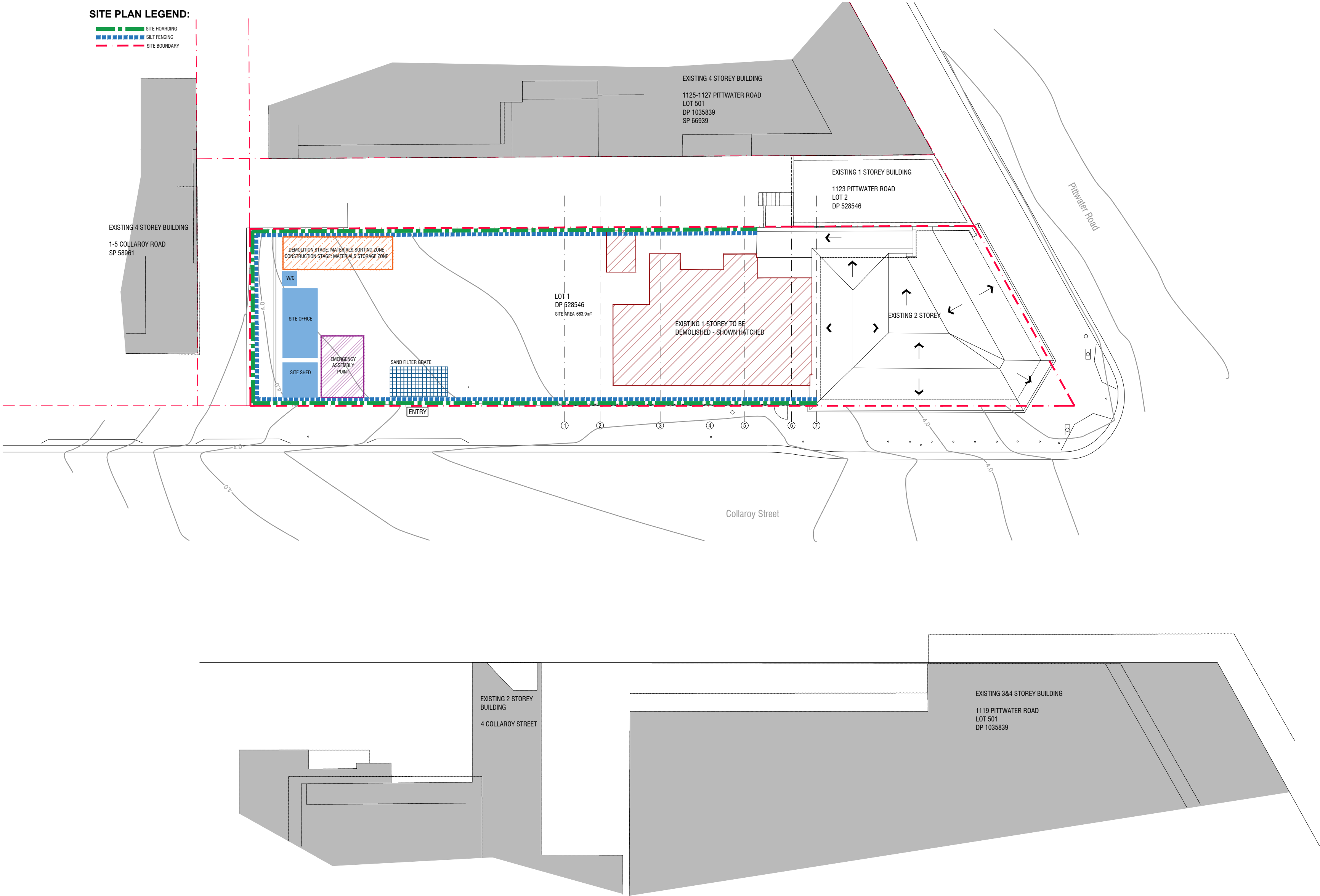
Project:

COLLARROY VET HOSPITAL
1121 PITTWATER RD
COLLARROY NSW 2097

Drawing Title:

PROPOSED PLANTING
PLANS

Date: 22.10.20	Scale: AS SHOWN	Drawn: CS	North:
Project No: C07-20328	Dwg No: DA-18	Revision: A	



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Drawing Title:

WASTE MANAGEMENT SITE PLAN

Date:	Scale:	Drawn:	North:
15.12.20	1:200@A2	CS	
Project No:	Dwg No:	Revision:	
C07-20328	DA-19	A	

