

## Statement of Environmental Effects



**GARTNERTROVATO** Architects  
Pty Ltd

ABN 51 673 668 317  
ACN 115 186 206

Suite 13, Level 1  
10 Park Street  
(PO Box 1122)  
Mona Vale  
NSW, 2103

P +612 9979 4411  
F +612 9979 4422  
E [gta@g-t.com.au](mailto:gta@g-t.com.au)

Nominated Architects  
Sean Gartner # 6072  
Luke Trovato # 7094



Alterations & Additions to an Existing Dwelling @

9 Soniver Road, North Curl Curl

Prepared For S & J Agnew

project no 2408

date May 2024

issue A

## 1.0 INTRODUCTION

This Statement of Environmental Effects is a report that forms part of an application for development consent submitted to the Northern Beaches Council for: -

- Alterations and Additions to an existing dwelling

The location of the proposal is 9 Soniver Road, North Curl Curl, a residential lot of 904m<sup>2</sup> area containing a three storey dwelling and pool on Lot 6, DP 20825. The proposed works are alterations and additions to the existing dwelling.

The proposal achieves the objectives of the WLEP 2011 and DCP and is appropriate to the character of the land and context of the R2 zoning. The proposal should be supported for approval due to the following:

- The application has considered and satisfied the various planning controls applicable to the site and the proposed development and complies with all LEP and DCP controls.
- The proposed dwelling alterations and additions are compatible with the desired future character of the locality, with minimal addition to the existing building footprint and no increase in height. The proposal complies with all building setbacks and envelopes.
- The proposed works will have a minimal impact on the quality of the environment of the land and surrounds.



Figure 1. Aerial view of the location of the site (site outline in yellow).

## 2.0 THE SITE, BACKGROUND & DESIGN RESPONSE

The key features of the site are:

- The site is generally rectangular in shape, with a narrow 12.19m frontage with no fall to the rear boundary of 19.81m wide along 55-63m side boundaries. The site has a gentle cross fall from east to west of approximately 1.5m or 8-12%. There is a similar in shape and width to adjoining properties.
- The existing dwelling is of brick and concrete, two stories above ground with a basement carpark completely underground.
- The subject site is subject to Bushfire risk as it adjoins the North Curl Curl headland to the south, but otherwise not affected by any hazards on council mapping.
- The existing dwelling is consistent in scale to surrounding development.

The proposed alterations and additions to the existing buildings are represented in the following accompanying documents:

- Architectural Drawings **A01-A09**, Project No.2408
- Survey
- Geotechnical Report
- Bushfire Report
- BASIX certificate

The proposed works will generally maintain all side and rear setbacks to all existing buildings with minor additions to the dwelling located to the north and south front and rear facades of the site. This design results in no additional impacts to adjoining properties by maintaining the "status quo" to adjoining properties in terms of maintaining the existing building footprint and height, and retaining all existing solar access, privacy and views that the adjoining properties currently share.

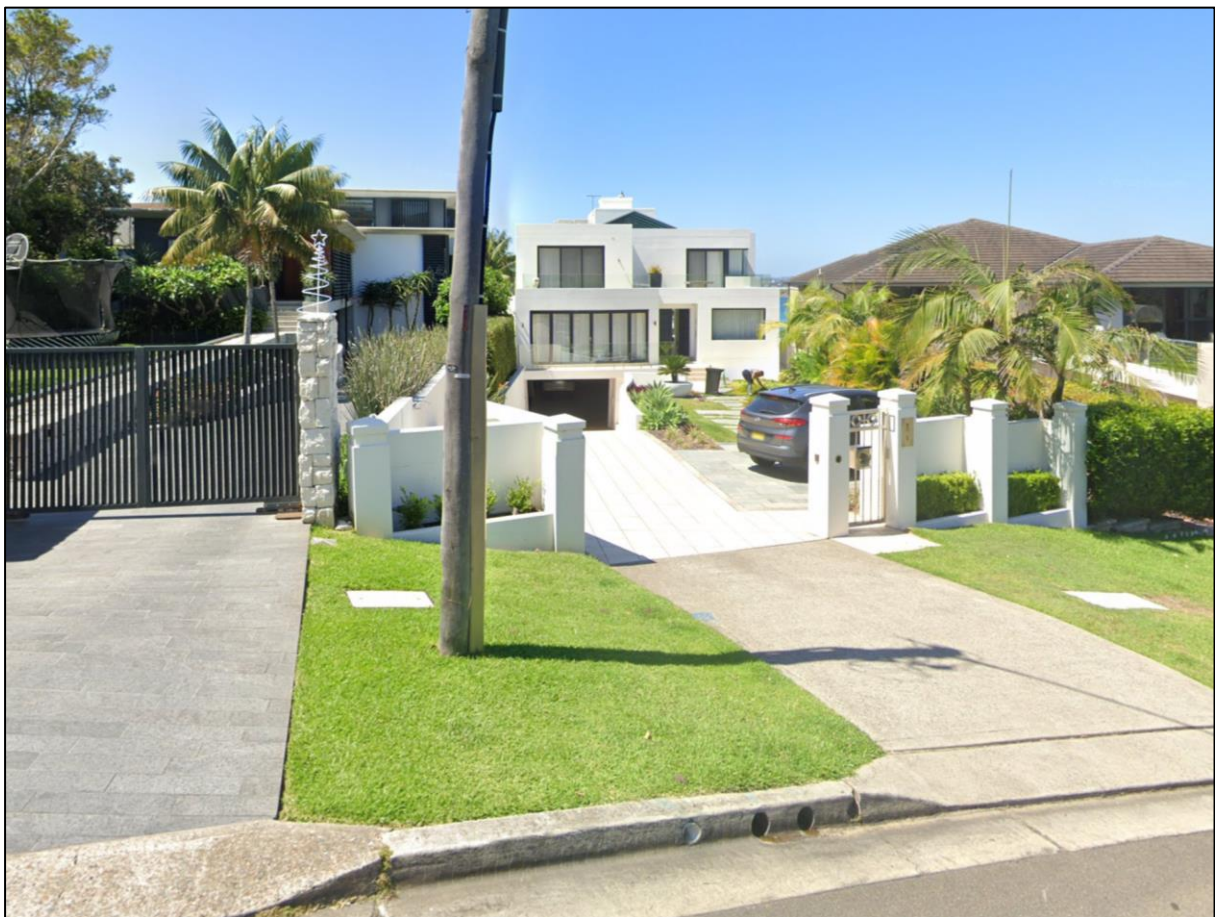


Figure 2. Image of the site from the street, 11 Soniver on left, 9 (subject site) in the centre and the roof of 7 on the right.





Figure 3. Image of the rear boundary of the existing dwelling from North Curl Curl Surf Club below the reserve

### Design Proposal

The alterations and additions include the following key aspects of the proposal:

- Internal modification of the floor plan layouts over all three levels.
- Addition of an internal stair for access from the basement garage to the upper levels of the dwelling by stair in addition to the existing lift.
- Remodelling of the south rear façade and addition of eaves to the roof
- A general reduction in floor plate and increased setback to the ground and first floor at the south elevation.
- Remodelling of the northern street front façade with covered decks and new roofs, and a
- Addition of a bedroom (Bedroom 4) to the upper floor facing the street, over the existing ground floor below.
- No increase in building footprint, No increase in building height
- Addition of a spa and soft landscape to the rear yard to replace hard paved surfaces in the rear yard.

Figure 4. Proposed new façade to the rear south boundary adjacent the headland reserve.





Figure 5. Proposed new façade to Soniver Road

### 3.0 PLANNING CONTROLS & COMPLIANCE

#### WARRINGAH DEVELOPMENT CONTROL PLAN & WARRINGAH LOCAL ENVIRONMENT PLAN 2011

##### Warringah LEP 2011

The WLEP is the principal planning instrument applicable to the land, and the relevant provisions of the LEP are assessed for the proposed development below

**Zoning** R2 Low density Residential

Zone Objectives (**response in bold**)

- *To provide for the housing needs of the community within a low density residential environment*  
**The proposal satisfies this objective**
- *To enable other land uses that provide facilities or services to meet the day to day needs of the residents*  
**The proposed satisfies this objective**
- *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah*  
**The satisfies this objective**

##### Clause 4.3 Height of Buildings

The stated objectives of this clause, and the design responses are as follows:

- *to ensure that buildings are compatible with the height and scale of surrounding and nearby development,*  
**The dwelling is compatible with the scale of surrounding dwellings, as shown in Figures 2, 3, 4, 5 above.**
- *to minimise visual impact, disruption of views, loss of privacy and loss of solar access*  
**The proposal does not create any additional visual impact, loss of views, privacy or solar access to any adjoining or nearby properties.**
- *to minimise the adverse impact of development on the scenic quality of Warringah's coastal and bush environments,*  
**The proposal does not alter the scenic quality of the coast and bushland environment.**
- *to manage the visual impact of development when viewed from public places such as parks and reserves, roads and community facilities*

The proposal complies, and maintains the scale of low density residential development and does not affect public views

The **Height of Buildings Map**, identifies the site to be within land where the height of buildings is not to exceed 8.5 metres

The proposed works do not increase the maximum height above the existing level of RL39.24 to the top of the existing lift. This height is 9.24m above natural ground and 12.80m above excavated ground (underground basement).

As the height is existing, it complies by existing use rights. No Clause 4.6 is required as no change to the existing dwelling height is proposed.

#### Warringah DCP 2011

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##### **B1 Wall Heights**

Requirements	Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).
Outcomes	The proposal complies with all wall heights below 7.2m as shown in elevation drawings, except the existing walls for the lift and stair access to the rooftop terrace, which are to remain.  The proposal complies.

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##### **B3. Side Boundary Envelope**

Requirements	Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height of 4m above ground level (existing) at the side boundaries.
Outcomes	The proposal retains the outline of the existing building which complies.

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##### **B.5 Side Boundary Setbacks**

Requirements	Development on land shown coloured on the DCP Map Side Boundary Setbacks is to maintain a minimum setback from side boundaries as shown on the map.  Side Setback : 0.9m
Outcomes	The existing setbacks of the dwelling are a minimum of 845mm and these are maintained for the west elevation. The existing setback of 1500mm is maintained to the eastern elevation.  The proposal complies through existing use rights.

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##### **B7. Front Boundary Setbacks**

Requirements	Development on land shown coloured on the DCP Map Front Boundary Setbacks is to maintain a minimum setback from boundaries as shown on the map.  Front Setback : 6.5m
Outcomes	The proposal maintains the existing front setback to any wall of the dwelling, at 11.50m.  The proposal seeks to add new entry roofs to a covered outdoor entry. The minimum setback proposed to this roof is 8.5m.  The proposal complies

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## B9. Rear Boundary Setbacks

Requirements	Development on land shown coloured on the DCP Map Rear Boundary Setbacks is to maintain a minimum setback from boundaries as shown on the map.  Rear Setback : 6m
Outcomes	The existing walls are setback a minimum of 6.5m. The proposal seeks to increase the wall setback to a minimum of 8.0m.  The proposal seeks to add a planter to an upper floor deck, the face of the planter is proposed at a 6.0m setback  The proposal complies.

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## C2. Traffic, Access and Safety

Requirements	Applicants shall demonstrate that the location of vehicular and pedestrian access meets the objectives. Vehicle access is to be obtained from minor streets and lanes where available and practical. Vehicle crossing construction and design is to be in accordance with Council's Minor works specification.
Outcomes	The proposal will reuse the existing crossing and driveway. The proposal complies.

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## C3. Parking Facilities

Requirements	<ul style="list-style-type: none"><li>• To provide adequate off street carparking.</li><li>• To site and design parking facilities (including garages) to have minimal visual impact on the street frontage or other public place.</li><li>• To ensure that parking facilities (including garages) are designed so as not to dominate the street frontage or other public spaces.</li></ul>
Outcomes	The proposal retains the existing lock up garage in the basement that accommodates 4 cars. The parking facilities are integrated into the design. The proposal complies.

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## C4 Stormwater

Requirements	Stormwater runoff must not cause downstream flooding and must have minimal environmental impact on any receiving stormwater infrastructure, watercourse, stream, lagoon, lake and waterway or the like.  The stormwater drainage systems for all developments are to be designed and installed in accordance with Council's Water Management for Development Policy
Outcomes	There is no requirement for On-Site Detention as the proposal is alterations and additions to a single dwelling and the impervious area is not increased. The proposal actually increases impervious area by replacing hard paved surfaces with deep soil landscape.  The proposal complies.

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## C9. Waste Management

Requirements	All development that is or includes demolition, and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan
Outcomes	The proposal is accompanied by a Waste Management Plan.

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#### D1. Landscaped Open Space and Bushland Setting

Requirements	Development on land shown coloured on the DCP Map Landscaped Open Space and Bushland Setting is to maintain a minimum percentage landscape area of the site.  Landscaped Open Space : Minimum 40%
Outcomes	The existing dwelling provides a landscape ration of 143.20m2 or 15.8%for areas no less than 2m wide and including the water surface of the pool.  The proposal seeks to increase the landscaped area to 187.8m2 or 20.8%.  The proposal increases the landscape area over existing and should be supported for approval.

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#### D2. Private Open Space

Requirements	Dwelling houses and attached dwellings with 3 or more bedrooms must provide  A minimum 60m2 with 5m dimension
Outcomes	The proposal provides private open space to the front and rear of the dwelling exceeding 270m2 and complies.

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#### D6. Access to Sunlight

Requirements	Development should avoid unreasonable overshadowing of any public open space, and at least 50% of the area of private open space of each dwelling and at least 50% or the required areas of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21
Outcomes	There is no additional overshadowing of the private open spaces to adjoining property due to the existing building footprint and heights being retained.  The proposal complies.

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#### D7. Views

Requirements	Development shall provide for the reasonable sharing of views
Outcomes	There are no views affected by the proposal

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#### D8. Privacy

Objectives	<ul style="list-style-type: none"><li>• To ensure the siting and design of buildings provides a high level of visual and acoustic privacy for occupants and neighbours.</li><li>• To encourage innovative design solutions to improve the urban environment.</li><li>• To provide personal and property security for occupants and visitors.</li></ul>
Outcomes	The proposal has no impact on the privacy to adjoining properties.

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#### D9. Building Bulk

Objectives	<ul style="list-style-type: none"><li>• To encourage good design and innovative architecture to improve the urban environment.</li><li>• To minimise the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes.</li></ul>
Outcomes	The proposal has no impact of bulk and scale to any adjoining properties.

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#### D10. Building Colours and Materials

Objectives	<ul style="list-style-type: none"><li>• To ensure the colours and materials of new or altered buildings and structures are sympathetic to the surrounding natural and built environment.</li></ul>
Outcomes	As the proposal is minor alterations and additions, the colour and finishes of the existing dwelling will be retained. Several new components are provided with darker colours in a schedule on the drawings. The proposal complies

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#### D11. Roofs

Objectives	<ul style="list-style-type: none"><li>• To encourage innovative design solutions to improve the urban environment.</li><li>• Roofs are to be designed to complement the local skyline.</li><li>• Roofs are to be designed to conceal plant and equipment.</li></ul>
Outcomes	The roof form has been carefully designed to provide interest, variation and landscaped elements. The proposal complies.

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#### D12. Glare and Reflection

Objectives	<ul style="list-style-type: none"><li>• To ensure that development will not result in overspill or glare from artificial illumination or sun reflection.</li><li>• To maintain and improve the amenity of public and private land.</li><li>• To encourage innovative design solutions to improve the urban environment</li></ul>
Outcomes	The proposal complies

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#### D22. Conservation of Energy and Water

Objectives	<ul style="list-style-type: none"><li>• To encourage innovative design solutions to improve the urban environment.</li><li>• To ensure energy and water use is minimised.</li></ul>
Outcomes	A compliant Basix Certificate has been submitted with this application.

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#### E2. Prescribed Vegetation

Requirements	<ul style="list-style-type: none"><li>• To preserve and enhance the area's amenity, whilst protecting human life and property.</li><li>• To improve air quality, prevent soil erosion, assist in improving water quality, carbon sequestration, storm water retention, energy conservation and noise reduction.</li><li>• To provide habitat for local wildlife, generate shade for residents and provide psychological &amp; social benefits.</li><li>• To protect and promote the recovery of threatened species, populations and endangered ecological communities.</li><li>• To protect and enhance the habitat of plants, animals and vegetation communities with high conservation significance.</li><li>• To retain and enhance native vegetation communities and the ecological functions of wildlife corridors.</li><li>• To reconstruct habitat in non vegetated areas of wildlife corridors that will sustain the ecological functions of a wildlife corridor and that, as far as possible, represents the combination of plant species and vegetation structure of the original 1750 community.</li><li>• Promote the retention of native vegetation in parcels of a size, condition and configuration which will as far as possible enable plant and animal communities to survive in the long-term.</li></ul>
Outcomes	There are no trees proposed to be removed as a part of this application.

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E10. Landslip Risk

Objectives	<ul style="list-style-type: none"><li>• To ensure development is geotechnically stable.</li><li>• To ensure good engineering practice.</li><li>• To ensure there is no adverse impact on existing subsurface flow conditions.</li><li>• To ensure there is no adverse impact resulting from stormwater discharge</li></ul>
Outcomes	The proposed alterations and additions to existing buildings are located within Area B. A preliminary assessment by a registered Geotechnical engineer accompanies the application.

Northern Beaches Bushfire Prone Land Map

The site is located on mapping indicating that the proposed works will be subject to bushfire risk as per the map below.



The site is within a buffer zone

Requirements	A Bushfire Risk Report accompanies the application indicating the appropriate level of protection to be BAL-40
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5.0 CONCLUSION

The proposal to construct **alterations and additions to an existing dwelling** at 9 Soniver Road, North Curl Curl as submitted is permissible with the consent of Council. The development is consistent with the provisions of the Warringah LEP 2011 and responds to the relevant DCP controls and outcomes.

The proposal is consistent with the zone objectives and will provide a positive contribution to the locality without any unacceptable adverse environmental effects.

The application is therefore suitable for approval.