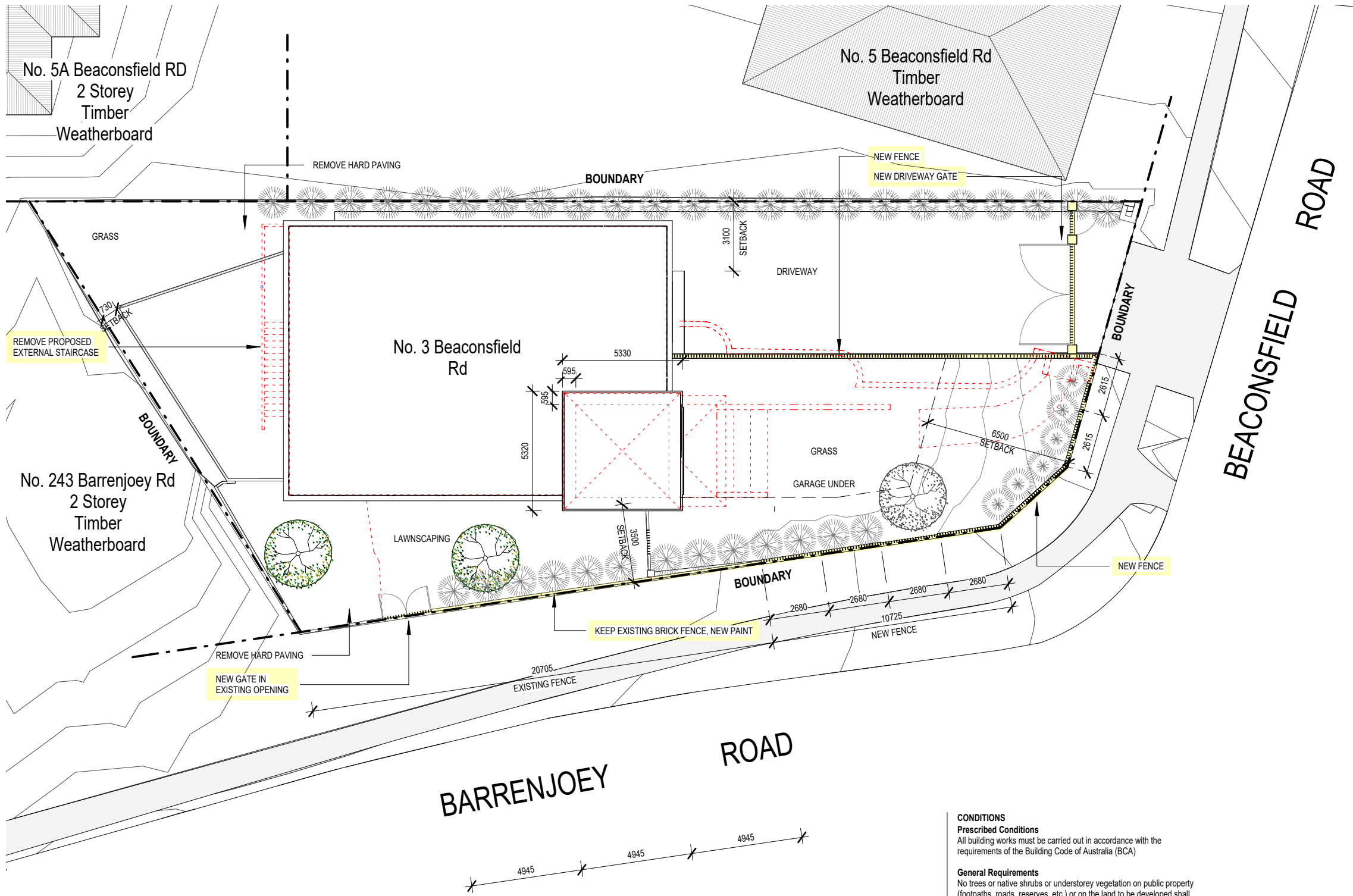




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CONSENT

MOD2024/0481



1 PROPOSED SITE
01 1 : 200

BASIX NOTES

NUM #	SHADING	FRAME & GLASS
W01, W02, W03	eave/verandah/pergola/balcony>=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W04	eave/verandah/pergola/balcony>=450 mm	standard aluminium, single pyrolytic low-e,(U-value: 5.7, SHGC: 0.47)
W05	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D01	eave/verandah/pergola/balcony>=450 mm	standard aluminium, single pyrolytic low-e,(U-value: 5.7, SHGC: 0.47)
D02	eave/verandah/pergola/balcony>=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D03	eave/verandah/pergola/balcony>=450 mm	standard aluminium, single pyrolytic low-e,(U-value: 5.7, SHGC: 0.47)

LIGHTING
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

FIXTURES
New or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
New or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
New or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

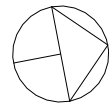
CONSTRUCTION
Concrete slab on ground floor nil
External wall: Concrete block retaining wall R1.70 (including construction)
Flat ceiling, flat roof: framed Ceiling: R0.58 (up), roof: foil backed blanket (100 mm). Medium (solar absorptance 0.475 - 0.70)

CONDITIONS
Prescribed Conditions
All building works must be carried out in accordance with the requirements of the Building Code of Australia (BCA)

General Requirements
No trees or native shrubs or understorey vegetation on public property (footpaths, roads, reserves, etc.) or on the land to be developed shall be removed or damaged during construction unless specifically approved in this consent including for the erection of any fences, hoardings or other temporary works.

Compliance with Standards
The development is required to be carried out in accordance with all relevant Australian Standards.

External Finishes to Roof
The external finish to the roof shall have a medium to dark range in order to minimise solar reflections to neighbouring properties. Any roof with a metallic steel finish is not permitted.



--- DEMOLISHED
--- HIDDEN
--- OVERHEAD
■ EXISTING
■ PROPOSED
■ NEW WORK

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ARCHITECT



reg# NSW 7417 - TIM WEST
ph. 02 9918 5085
e. tim@thw.net.au
m. Suite 101 - Level 1, 60 Old Barrenjoey rd, Avalon NSW, 2107

SURVEY

DAW & WALTON
PO BOX 3222, REDFERN, NSW, 2016
P. 8065 1156
E. SURVEY@DAW-WALTON.COM.AU

PLANNER

VAUGHAN MILLIGAN DEVELOPMENT CONSULTING
VAUGHAN MILLIGAN
8/1 KALINYA ST, NEWPORT, NSW, 2106
P. 9999 4922

ENGINEER

BARRENJOEY CONSULTING ENGINEERS
LUCAS MOLLOY
PO BOX 672, AVALON, NSW, 2107
M. 0418 620 330
E. LUCAS@BCE@BIGPOND.COM

ARBORIST / LANDSCAPE

SAS LANDSCAPES

GEO

CROZIER GEOTECHNICAL CONSULTANTS
UNIT 12 / 42-46 WATTLE ROAD, BROOKVALE, NSW, 2100
(02) 9939 1883

CLIENT

Therese Rushby
crather@live.com

PROJECT

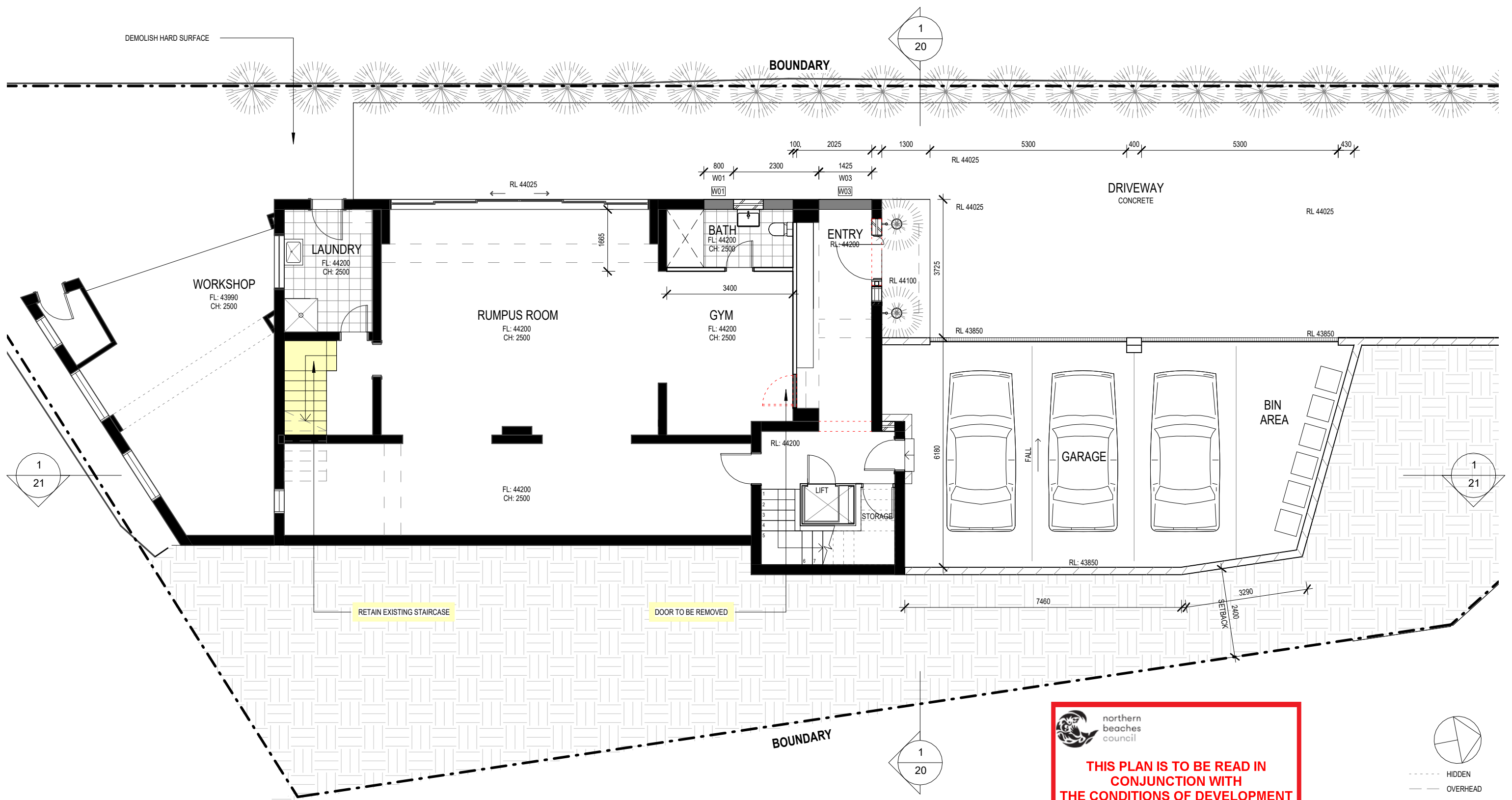
ALTERATIONS & ADDITIONS
3 BEACONSFIELD STREET, NEWPORT, NSW, 2106

DATE

COMMENTS

F	02/07/2024	SEC 4.55
D	08/04/2020	CC
B	12/11/2019	CC
A	31/05/2019	DA
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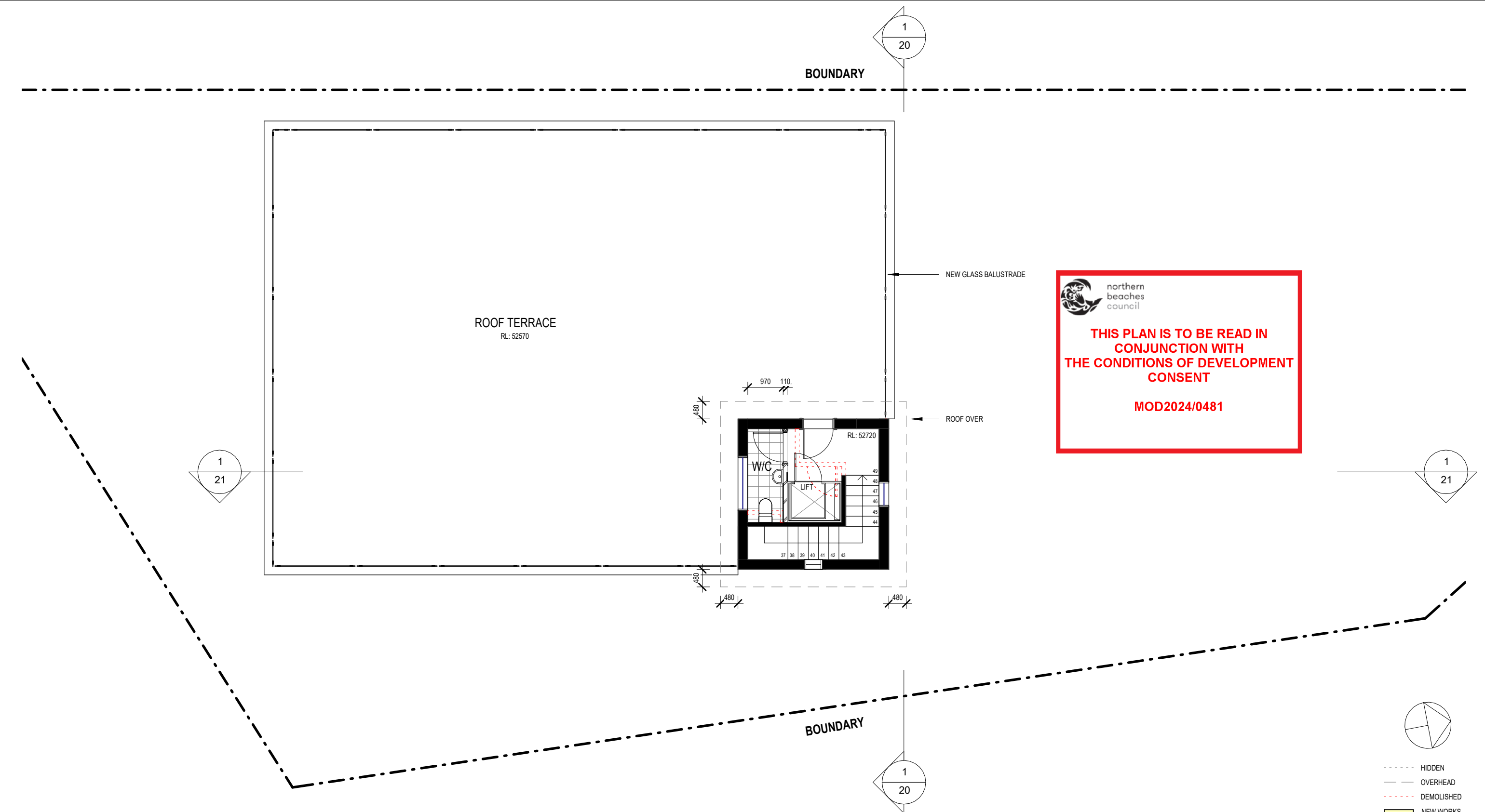
1
10 02
1 : 100
PROPOSED LOWER GROUND

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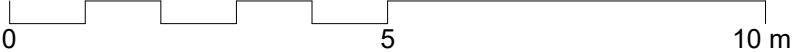
- HIDDEN
- OVERHEAD
- DEMOLISHED
- NEW WORKS
- EXISTING
- STUD WALL
- DOUBLE BRICK
- CONCRETE BLOCK
- STUD W/ FOAM
- CONCRETE SLAB


<div><div>ARCHITECT</div><div></div><div>reg# NSW 7417 - TIM WEST ph. 02 9918 5085 e. tim@thw.net.au m. Suite 101 - Level 1, 60 Old Barrenjoey rd, Avalon NSW, 2107</div></div>	<div><div>SURVEY</div><div>DAW & WALTON PO BOX 3222, REDFERN, NSW, 2016 P. 8065 1156 E. SURVEY@DAW-WALTON.COM.AU</div></div>	<div><div>ENGINEER</div><div>BARRENJOEY CONSULTING ENGINEERS LUCAS MOLLOY PO BOX 672, AVALON, NSW, 2107 M. 0418 620 330 E. LUCASBCE@BIGPOND.COM</div></div>	<div><div>GEO</div><div>CROZIER GEOTECHNICAL CONSULTANTS UNIT 12 / 42-46 WATTLE ROAD, BROOKVALE, NSW, 2100 (02) 9939 1883</div></div>	<div><div>PROJECT</div><div>ALTERATIONS & ADDITIONS 3 BEACONSFIELD STREET, NEWPORT, NSW, 2106</div></div>				<div><div>JOB NUM#</div><div>144</div></div>	<div><div>DRAWN BY</div><div>TC</div></div>	<div><div>CHK. BY</div><div>TW</div></div>	<div><div>PAGE SIZE</div><div>A3</div></div>
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		<div><div>PLANNER</div><div>VAUGHAN MILLIGAN DEVELOPMENT CONSULTING VAUGHAN MILLIGAN 8/1 KALINYA ST, NEWPORT, NSW, 2106 P. 9999 4922</div></div>	<div><div>ARBORIST / LANDSCAPE</div><div>SAS LANDSCAPES</div></div>		<div><div>CLIENT</div><div>Therese Rushby crather@live.com</div></div>	F 02/07/2024 D 08/04/2020 B 12/11/2019 A 31/05/2019	SEC 4.55 CC CC DA		<div><div>DRAWING NAME</div><div>LOWER GROUND PLAN</div></div>		<div><div>DRAWING NUMBER</div><div>A 02 -F</div></div>
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1
10 05
PROPOSED ROOF
1 : 100

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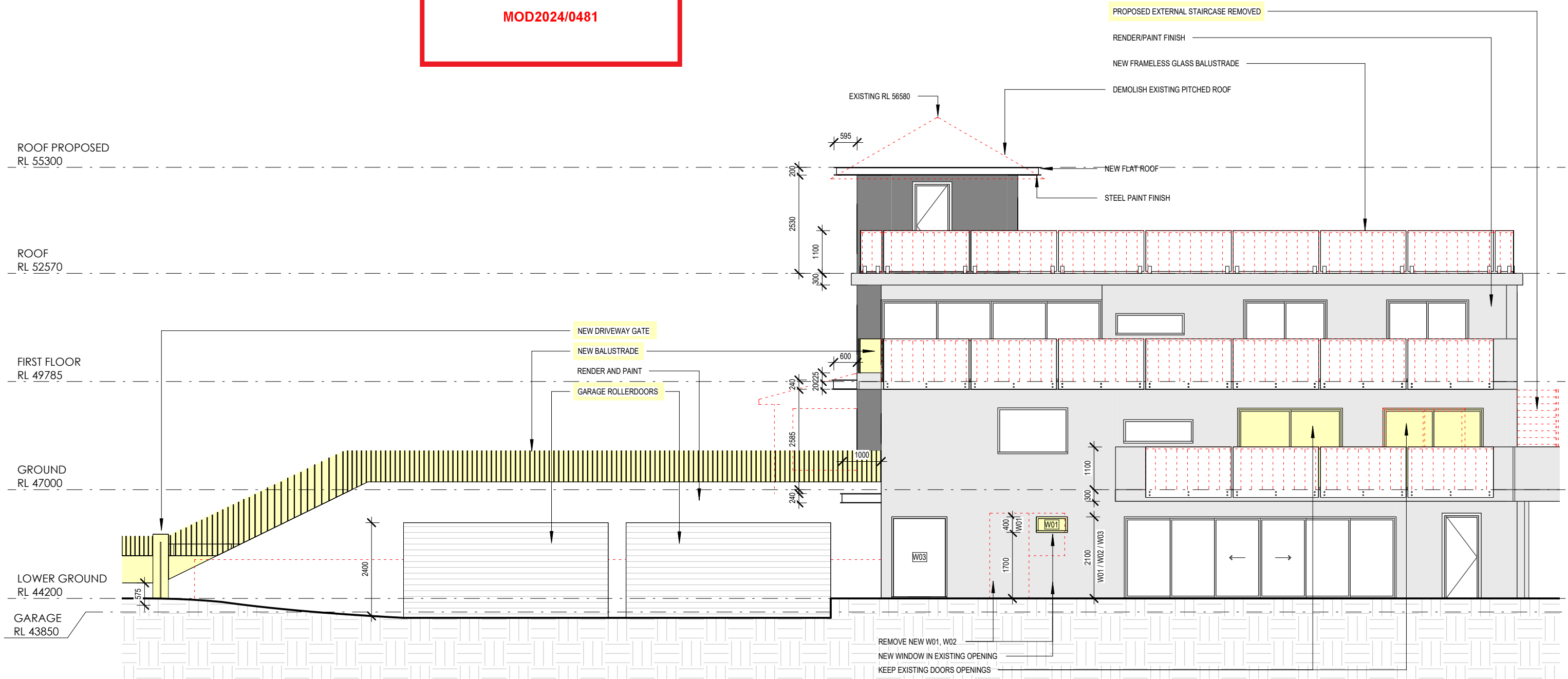
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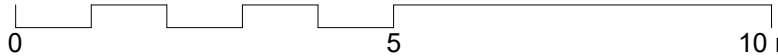
NORTH ELEVATION

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reg# NSW 7417 - TIM WEST
ph. 02 9918 5085
e. tim@thw.net.au
m. Suite 101 - Level 1, 60 Old Barrenjoey rd, Avalon NSW, 2107

SURVEY

DAW & WALTON
PO BOX 3222, REDFERN, NSW, 2016
P. 8065 1156
E. SURVEY@DAW-WALTON.COM.AU

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VAUGHAN MILLIGAN DEVELOPMENT CONSULTING
VAUGHAN MILLIGAN
8/1 KALINYA ST, NEWPORT, NSW, 2106
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BARRENJOEY CONSULTING ENGINEERS
LUCAS MOLLOY
PO BOX 672, AVALON, NSW, 2107
M. 0418 620 330
E. LUCAS@BCE@BIGPOND.COM

ARBORIST / LANDSCAPE

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GEO

CROZIER GEOTECHNICAL CONSULTANTS
UNIT 12 / 42-46 WATTLE ROAD, BROOKVALE, NSW, 2100
(02) 9939 1883

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CLIENT

Therese Rushby
crather@live.com

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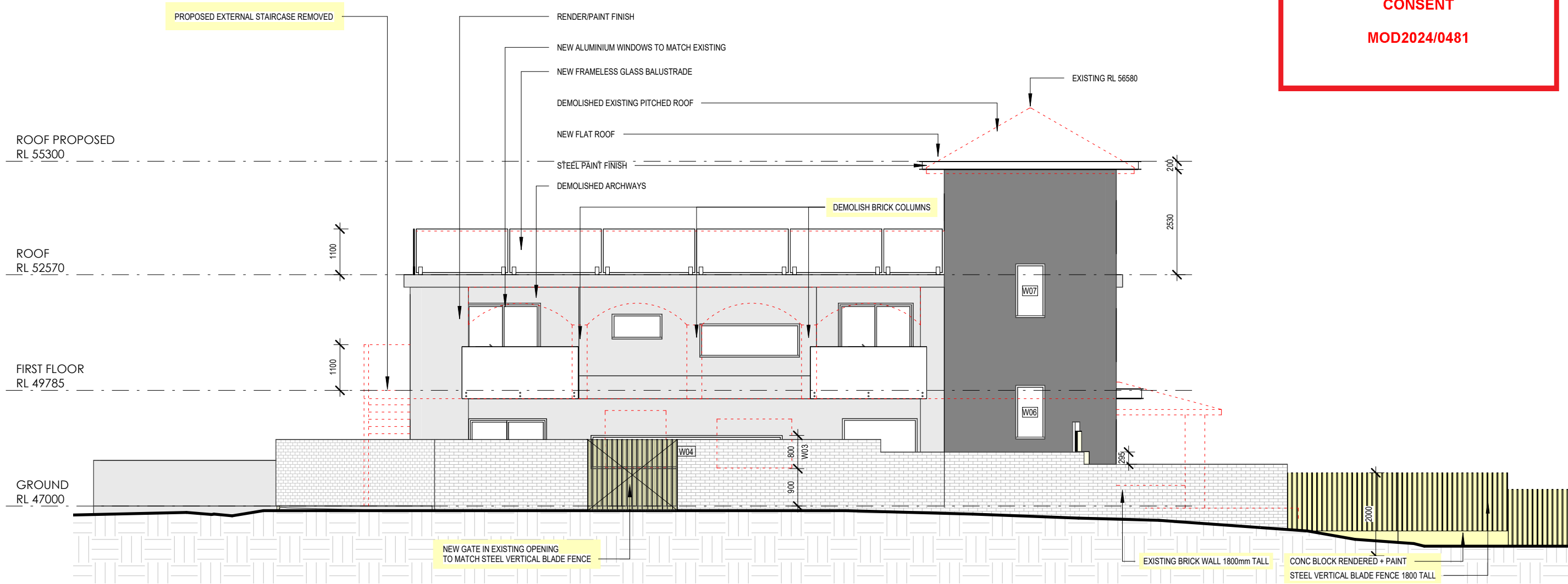
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1 SOUTH ELEVATION
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reg# NSW 7417 - TIM WEST
ph. 02 9918 5085
e. tim@thw.net.au
m. Suite 101 - Level 1, 60 Old Barrenjoey rd, Avalon NSW, 2107

SURVEY
DAW & WALTON
PO BOX 3222, REDFERN, NSW, 2016
P. 8065 1156
E. SURVEY@DAW-WALTON.COM.AU

PLANNER
VAUGHAN MILLIGAN DEVELOPMENT CONSULTING
VAUGHAN MILLIGAN
8/1 KALINYA ST, NEWPORT, NSW, 2106
P. 9999 4922

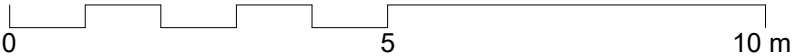
ENGINEER
BARRENJOEY CONSULTING ENGINEERS
LUCAS MOLLOY
PO BOX 672, AVALON, NSW, 2107
M. 0418 620 330
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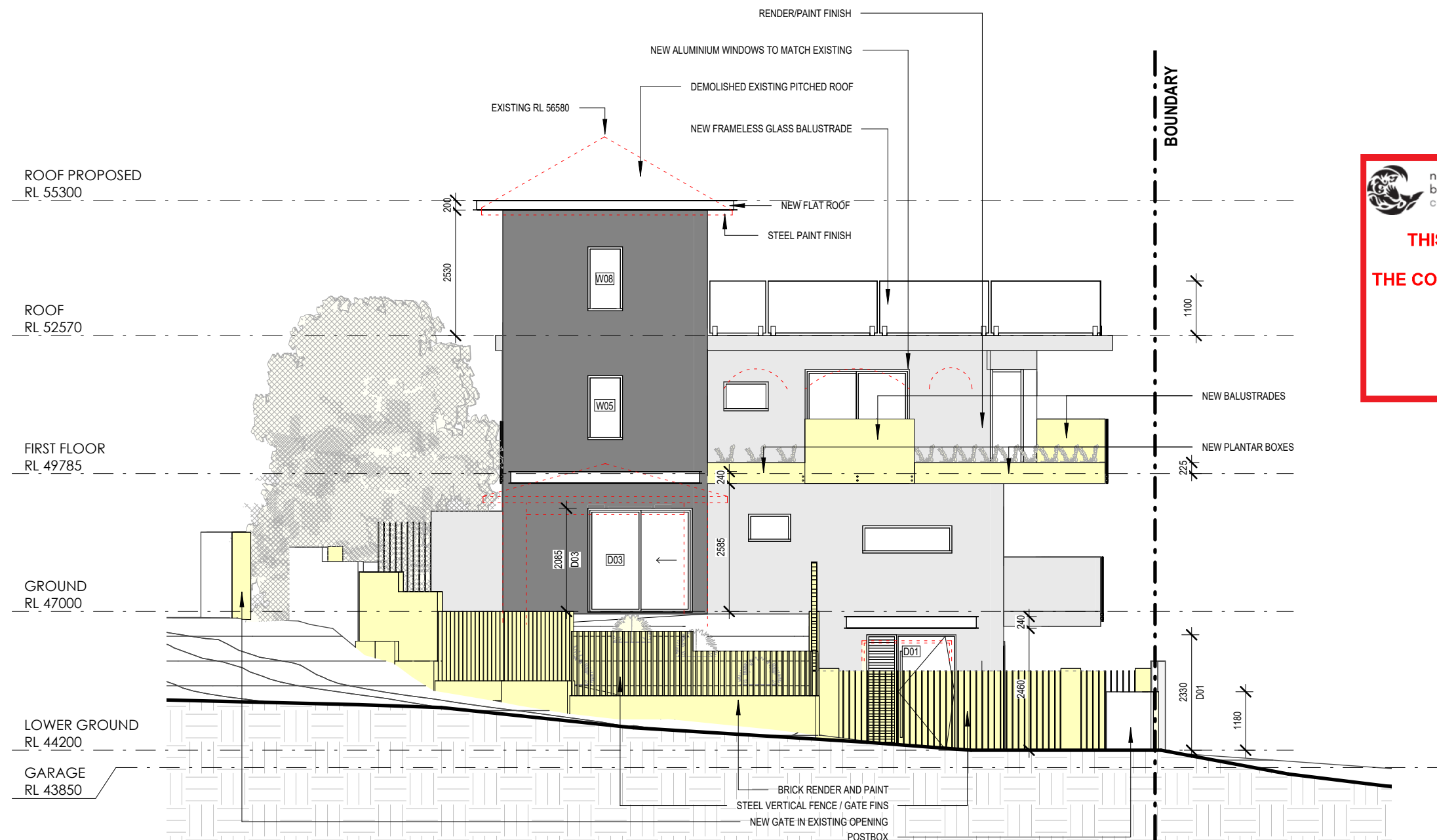
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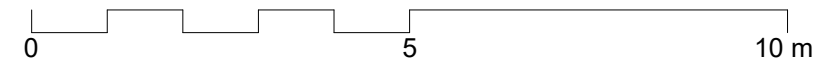
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1 EAST ELEVATION
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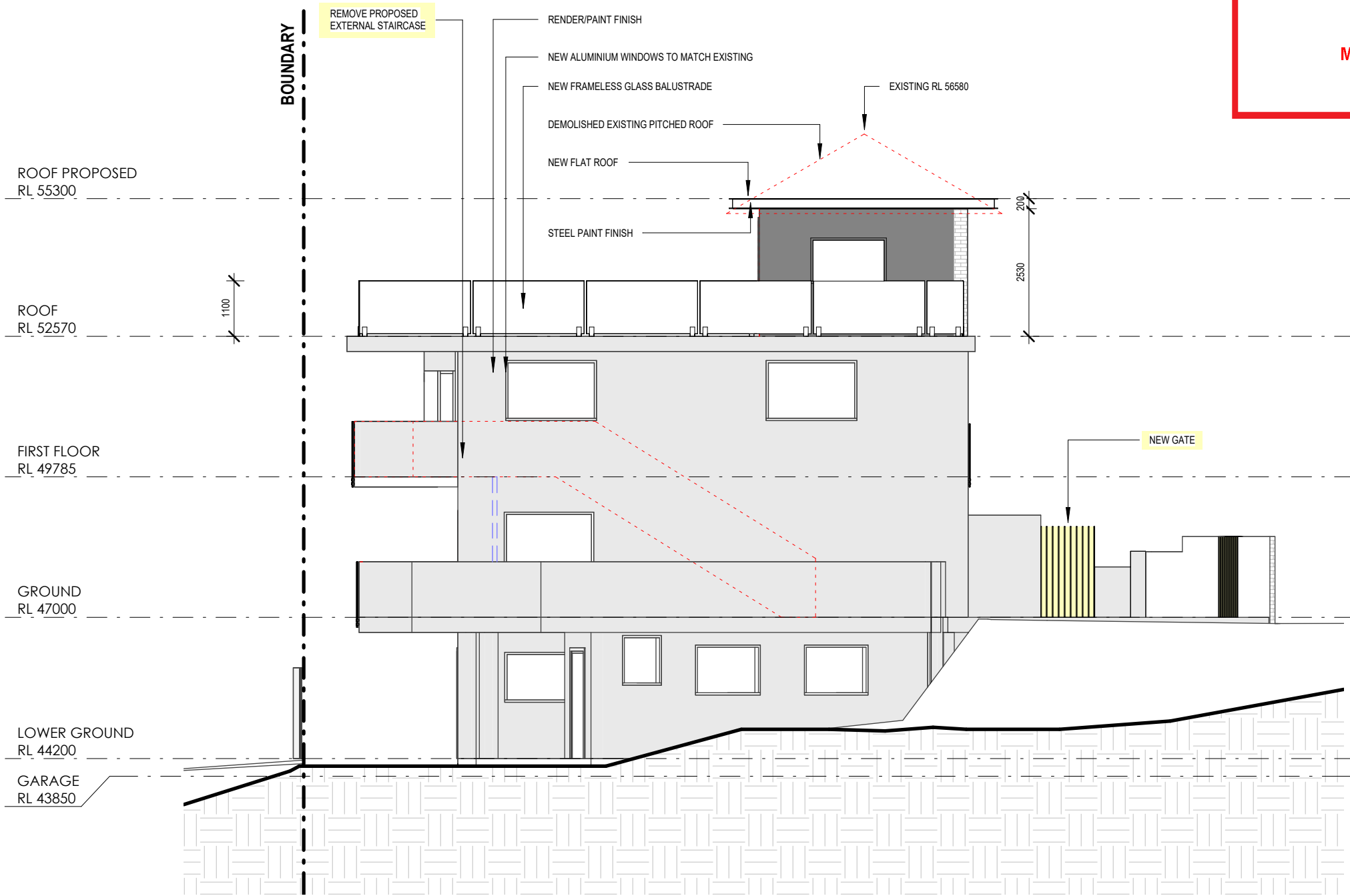
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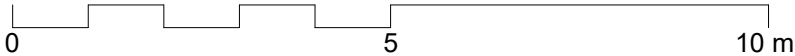
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1 WEST ELEVATION
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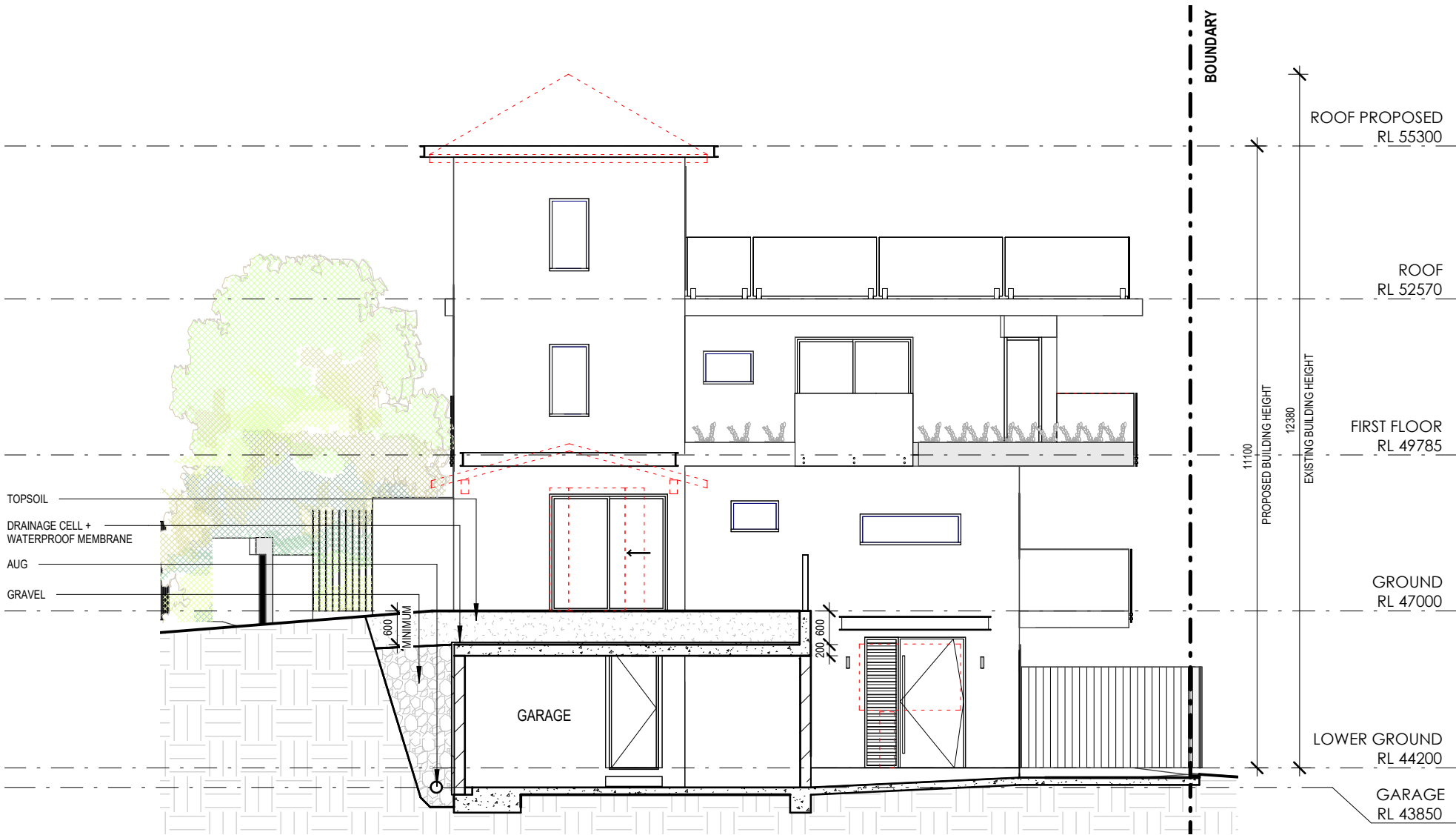
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1 SECTION A
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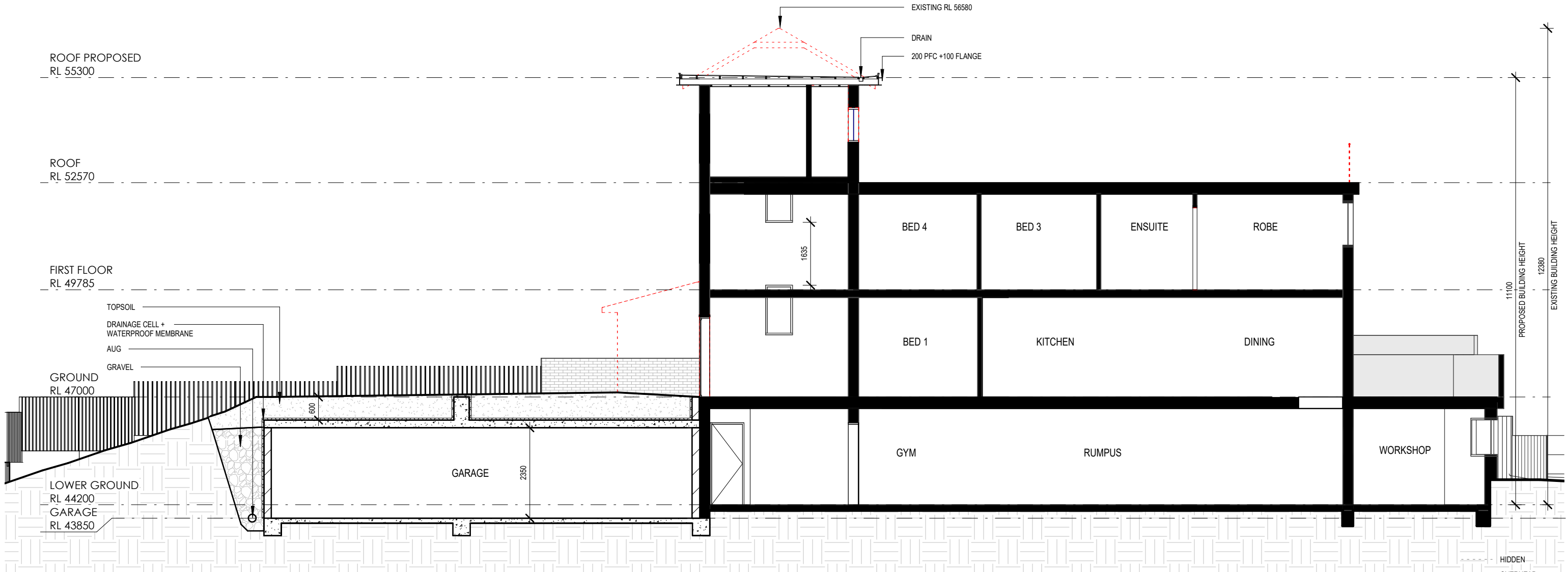
- HIDDEN
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- NEW WORKS
- EXISTING
- STUD WALL
- DOUBLE BRICK
- CONCRETE BLOCK
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				DRAWING NAME SECTIONS		DRAWING NUMBER A 20 -F			



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1 SECTION B
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reg# NSW 7417 - TIM WEST
ph. 02 9918 5085
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m. Suite 101 - Level 1, 60 Old Barrenjoey rd, Avalon NSW, 2107

SURVEY

DAW & WALTON
PO BOX 3222, REDFERN, NSW, 2016
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VAUGHAN MILLIGAN DEVELOPMENT CONSULTING
VAUGHAN MILLIGAN
8/1 KALINYA ST, NEWPORT, NSW, 2106
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LUCAS MOLLOY
PO BOX 672, AVALON, NSW, 2107
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ARBORIST / LANDSCAPE

SAS LANDSCAPES

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CROZIER GEOTECHNICAL CONSULTANTS
UNIT 12 / 42-46 WATTLE ROAD, BROOKVALE, NSW, 2100
(02) 9939 1883

CLIENT

Therese Rushby
crather@live.com

PROJECT

ALTERATIONS & ADDITIONS
3 BEACONSFIELD STREET, NEWPORT, NSW, 2106

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D 08/04/2020 CC
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PROJECT NAME 3 BEACONSFIELD			SCALE 1 : 100
DRAWING NAME SECTIONS			DRAWING NUMBER A 21 -F



Banksia integrifolia fastigata .



Kingsdale poa



Westringia

SOFT LEAF BUFFALO
(SHADE TOLERANT SPECIES)

PLANTING SCHEDULE

BOTANICAL NAME	COMMON NAME	QTY	POT SIZE	SPREAD	HEIGHT	
Bambusa textilis Gracilis	slender weavers	15	200mm	1 - 2 m	2 m	
Westringia longifolia 'Snow Flurry' - Coastal Rosemary		15	200mm	1 m	1m	
Banksia integrifolia fastigata	coastal banksia	3	25 LTR	1 - 6 m	4 - 15m	
Tristaniopsis laurina	Kanooka, or Water Gum		25 LTR	1 - 6 m	3 - 15m	
Backhousia citriodora	Lemon Myrtle	9	25 LTR	1 - 5 m	3 - 15m	
Callistemon viminalis	scarlet flame CC19		25 LTR	1 - 2 m	2 m	
Polygala x Dalmasiana Dazzler	Polygala Dazzler		200mm	1 - 2 m	2 m	

All tree plantings - AS - 2303 : 2015 tree stock for landscape use.



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SAS Landscapes

abn 52 288 031 668

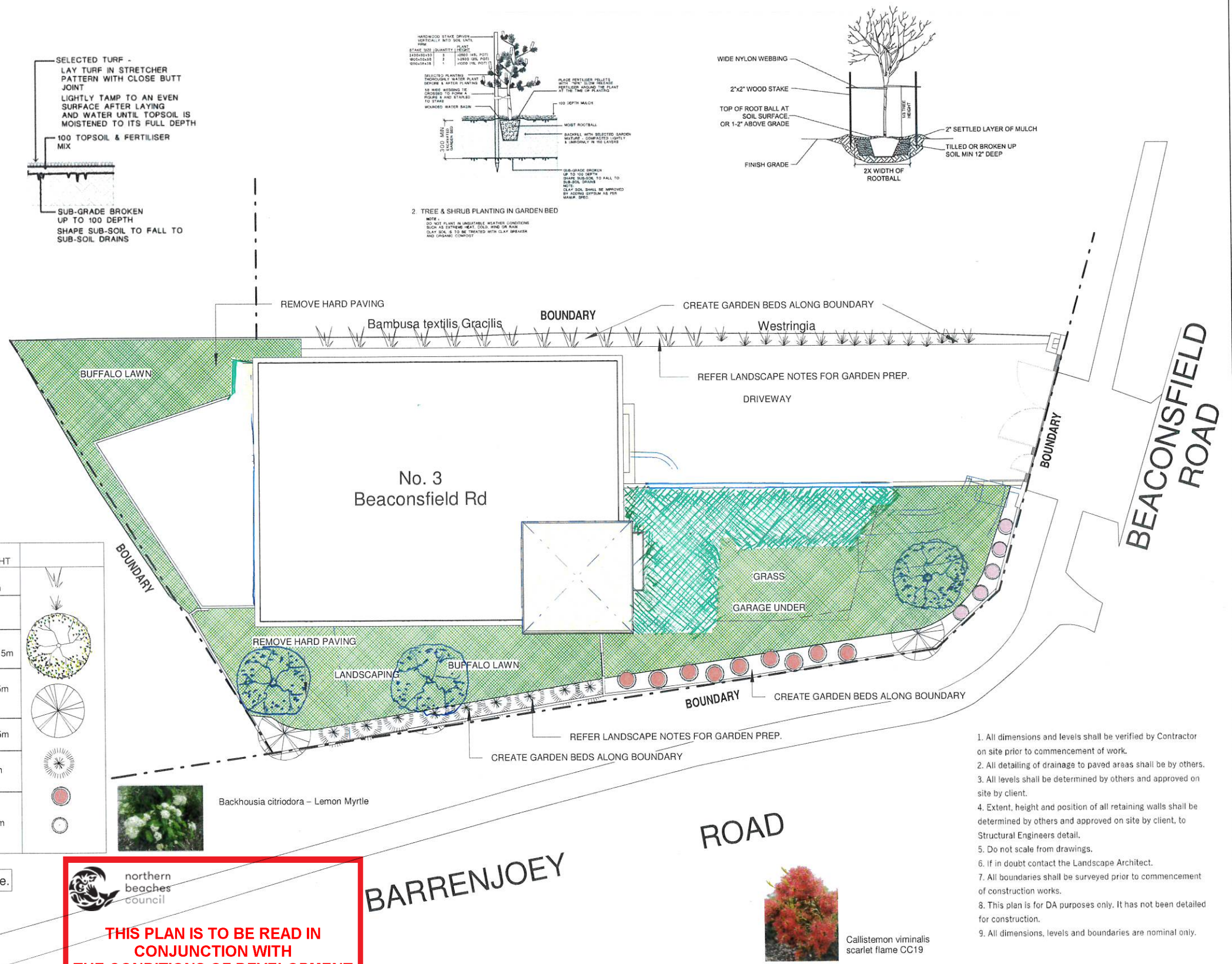
3 Ross st
Newport
e : saslandscapes@gmail.com
p : 0438 182 455

Therese Rushby
3 Beaconsfield St
Newport

LANDSCAPE CONCEPT PLAN

Project number	1619	L1-B
Date	15.08.24	
Drawn by	Author	Scale
Checked by	Checker	

1 : 200



1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
2. All detailing of drainage to paved areas shall be by others.
3. All levels shall be determined by others and approved on site by client.
4. Extent, height and position of all retaining walls shall be determined by others and approved on site by client, to Structural Engineers detail.
5. Do not scale from drawings.
6. If in doubt contact the Landscape Architect.
7. All boundaries shall be surveyed prior to commencement of construction works.
8. This plan is for DA purposes only. It has not been detailed for construction.
9. All dimensions, levels and boundaries are nominal only.



Callistemon viminalis
scarlet flame CC19

LANDSCAPE GENERAL SPECIFICATION AND NOTES

All landscape works and material supply to be in accordance with AS 4000, LCA guidelines and Occupational Health & Safety standards

All landscape works to comply with relevant Australian Standards and relevant Building Codes of Australia.

All dimensions and locations to be checked on site and confirmed by landscape site supervisor before commencement of works.

Do not scale from drawings. Dimensions take preference.

Plant schedule and quantities to be used as guide only and to be confirmed by contractor before final purchase of plants.

Final plant positions to be determined on site (by Landscape Supervisor).

REMOVAL OF NOXIOUS WEEDS: As a duty of care exists for all contractors, if a noxious weed exists onsite it should be removed after discussion with the owner or site supervisor.

ENVIRONMENTAL MANAGEMENT AND SEDIMENT CONTROL: All Landscape works to adhere with Environmental Legislation outlined in the *Protection of the Environment Operations Act 1997*, by the EPA NSW.

It is highly recommended to use Dial Before You Dig services – contact for information at www.dialbeforeyoudig.com.au or call 1100.

TREES: All trees to be staked: use 2 x hardwood 50x50mm stakes and hessian webbing. See detail.

TURF

1. Install turf rolls diagonal to the fall of the land. Roll turf following installation, and water as required. Use soft leaf Buffalo sp.

2. 50 - 70mm topsoil underlay to be used in ground preparation. Note: check pH after construction and before laying turf, adjust as required for optimum plant growth.

SOIL:

1. Contractor is to check soil pH levels two weeks prior to planting, and allow for reasonable adjustments, using lime or similar to ensure plant viability.

2. Break up existing ground surface using mattock, rotary hoe or tractor line as required.

3. Topsoil sandy loam 50mm depth to turf areas

4. Where necessary mound soil to assist in soil drainage to avoid root rot and poor plant growth.

5. Incorporate ¼ tonne organic soil mix into holes where trees are planted, using recycled leaf litter as mulch.

6. Soil quality to be Australian Native Landscape Standard.

7. Supply and install 'Garden Mix' to all garden beds incorporated into the top 300mm of existing site profile. Note: use rotary hoe as required. Do not just place on top of ground.

MULCH: Mulch to be installed to all planter beds to a depth of 75mm. Mulch type to be Recycled Leaf Litter ideally from local tree company based on more native plants than general exotics.

EDGING: See plan for locations. Top edge higher than lawn to allow garden beds to be aerated and mounded.

LIGHTING: Future plans TBA

MAINTENANCE: New plants to receive regular deep irrigation for a minimum of 12 weeks establishment period. Seasonal pruning, fertilising and pest and disease checks to be carried out. Advice by qualified horticulturalist recommended.

IRRIGATION: Drip irrigation TBA



Westringia



polygala



teucrium fruticans



Melaleuca bracteata



Banksia integrifolia fastigata



Kingsdale poa



Bambusa textilis Gracilis



Westringia longifolia 'Snow Flurry' – Coastal Rosemary

Site Area	698 sqm
Landscaping	
Existing Landscaping	233 sqm 33%
Proposed Landscaping	338 sqm 48%
Height	
Existing	12.4m
Proposed	11.3m
Setbacks	
Existing Front Set Back	14.66m
Proposed Front Set Back	6.5m
Existing Rear Set Back	0.86m
Proposed Rear Set Back	Unchanged
Existing Side Set Backs	3.19m/3.06m
Proposed Side Set Backs	2.41m/Unchanged

LIST OF PREFERRED SUPPLIERS

Alpine nurseries



The Bamboo Man (mona vale)

Green Life Turf suppliers



PLANT DETAILS / NOTES

Project number	1619	L2 - B
Date	15.08.24	
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