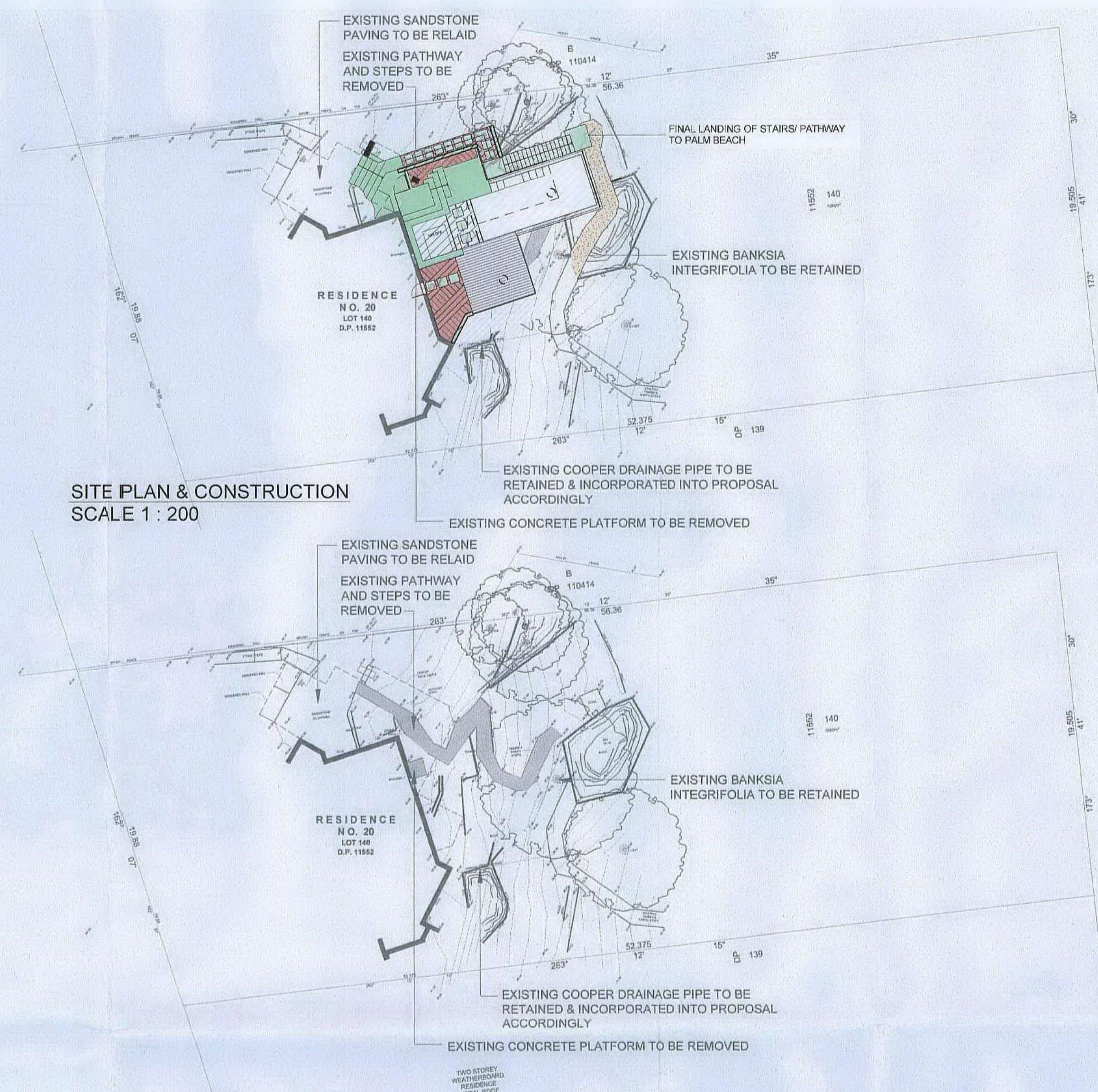


PLAN SCALE 1:100
MODIFICATIONS SECTION 96
JULY 2016

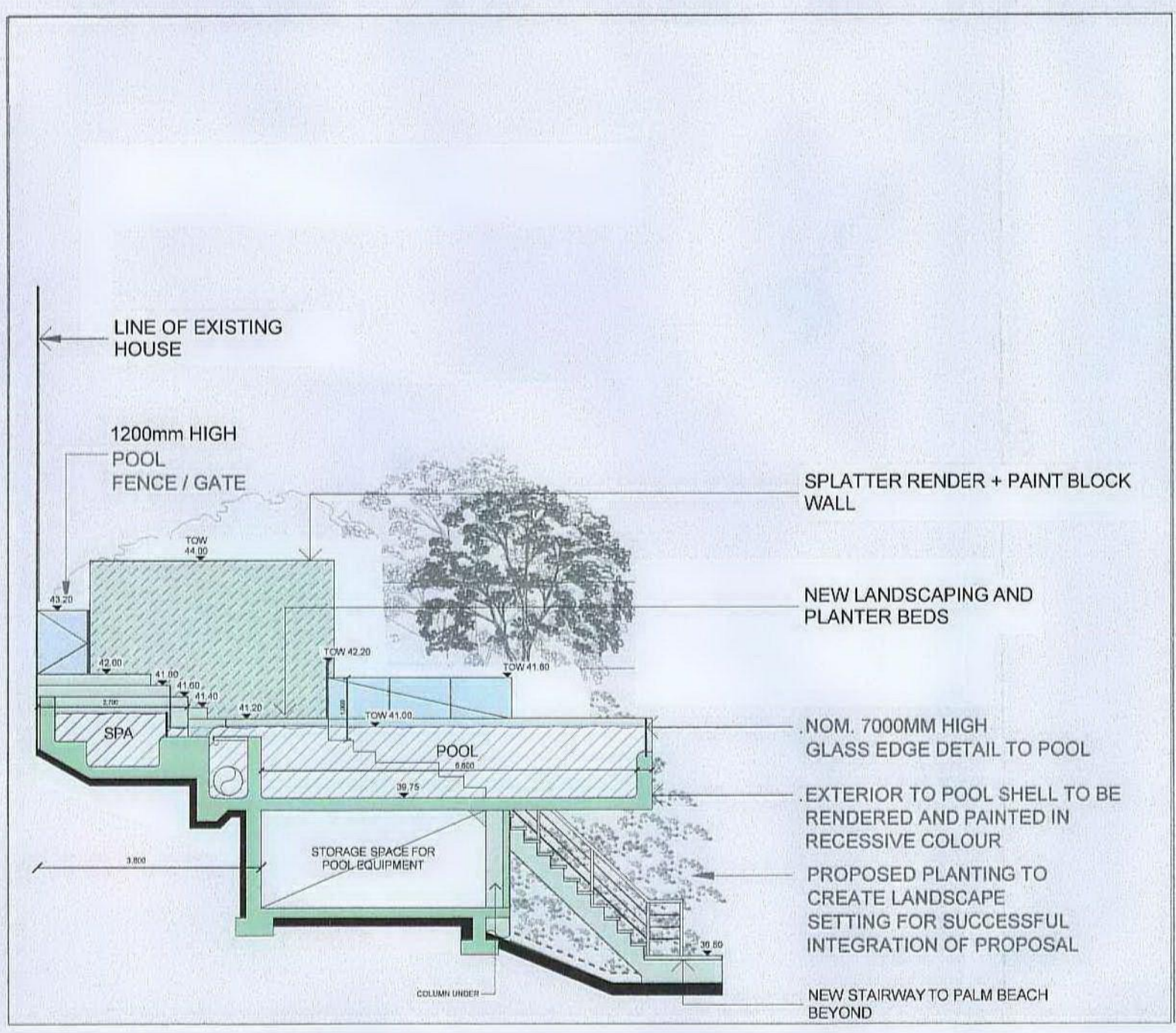


SITE PLAN & DEMOLITION SCALE 1:200

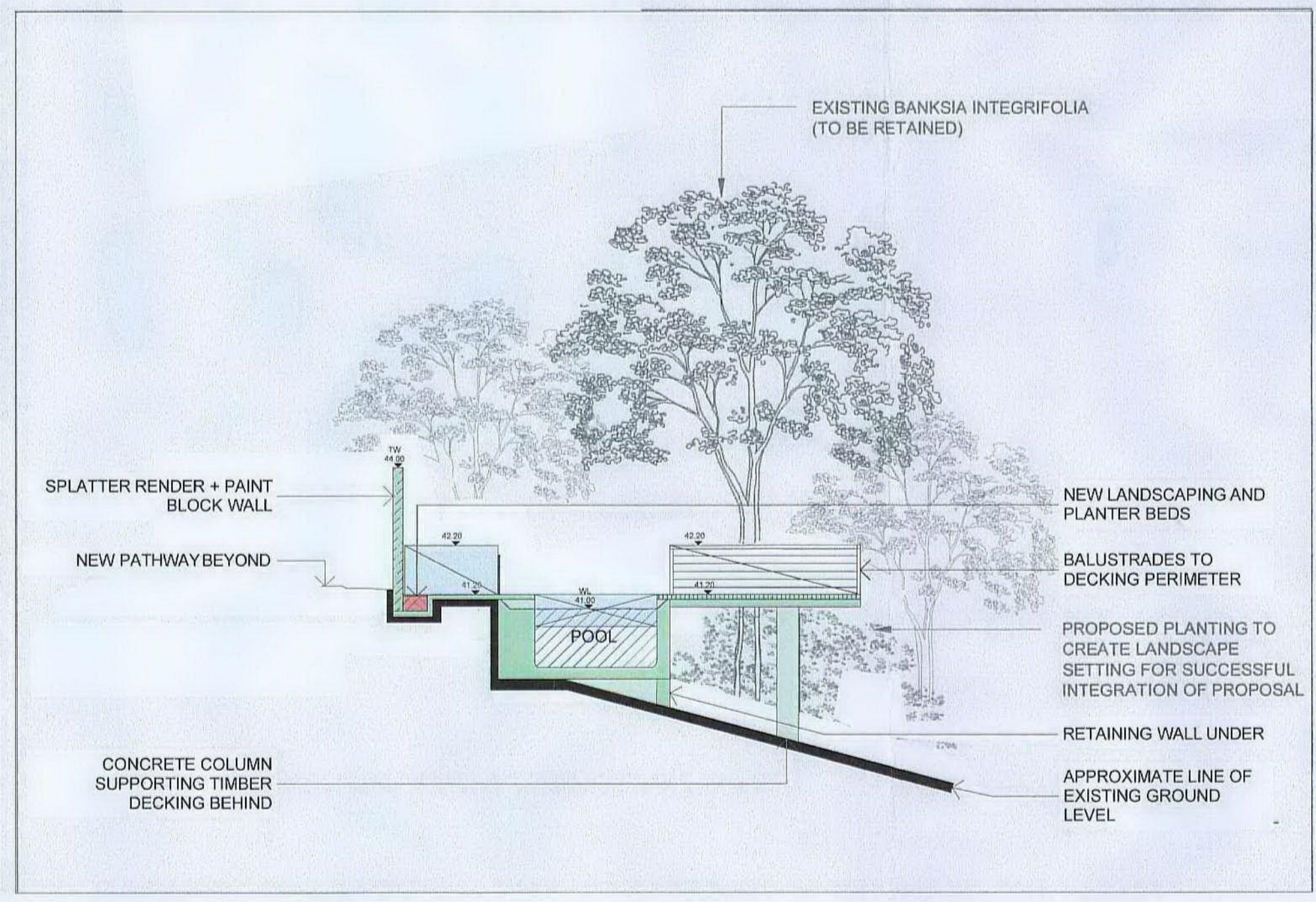
AREA CALCULATIONS
MODIFICATIONS SECTION 96, JULY 2016

Category	Area (M ²)	Percentage (%)
TOTAL AREA	1060 M ²	100 %
EXISTING HARD & BUILT UPON	328 M ²	30.94 %
EXISTING SOFT LANDSCAPE	732 M ²	69.06 %
PROPOSED HARD & BUILT UPON	374 M ²	35.28 %
PROPOSED SOFT LANDSCAPE	686 M ²	64.72 %

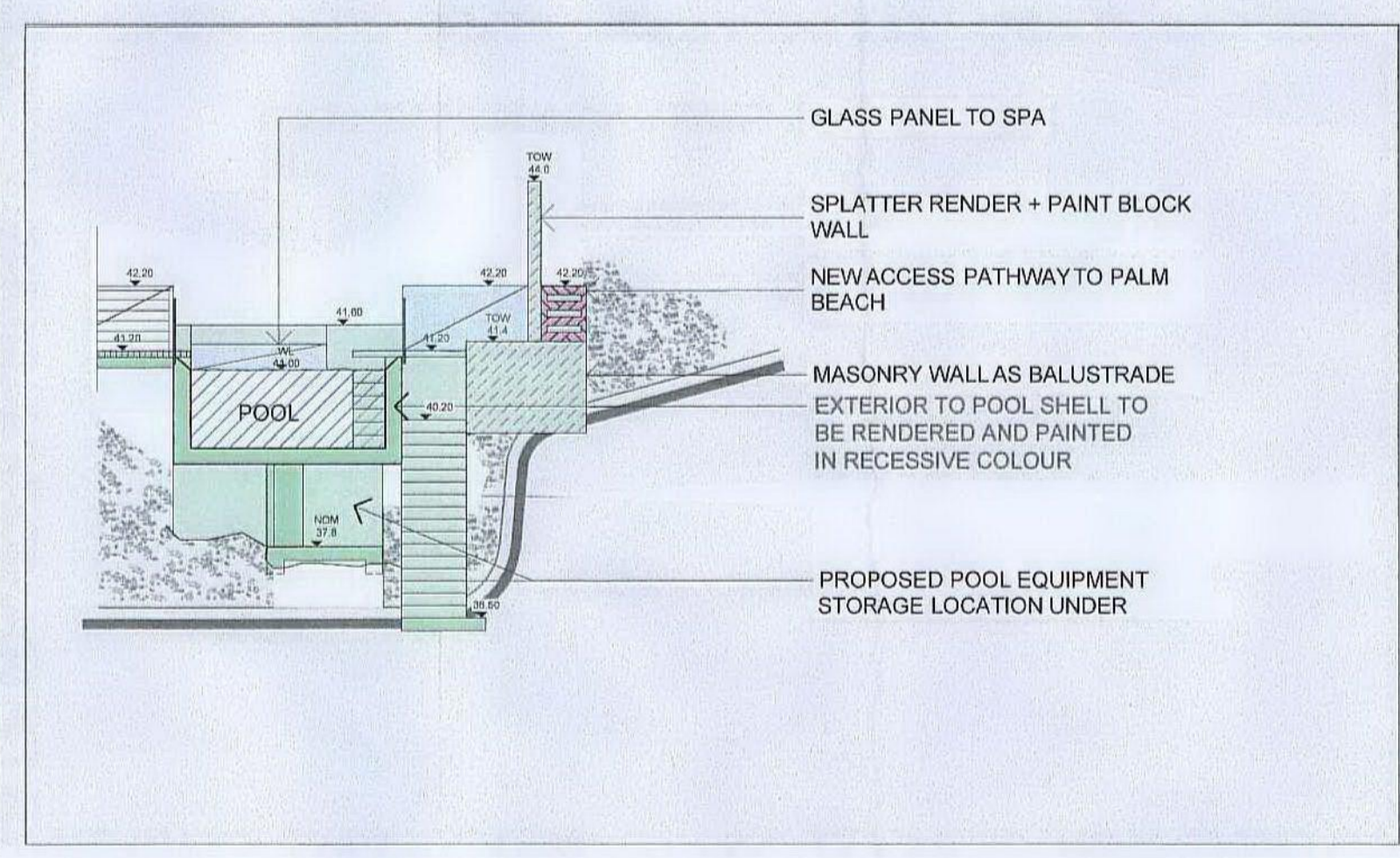
- LEGEND:**
- BENCHMARK R. L. 43.08
 - EXISTING SPOT LEVEL / PROPOSED SPOT LEVEL
 - PROPOSED SPOT LEVEL TOP OF GLASS & TOP OF BALUSTRADE
 - EXISTING TREE TO BE RETAINED
 - LINE OF ROOF OVER
 - LINE OF WALL UNDER
 - EXISTING WALLING TO BE RETAINED (TW=TOP OF WALL)
 - PROPOSED MASONRY WALLING (TW=TOP OF WALL)
 - SPLATTER RENDERED + PAINT 200 BLOCK WALL (TOW = TOP OF WALL)
 - PROPOSED RANDOM SANDSTONE PAVED AREA
 - TIMBER DECKING ON STEEL SUPPORT FRAME
 - GARDEN AREA
 - MULCHED PATHWAY
 - POOL FENCING
 - PROPOSED SAFETY BALUSTRADE (NOM. 1000MM HIGH)
 - WATER
 - REMOVED PARTS OF DA
 - EXTENT OF PROPOSED WORKS (FOREGROUND)
 - EXTENT OF PROPOSED WORKS (BACKGROUND)
 - NEW ACCESS PATHWAY TO PALM BEACH
 - GREYSCALE - NO CHANGES FROM APPROVED APPLICATION AUG 2015 S96 NO282/14/595/1



SECTION A-A SCALE 1:100 (DIAGRAMATIC ONLY)



SECTION B-B SCALE 1:100 (DIAGRAMATIC ONLY)



SECTION C-C SCALE 1:100 (DIAGRAMATIC ONLY)

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT...

THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.

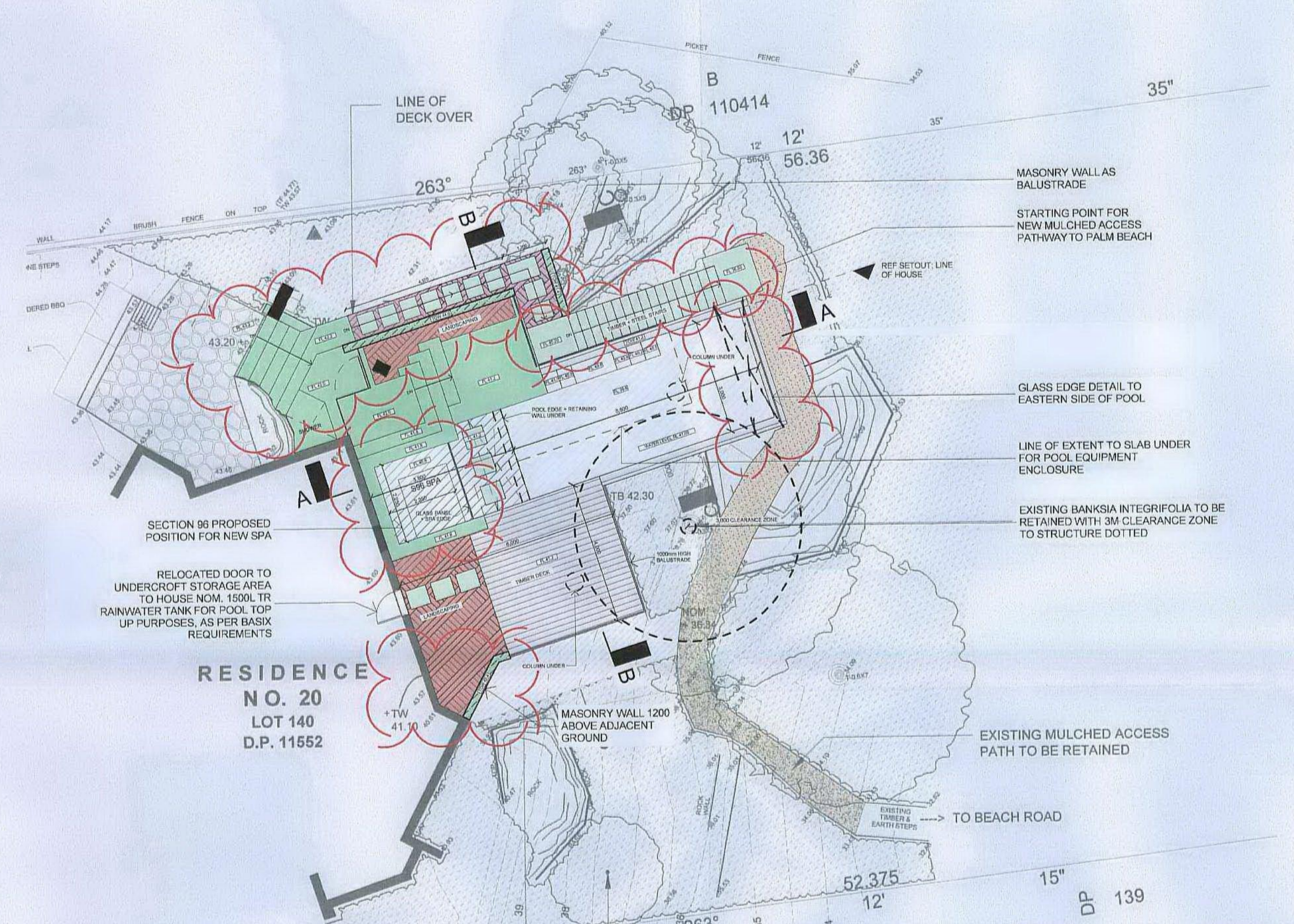
REV	DESCRIPTION OF CHANGE	DRAWN	CHECK	DATE	REV	DESCRIPTION OF CHANGE	DRAWN	CHECK	DATE
A	CONSTRUCTION DOCUMENTATION SET	KK	JD	15/07/16					
B	PL AND MATERIAL AMENDMENTS	KK	JD	26/09/16					
C	SCHEDULE OF CHANGES UPDATED	KK	JD	21/09/16					
D	FURTHER DIMENSIONS REQUESTED	KK	JD	07/10/16					

CLIENT	ARCHITECTS	PROJECT	DRAWING TITLE
MR JOHN AND MRS JENNIFER DAUBNEY	RICE DAUBNEY	POOL AND SPA CONSTRUCTION DOCUMENTATION	MASTERPLAN
20 Sunrise Road, Palm Beach, NSW, 2108	Level 1, 110 Walker Street, North Sydney NSW 2060, Australia P: 02 9550 2611 M: 02 9550 2666 h@ricedaubney.com h@ric.com The Rice Daubney Group (NSW) Pty Ltd is a member of The Rice Daubney Trading Trust john.daubney@ricedaubney.com	20 SUNRISE ROAD PALM BEACH, NSW, 2108	

SCALE	DRAWN	CHECKED
AS SHOWN	KK	JD
PROJECT NUMBER	DRAWING NUMBER	ISSUE
N/A	S-96 05	D

LEGEND:

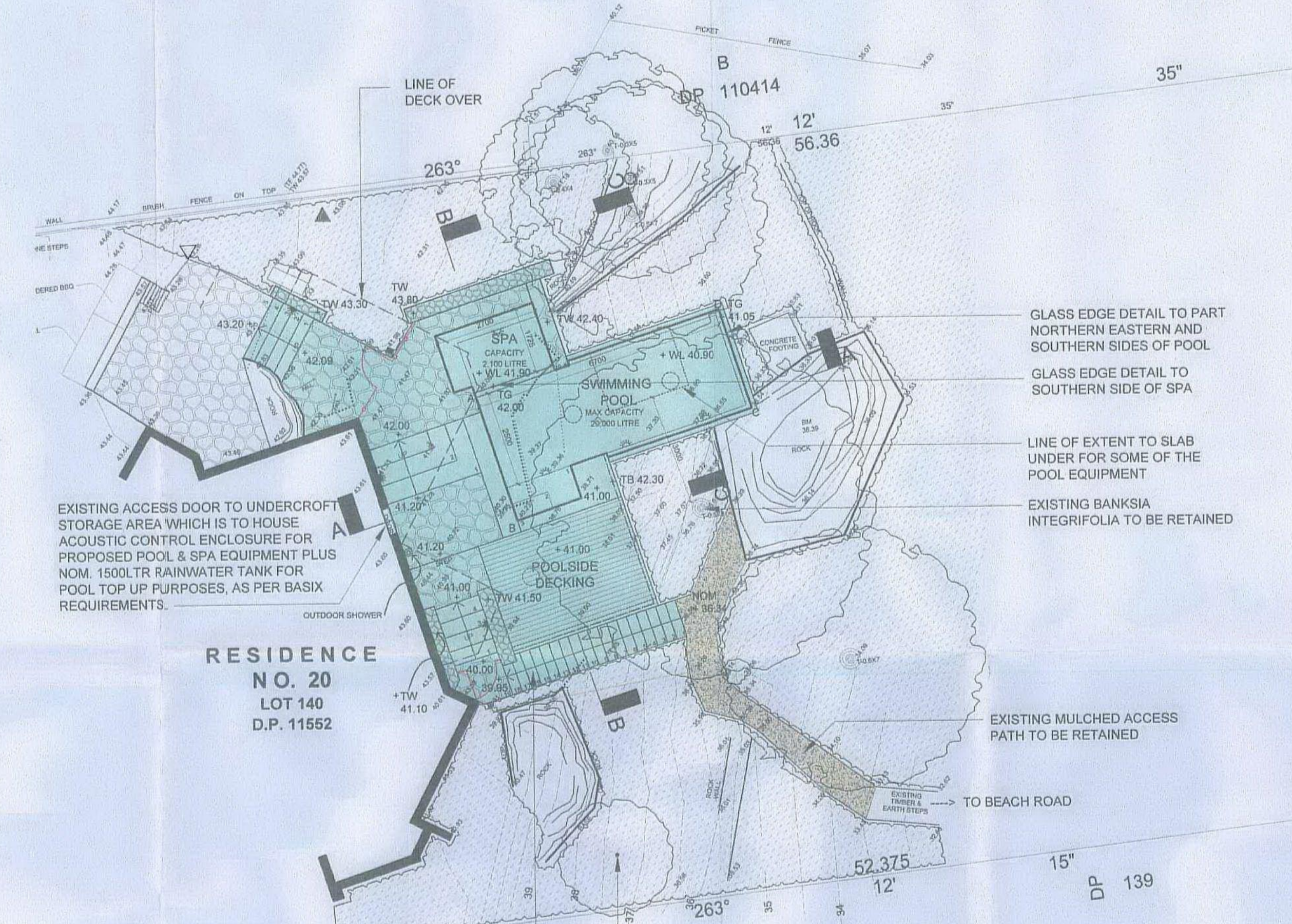
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	EXISTING TREE TO BE RETAINED
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	MULCHED PATHWAY
	POOL FENCING
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	WATER
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	EXTENT OF PROPOSED WORKS (FOREGROUND)
	EXTENT OF PROPOSED WORKS (BACKGROUND)
	NEW ACCESS PATHWAY TO PALM BEACH
	GREYSCALE = NO CHANGES FROM APPROVED APPLICATION AUG 2015 S96 NO282/14/595/1



PLAN SCALE 1:100
MODIFICATIONS SECTION 96
JULY 2016

SCHEDULE OF AMENDMENTS TO APPROVED APPLICATION AUG 2015 S96 NO282/14/595/1

1. RELOCATION OF THE SPA TO THE WEST SIDE OF THE POOL FROM THE NORTH SIDE.
2. RELOCATION OF ACCESS TO THE LOWER SITE LEVELS TO THE NORTH SIDE OF THE POOL FROM THE SOUTH SIDE AND ASSOCIATED LANDSCAPE WORKS.
3. REDUCTION OF GLASS EDGES TO THE POOL: NOW EAST SIDE ONLY.
4. POOL INCREASED IN LENGTH FROM 6700 TO 6800mm AND MOVED 900mm TO EAST. OVERALL WIDTH AT EASTERN END INCREASED TO 3000mm.



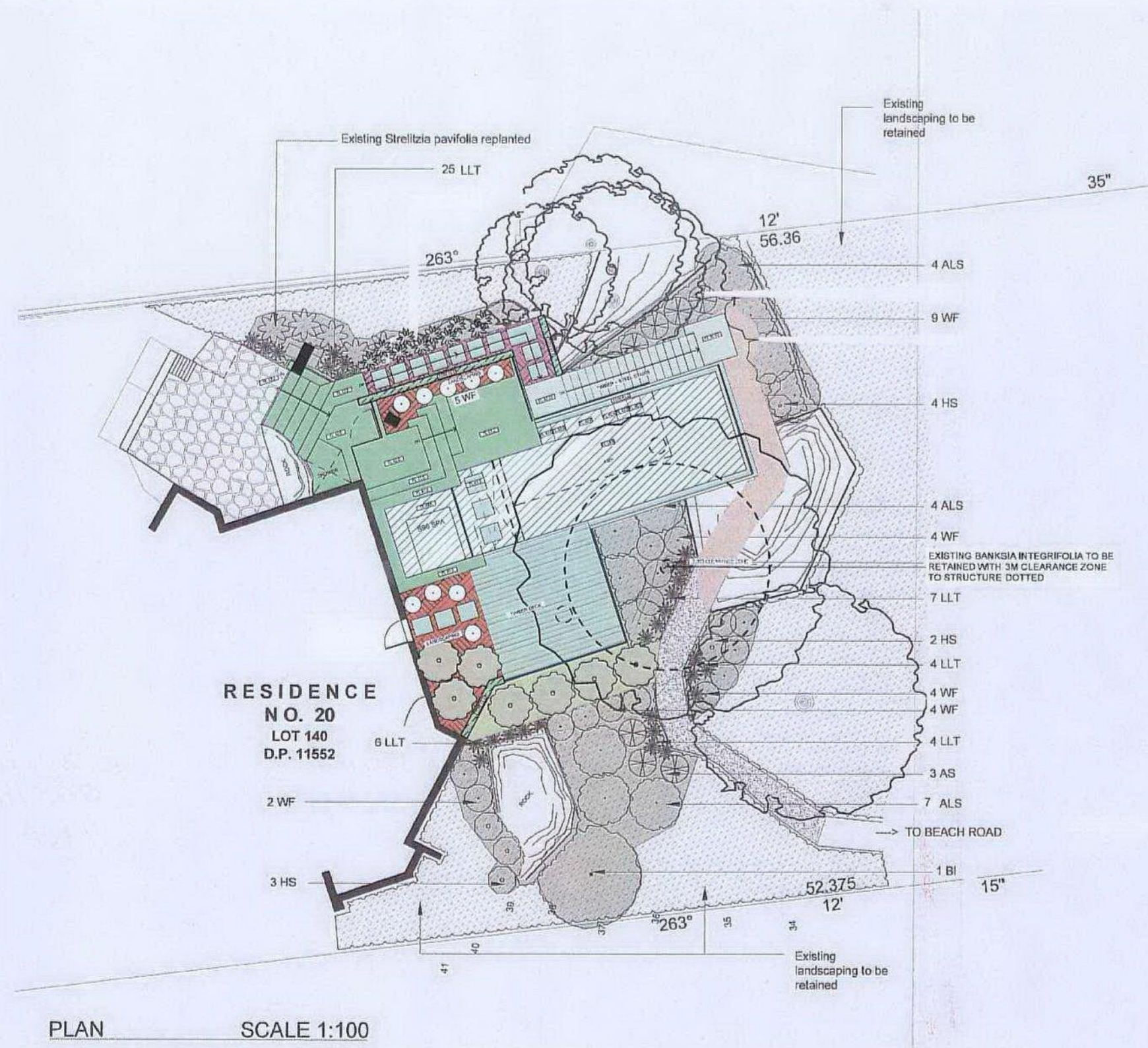
PLAN SCALE 1:100
APPROVED SECTION 96
AUGUST 2015

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.

<table border="1"> <tr> <th>REV</th> <th>DESCRIPTION OF CHANGE</th> <th>DRAWN</th> <th>CHECK</th> <th>DATE</th> <th>REV</th> <th>DESCRIPTION OF CHANGE</th> <th>DRAWN</th> <th>CHECK</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	REV	DESCRIPTION OF CHANGE	DRAWN	CHECK	DATE	REV	DESCRIPTION OF CHANGE	DRAWN	CHECK	DATE											<p>NORTH POINT</p>	<p>CLIENT</p> <p>MR JOHN AND MRS JENNIFER DAUBNEY</p> <p>20 Sunrise Road, Palm Beach, NSW, 2108</p> <p>ARCHITECTS</p> <p>RICE DAUBNEY</p> <p>Level 1, 110 Walker Street, North Sydney NSW 2060, Australia +61 2 9956 2668 info@ricedaubney.com ricedaubney.com The Rice Daubney Group (NSW) Pty Ltd is a trustee for The Rice Daubney Trading Trust ABN 56 880 3054 993</p>	<p>PROJECT</p> <p>POOL AND SPA CONSTRUCTION DOCUMENTATION</p> <p>20 SUNRISE ROAD PALM BEACH, NSW, 2108</p>	<p>DRAWING TITLE</p> <p>S96 RERENCE PLANS - AUGUST 2015 - JULY 2016</p>	<p>SCALE:</p> <p>AS SHOWN</p>	<p>DRAWN:</p> <p>KK</p>	<p>CHECKED:</p> <p>JD</p>
	REV	DESCRIPTION OF CHANGE	DRAWN	CHECK	DATE	REV	DESCRIPTION OF CHANGE	DRAWN	CHECK	DATE																	
<p>PROJECT NUMBER:</p> <p>N/A</p>	<p>DRAWING NUMBER:</p> <p>S-96 06</p>	<p>ISSUE:</p> <p>B</p>																									



PLAN SCALE 1:100

NOTE:

PLANTS ARE LIVING ORGANISMS. IF THEY ARE MAINTAINED IN A HEALTHY CONDITION THEY SHALL CONTINUE TO GROW. IT WILL THEREFORE BE NECESSARY TO REGULARLY MONITOR THE GROWTH OF THE PLANTS SO THAT THEY CAN BE PRUNED OR OTHERWISE ATTENDED TO SO THAT THEY DO NOT OUTGROW THEIR ALLOTTED SPACE.

EXACT LOCATION OF SITE BOUNDARIES ARE TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORK.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS. ALL DIMENSIONS AND LEVELS SHALL BE VERIFIED BY CONTRACTOR ON SITE. CONTRACTOR SHALL OBTAIN LANDSCAPE ARCHITECT'S WRITTEN APPROVAL OF INITIAL PLANT SETOUT PRIOR TO COMMENCEMENT OF WORK. IF IN DOUBT, CONTACT LANDSCAPE ARCHITECT.

ANY BATTER GREATER THAN 1 IN 3 SHALL BE STABILISED BY APPROVED GEOTEXTILE OR OTHER EROSION CONTROL MEASURE, TO SATISFACTION OF LANDSCAPE ARCHITECT.

FINAL PLANT SIZES MAY BE ADJUSTED AS NECESSARY TO SUIT AVAILABILITY OF PLANT SPECIES AT TIME OF IMPLEMENTATION AND FINAL PROJECT BUDGET.

SHOULD PROPOSED TREE LOCATION HAVE THE POTENTIAL TO INTERFERE WITH EXISTING OR PROPOSED UTILITIES, CONTRACTOR SHALL ADVISE LANDSCAPE ARCHITECT AND AWAIT INSTRUCTIONS PRIOR TO PROCEEDING.

PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR SHALL CONFIRM EXTENT OF EXISTING PLANT MATERIAL TO BE TRANSPLANTED AND ASSESS EXISTING SOIL CONDITION WITH LANDSCAPE ARCHITECT. EXTENT OF SOIL PREPARATION WORKS SHALL BE CONFIRMED THEREAFTER.

ALL PLANT SET OUTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORKS.

ALL GARDEN AREAS SHALL BE MULCHED ON COMPLETION OF PLANTING WORKS WITH APPROVED MULCH.

MULCH SHALL BE EQUAL TO 75 mm DEPTH OF 'FOREST FINES' MULCH (AS AVAILABLE FROM ANL).

ALL LEVELS HAVE BEEN BASED ON SURVEY PREPARED BY CHASE BURKE & HARVEY, 26 MAY 2014.

LEGEND:

- EXISTING LANDSCAPING TO BE RETAINED
- EXTENT OF PROPOSED PLANTING

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE COUNCIL DEVELOPMENT CONSENT PLANS

THIS APPROVAL DOES NOT AUTHORISE ANY PLANTING SCHEDULE IN ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.



SYMBOL	BOTANIC NAME	COMMON NAME	QTY	CONTAINER SIZE	PLANT AT CENTRES
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TREES					
BI	<i>Banksia integrifolia</i>	Coast Banksia	1	75 Litre	AS SHOWN

SHRUBS					
ALS	<i>Acacia longifolia</i> var <i>sophorae</i>	Coast Wattle	15	25 LITRE	1400 mm
AS	<i>Acacia suaveolens</i>	Sweet Wattle	3	200 mm	800 mm
SAR	<i>Syzygium australe</i> 'Resilience'	Lilybilly	5	25 LITRE	1400 mm
WF	<i>Westringia frutescens</i>	Coastal Rosemary	23	200 mm	600 mm

GROUNDCOVERS					
HS	<i>Hibbertia scandens</i>	Snake Vine	9	150 mm	500 mm
LLT	<i>Lomandra longifolia</i> 'Tanki'	Mat Rush	40	150 mm	500 mm

CLIENT MR JOHN AND MRS JENNIFER DAUBNEY <small>22 Sunstar Road, Palm Beach, NSW, 2108</small>	ARCHITECTS RICE DAUBNEY <small>Level 1, 110 Walker Street, North Sydney NSW 2060, Australia +61 2 9556 2646 info@ricedaubney.com www.ricedaubney.com The Rice Daubney Group (Pty) Ltd is a trustee for The Rice Daubney Trust ABN 56 800 304 993</small>	PROJECT POOL AND SPA 20 SUNRISE ROAD PALM BEACH, NSW, 2108 SECTION 96 APPLICATION	DRAWING TITLE LANDSCAPE PLANTING PLAN	SCALE AS SHOWN	DRAWN KK	CHECKED JP
				PROJECT NUMBER N/A	DRAWING NUMBER S-96 04	ISSUE A

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