



Location Plan/Satellite Imagery

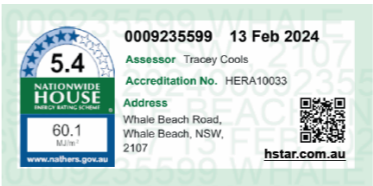
| Thermal Comfort Specifications | |
|----------------------------------|---|
| Glazing Doors/windows/clerestory | Glazing Doors/Windows: Louvered windows, or louvered windows combined with fixed glazing, or louvered windows combined with sliding windows: U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) All other windows/glazed doors: U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%) Given values are AFRC, total window system values (glass and frame) |
| Roof and ceilings | Plywood roofing with membrane Plasterboard ceiling with R4.0 insulation (insulation value only) where roof is above excluding Garage Plasterboard ceiling with R2.5 insulation to Garage ceiling where habitable rooms above. External Colour: Dark (SA>0.7) |
| External Walls | Lightweight cladding on framed walls with R2.5 insulation(insulation value only) Cavity wall (90mm external concrete block/50mm air gap/190mm core-filled) with Kingspan K8 cavity board insulation to all other walls. Or minimum Total system to achieve R value of R2.10. No insulation required to external Garage walls External Colour: Medium (0.475<SA<0.7) |
| Internal walls | Single skin brick with R2.0 insulation only required to walls between garage and habitable areas Cavity wall (90mm external concrete block/50mm air gap/190mm core-filled) with Kingspan K8 cavity board insulation to all other walls. Or minimum Total system to achieve R value of R2.10. |
| Floors | Concrete slab on ground, no insulation required Suspended concrete with R1.5 insulation (insulation only value) to open suspended areas Concrete between levels, no insulation required where habitable rooms are above and below Floor coverings: Tiles to entry, hall and wet areas, timber to gallery/loft and polished concrete elsewhere |
| External Shading | Covered Porch and Alfresco. Eaves as per stamped plans |
| BASIX Water Commitments | |
| Fixtures | Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom |
| Alternative Water | Install rainwater tank, minimum 3,200 L capacity collected from min. 186 m² roof area. Tank connected to – At least one outdoor tap, laundry and toilets |
| BASIX Energy Commitments | |
| Hot water System | Gas |
| Cooling system | Ceiling fans and 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 |
| Heating system | 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 |
| Ventilation | Kitchen, bathroom and laundry – Individual fan, externally ducted to roof or façade, manual on/off switch |
| Other | Induction cooktop & electric oven Outdoor clothes drying line |
| Alternative energy | Minimum 1kW photovoltaic/solar system |

written Construction Specification

All accompanying consultants drawings listed in the Construction Specification are to be read in conjunction with the Architectural Drawings and Consultants Reports

Standards Compliance

BASIX Notes



| RevID | ChID | Change Name | Date |
|-------|------|-------------|----------|
| 01 | | | 8/3/2021 |
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studio_deCARTA



Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530
Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

Drawn: AdeC
Plot Date: 20/10/2023
Project NO.: WBR0002
Project Status: SECTION 4.55 MODIFICATION
Client: Celia Hooper
Site: 266 WHALE BEACH ROAD
WHALE BEACH NSW 2107

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by studio_decarta and is to be used only for work when authorised in writing by studio_decarta

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DRAWING : **MOD A Plans**
Site Location Plan | BASIX

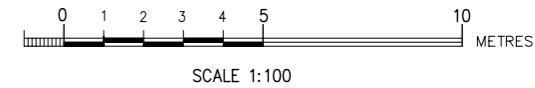
PROJECT : **266 WHALE BEACH ROAD**

REVISION NO.

01

DRAWING NO.

S4.55 001



ROAD

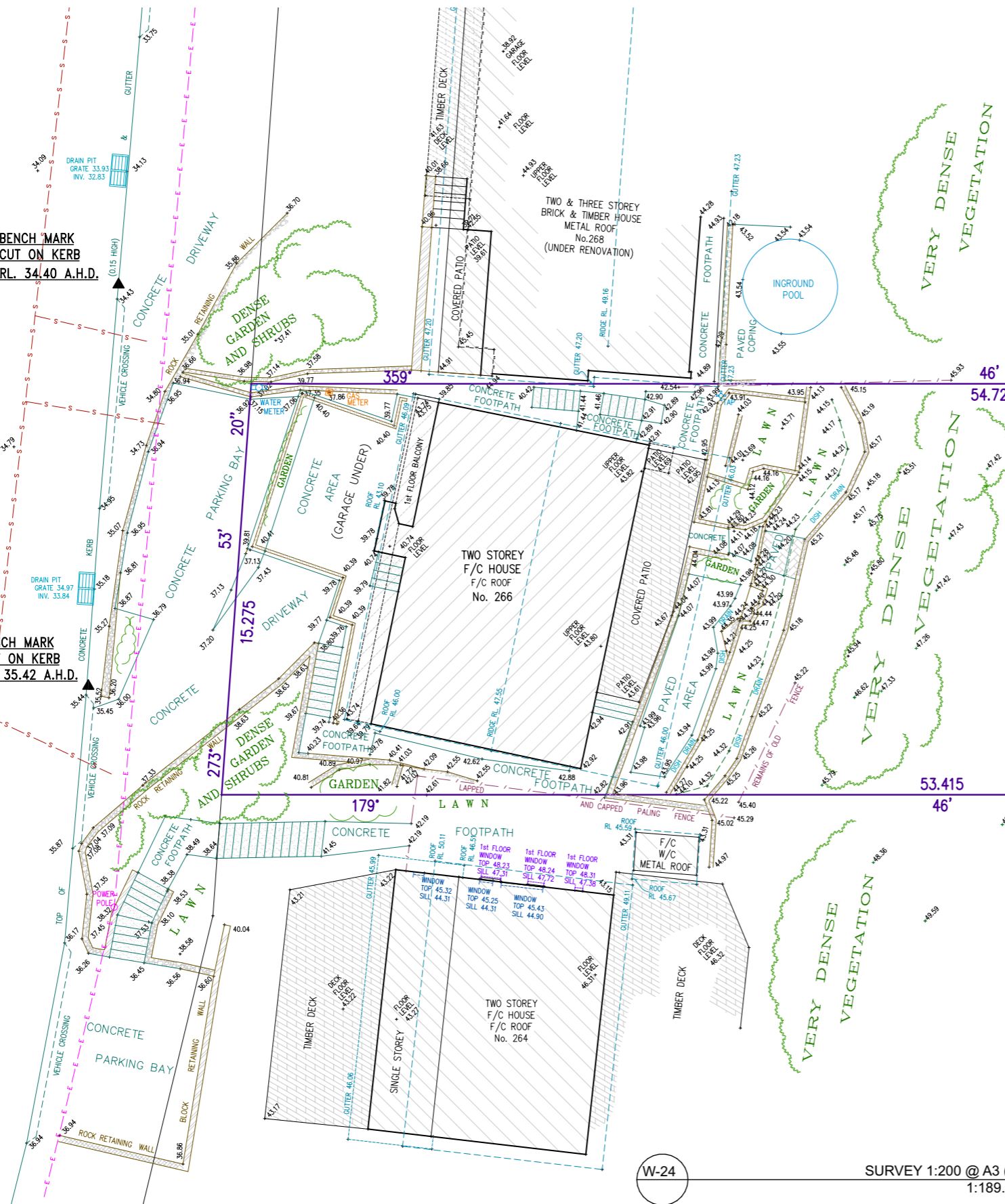
BENCH MARK
CUT ON KERB
RL. 34.40 A.H.D.

BEACH

BENCH MARK
CUT ON KERB
RL. 35.42 A.H.D.

WHALE

SEWER
ACCESS
CHAMBER



220

D.P. 15376

221

D.P. 15376

TOTAL
SITE AREA
823.8m²

222

D.P. 15376

380
D.P. 196

381
D.P. 1965

NOT SURVEYED

IN THIS AREA



NOTES:

- 1) CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- 2) ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE AT THE LAND TITLES OFFICE AND ARE SUBJECT TO FINAL SURVEY
- 3) ORIGIN OF LEVELS ON AHD IS TAKEN FROM PM 6902 RL 51.412 A.H.D.
- 4) SPOT LEVELS ARE ACCURATE.
- 5) BEARINGS SHOWN ARE ON I.S.G.—(APPROXIMATE TRUE NORTH)

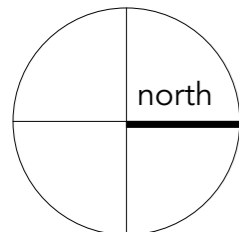
NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:
— CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
— INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
— LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
— CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
— CUT OFF EMERGENCY SERVICES
— DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.
TEL. 1100

SURVEY BY : BEE AND LETHBRIDGE PTY LTD



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Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

Drawn: AdeC
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Project NO.: WBR0002
Project Status: SECTION 4.55 MODIFICATION
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WHALE BEACH NSW 2107

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DRAWING :

S4.55 Plans
Survey 1:200@A3

PROJECT :

266 WHALE BEACH ROAD

REVISION NO.

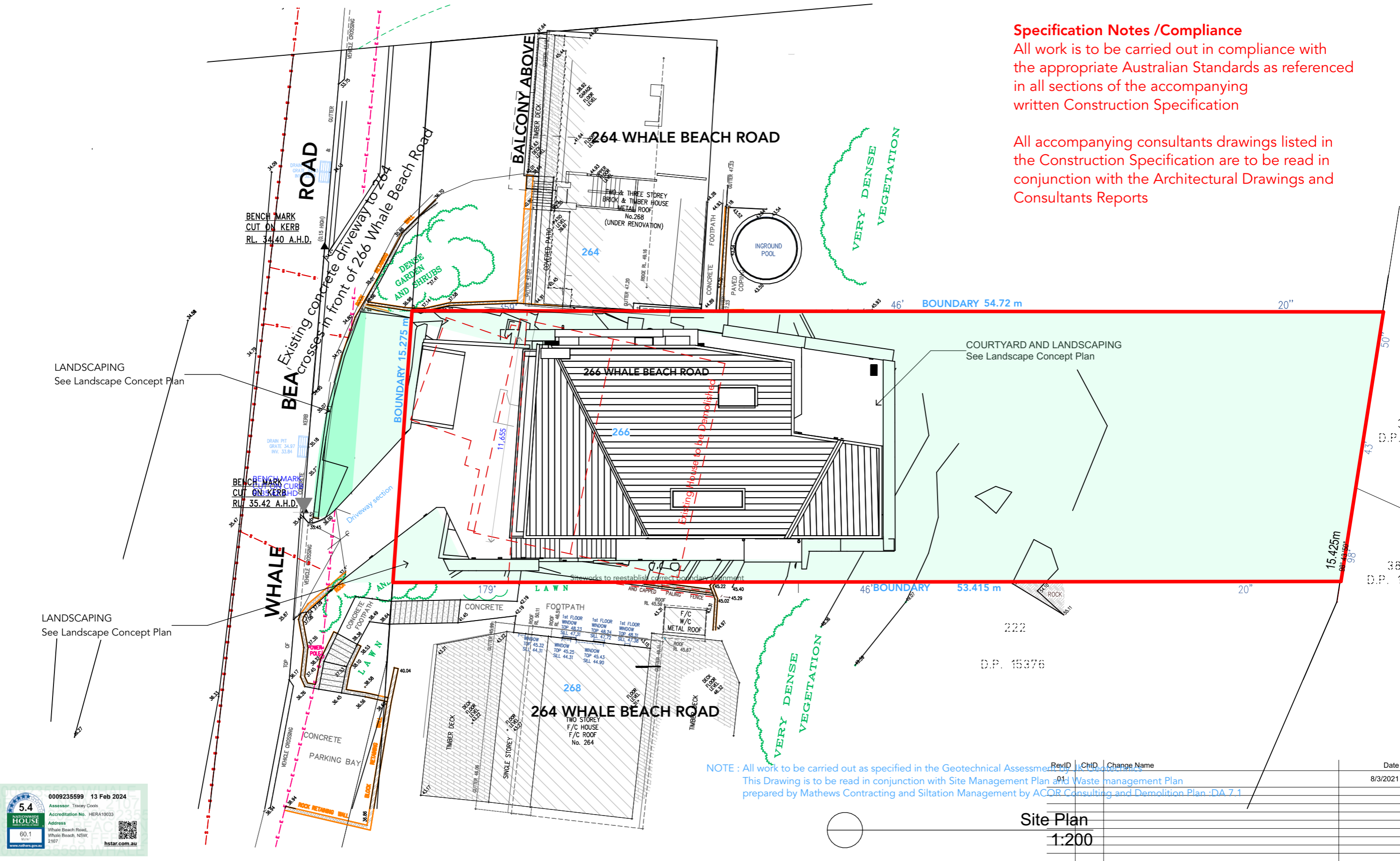
01

DRAWING NO.

S4.55 003

Specification Notes /Compliance
All work is to be carried out in compliance with the appropriate Australian Standards as referenced in all sections of the accompanying written Construction Specification

All accompanying consultants drawings listed in the Construction Specification are to be read in conjunction with the Architectural Drawings and Consultants Reports

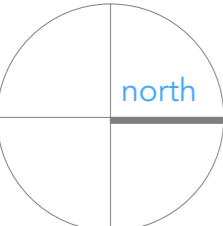


NOTE : All work to be carried out as specified in the Geotechnical Assessment by JK Consultants
This Drawing is to be read in conjunction with Site Management Plan and Waste management Plan
prepared by Mathews Contracting and Siltation Management by ACOR Consulting and Demolition Plan :DA 7.1

Site Plan

1:200

| RevID | ChID | Change Name | Date |
|-------|------|-------------|----------|
| 01 | | | 8/3/2021 |
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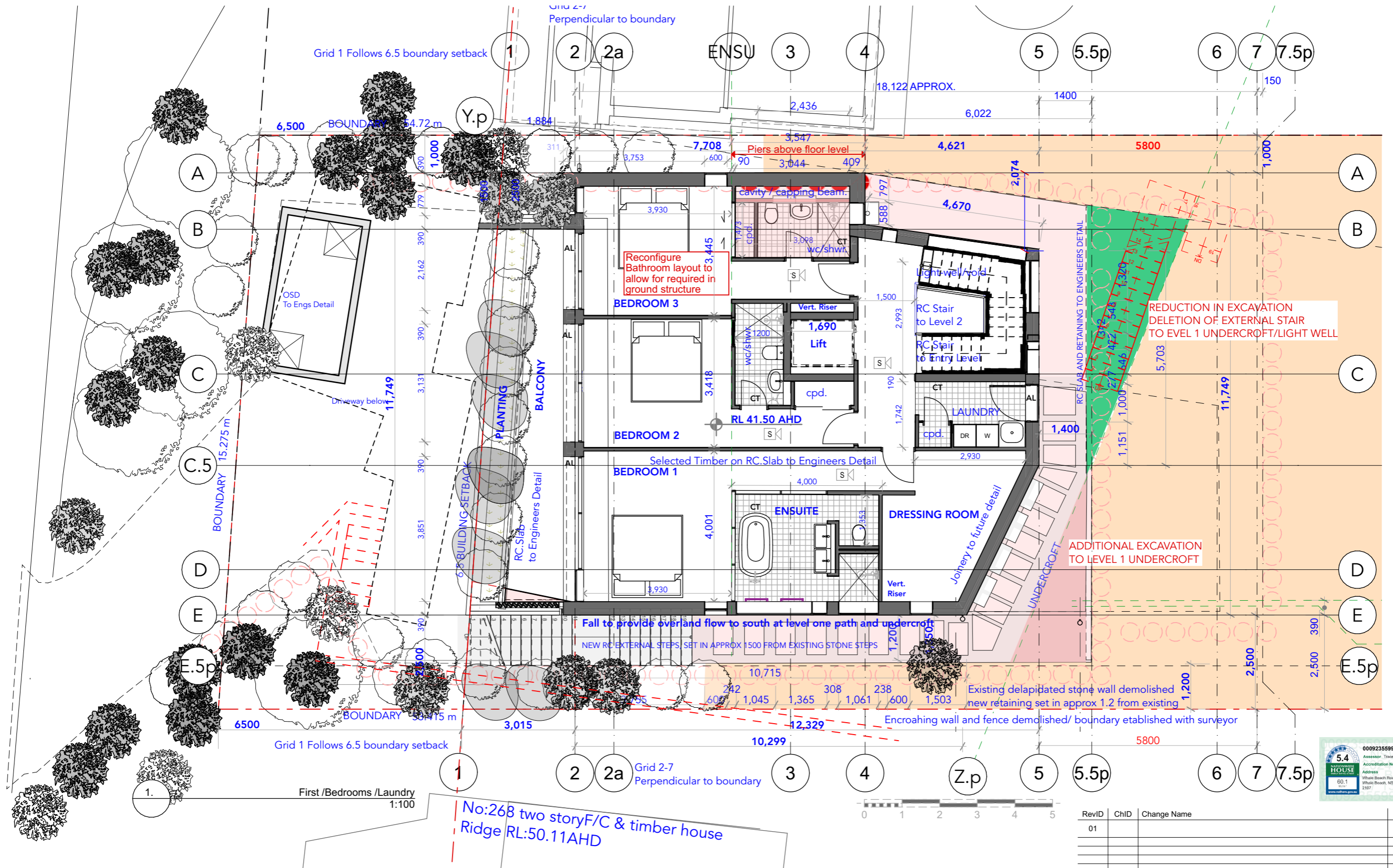
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WHALE BEACH NSW 2107

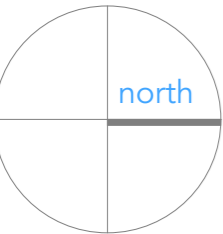
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DRAWING : S4.55 Plans
Site Plan
REVISION NO. 01
DRAWING NO. 266 WHALE BEACH ROAD
S4.55 004



| RevID | ChID | Change Name | Date |
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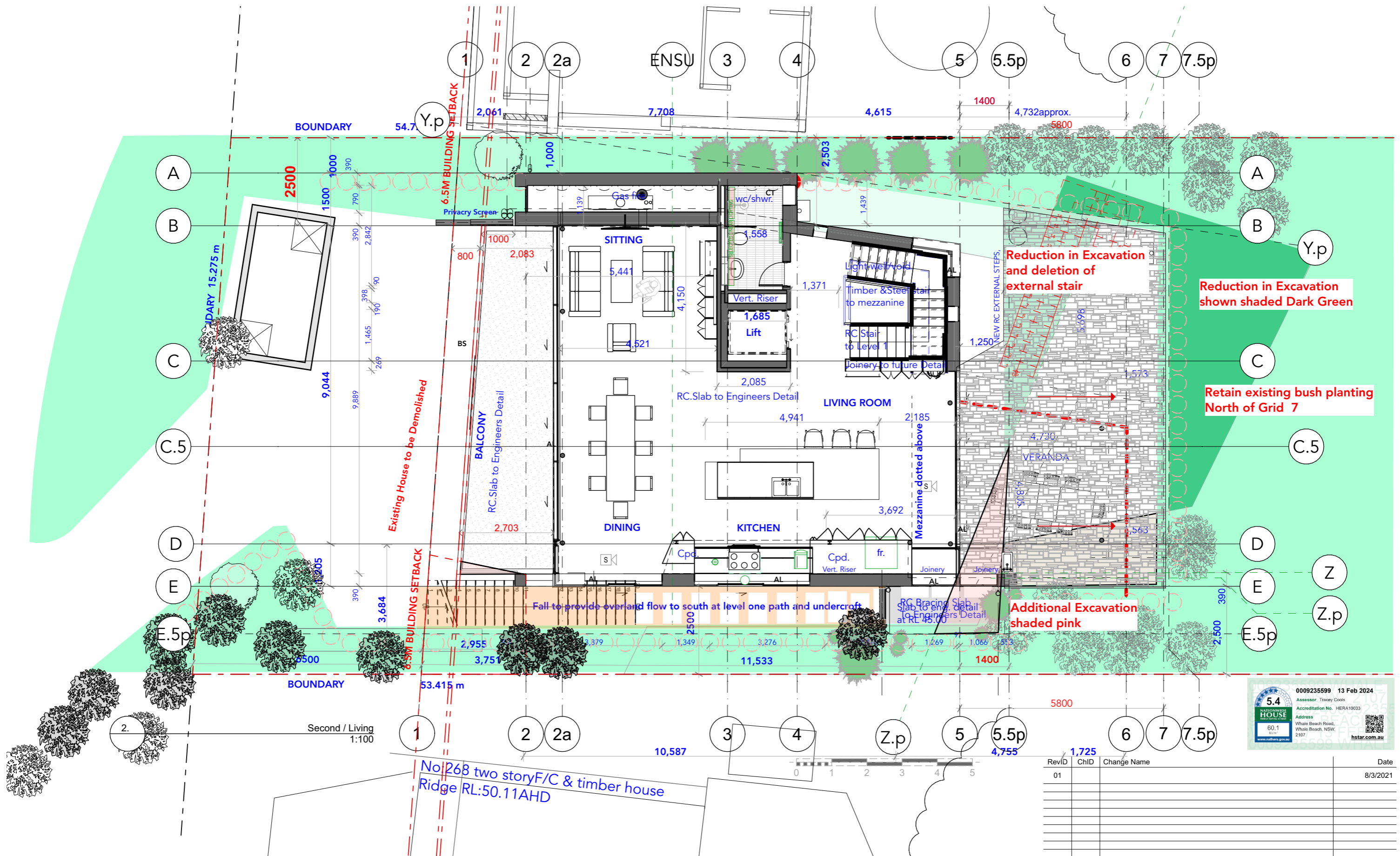


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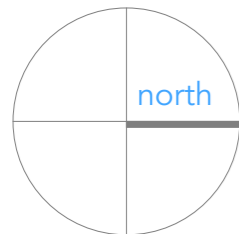
Drawn: AdeC
Plot Date: 19/9/2023
Project NO.: WBR0002
Project Status: SECTION 4.55 MODIFICATION
Client: Celia Hooper
Site: 266 WHALE BEACH ROAD WHALE BEACH NSW 2107

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DRAWING : **S4.55 Plans**
First Floor
PROJECT : **266 WHALE BEACH ROAD**
REVISION NO. **01**
DRAWING NO. **S4.55 101**



| RevID | ChID | Change Name | Date |
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Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

Drawn: AdeC
Plot Date: 19/9/2023
Project NO.: WBR0002
Project Status: SECTION 4.55 MODIFICATION
Client: Celia Hooper
Site: 266 WHALE BEACH ROAD
WHALE BEACH NSW 2107

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DRAWING :

S4.55 Plans
Second Floor ALT

PROJECT :

266 WHALE BEACH ROAD

REVISION NO.

01

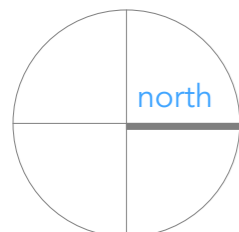
DRAWING NO.

S4.55 102

All work is to be carried out in compliance with the appropriate Australian Standards as referenced in all sections of the accompanying written Construction Specification

MATERIALS & FINISHES LEGEND

- | | |
|-------|---|
| MR | -1.2mm DOVE GREY SARNAFIL ROOF SYSTEM ON 18mm PLY SUBSTRATE SCREW FIXED TO MANUFACTURER'S SPECIFICATIONS |
| AL | -LIGHT COMMERCIAL ALUMINIUM WINDOW FRAME SQUARE EDGED GLAZING BEAD, NATURAL ANODISED FINISH, CLEAR GLASS GLAZING TO BASIX SPECIFICATION |
| HS | -HARDWOOD TIMBER SCREENS- NATURAL OIL FINISH |
| RH | -RAINWATER HEAD WITH 50mm O/FLOW |
| CB | -CONCRETE BLOCK MASONRY - HONED FINISH- CAVITY CONSTRUCTION WITH CAVITY INSULATION BOARD TO BASIX SPECIFICATION |
| BK | -SELECTED COMMON BRICKWORK, ACRYLIC RENDER +PAINT FINISH |
| BS | -BALUSTRADE S.S & GLASS. ARCHITECTURAL RIGGING WITH TIMBER HANDRAIL |
| GD | -SELECTED SECTIONAL GARAGE DOOR |
| TF | -90mm STUD FRAMED WALL |
| TP | -SELECTED 20mm TERRACE PAVING STONE ON MORTAR BED TO FALLS OVER CONCRETE SLAB SUBSTRATE |
| CC | -CONCRETE CAVITY FILLED MASONRY WALL TO ENGINEERS DETAILS OVER CLAD WITH SELECTED STONE FACADE |
| SC | -SELECTED ALUMINIUM LOUVRE SCREEN |
| LO/FC | -HARDIES LINEAR OBLIQUE FC CLADDING - SELECTED PAINT FINISH |
| WBD | -SHIPLAP WEATHERBOARD - SELECTED PAINT |
| CT | -CERAMIC TILES TO WATERPROOFED CONCRETE SLAB |



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DRAWING :

S4.55 Plans

Roof Plan

REVISION NO.

01

DRAWING NO.

266 WHALE BEACH ROAD

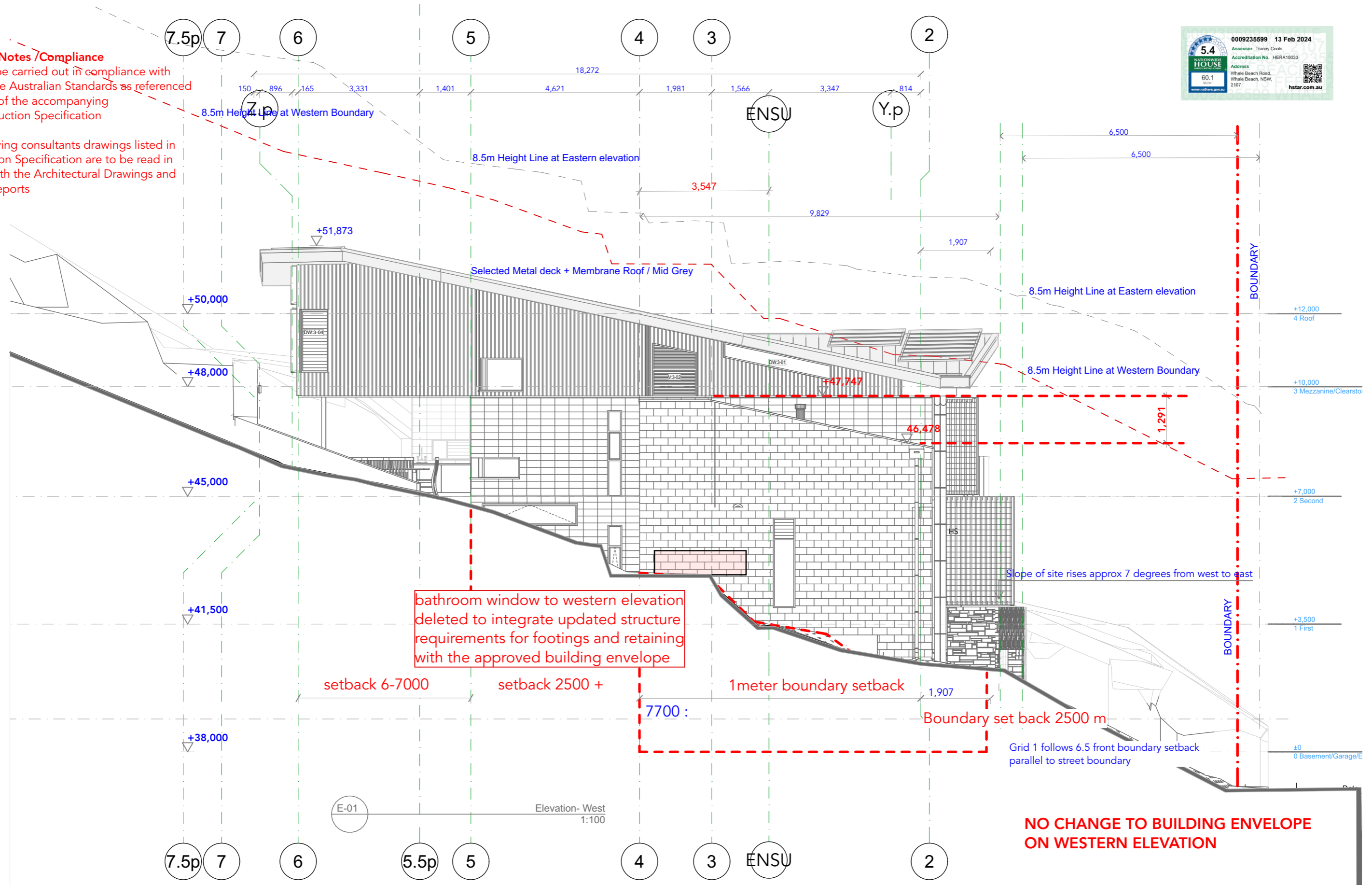
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Specification Notes / Compliance

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Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

Drawn: AdeC
Plot Date: 19/9/2023
Project NO.: WBR0002
Project Status: SECTION 4.55 MODIFICATION
Client: Celia Hooper
Site: 266 WHALE BEACH ROAD
WHALE BEACH NSW 2107

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DRAWING :

S4.55 Elevations
E-01 West Elevation

REVISION NO.

01

PROJECT :

266 WHALE BEACH ROAD

DRAWING NO.

S4.55 30C

THERMAL COMFORT SPECIFICATION - BASIX

| | |
|------|--|
| GD/W | Glazing Doors/Windows: Loured windows or loured windows combined with fixed glazing and sliding windows: U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) All other windows/glazed doors: U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%) Given values are AFRC, total window system values (glass and frame) |
| R+C | Roofing and Ceiling Plywood roofing with membrane, no insulation required Plasterboard ceiling with R4.0 insulation (insulation value only) where roof is above excluding garage Plasterboard ceiling with R2.5 insulation to garage ceiling where habitable rooms above. External Colour: Dark (SA>0.7) |
| EW | External Walls Lightweight cladding on framed walls with R2.50 insulation(insulation value only) Cavity wall(90mm external concrete block/50mm air gap/190mm core-filled) with AIR-CELL Permican insulation to all other walls. Minimum Total system R value of R1.79 No insulation required to external garage walls External Colour: Medium (0.475<SA<0.7) |
| IW | Internal Walls Single skin brick with R2.0 insulation only required to walls between garage and habitable areas Cavity wall (90mm external/50mm air gap/190mm core-filled) with AIR-CELL Permican insulation to walls between garage and basement lift. Minimum Total system R value of |
| F | Floors Concrete slab on ground, no insulation required Suspended concrete with R1.5 insulation (insulation only value) to open suspended areas Concrete between levels, no insulation required where habitable rooms are above and below Floor coverings: Tiles to entry, hall and wet areas, timber to gallery/loft and polished concrete elsewhere |
| ES | External Shading Covered Porch and Alfresco. Eaves as per stamped plans |

BASIX Water Commitments

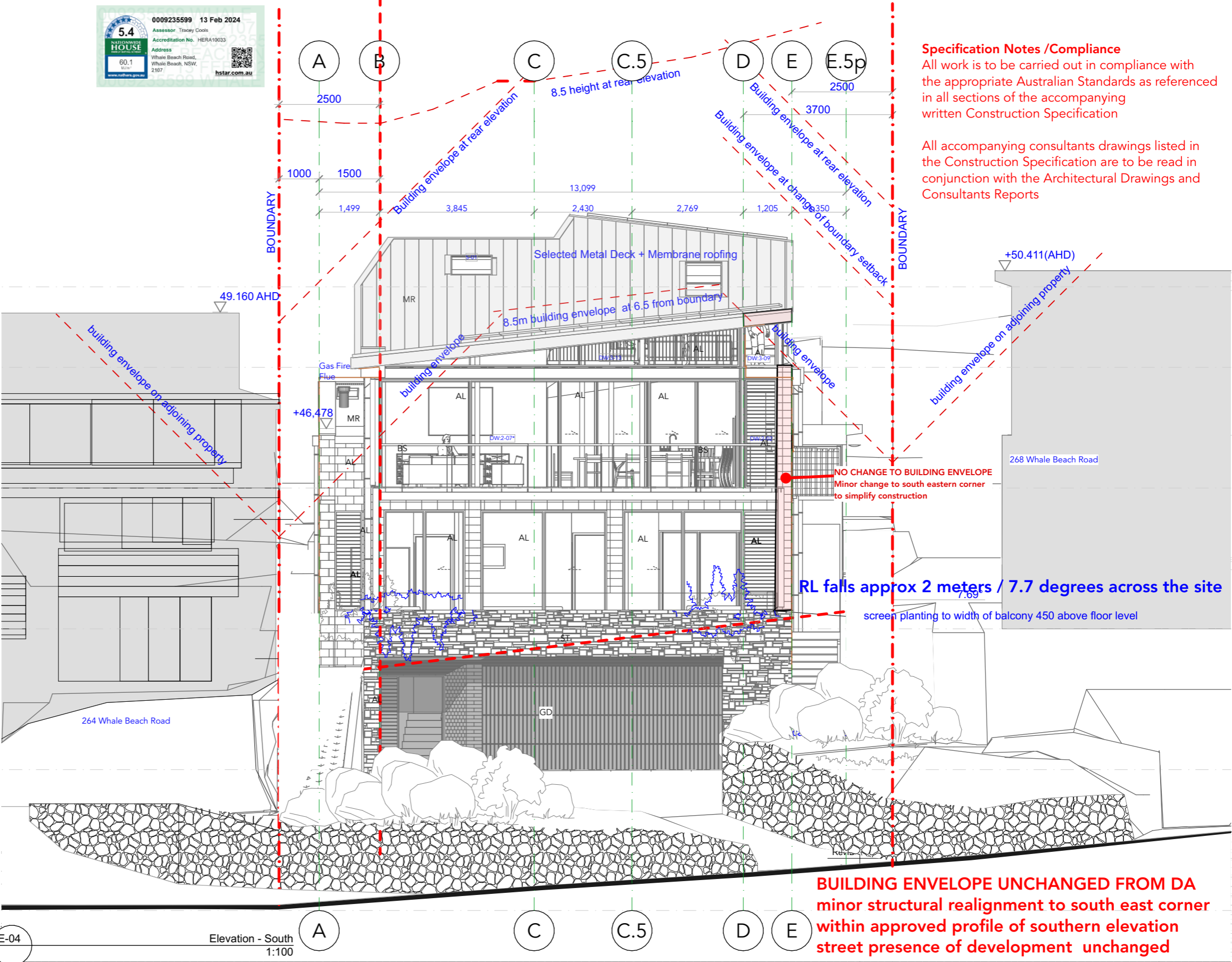
| | |
|----|---|
| FX | Fixtures Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom |
| AW | Alternative Water Install rainwater tank, minimum 3,200 L capacity collected from min. 196 m² roof area. Tank connected to – At least one outdoor tap, laundry and toilets |

BASIX Energy Commitments

| | |
|-----|---|
| HWS | Hot Water System Gas storage(not rated) |
| CS | Cooling System Ceiling fan and 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 |
| HS | Heating system 3 phase air conditioning to living areas and bedrooms: EER 3.5-4.0 Gas fixed flued heater (not rated) |
| V | Ventilation Kitchen, bathroom and laundry – Individual fan, externally ducted to roof or façade, manual on/off switch |
| O | Other Induction cooktop & electric oven Outdoor clothes drying line Well ventilated refrigerator space |
| AE | Alternative Energy Minimum 1kWp photovoltaic System |

MATERIALS & FINISHES LEGEND

| | |
|-------|--|
| MR | -1.2mm DOVE GREY SARNAFIL ROOF SYSTEM ON 18mm PLY SUBSTRATE SCREW FIXED TO MANUFACTURES SPECIFICATIONS |
| AL | -LIGHT COMMERCIAL ALUMINIUM WINDOW FRAME, SQUARE EDGED GLAZING BEAD, NATURAL ANODISED FINISH, CLEAR GLASS GLAZING TO BASIX SPECIFICATION |
| HS | -HARDWOOD TIMBER SCREENS- NATURAL OIL FINISH |
| RH | -RAINWATER HEAD WITH 50mm O/FLOW |
| CB | -CONCRETE BLOCK MASONRY - HONED FINISH - CAVITY CONSTRUCTION WITH CAVITY INSULATION BOARD TO BASIX SPECIFICATION |
| BK | -SELECTED COMMON BRICKWORK, ACRYLIC RENDER +PAINT FINISH |
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| LO/FC | - HARDIES LINEAR OBLIQUE FC CLADDING - SELECTED PAINT FINISH |
| WBD | -SHIPLAP WEATHERBOARD - SELECTED PAINT |
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Drawn: AdeC
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DRAWING : **S4.55 Elevations**
E-04 South Elevation

REVISION NO. **01**

DRAWING NO. **S4.55 301**

PROJECT : **266 WHALE BEACH ROAD**

THERMAL COMFORT SPECIFICATION - BASIX

| | |
|------|---|
| GD/W | Glazing Doors/Windows: Louvered windows or louvered windows combined with fixed glazing and sliding windows: U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) All other windows/glazed doors: U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%) Given values are AFRC, total window system values (glass and frame) |
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BASIX Water Commitments

| | |
|----|---|
| FX | Fixtures Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with minimum rating of 4 stars in the kitchen Install taps with minimum rating of 4 stars in each bathroom |
| AW | Alternative Water Install rainwater tank, minimum 3,200 L capacity collected from min. 196 m² roof area. Tank connected to – At least one outdoor tap, laundry and toilets |

BASIX Energy Commitments

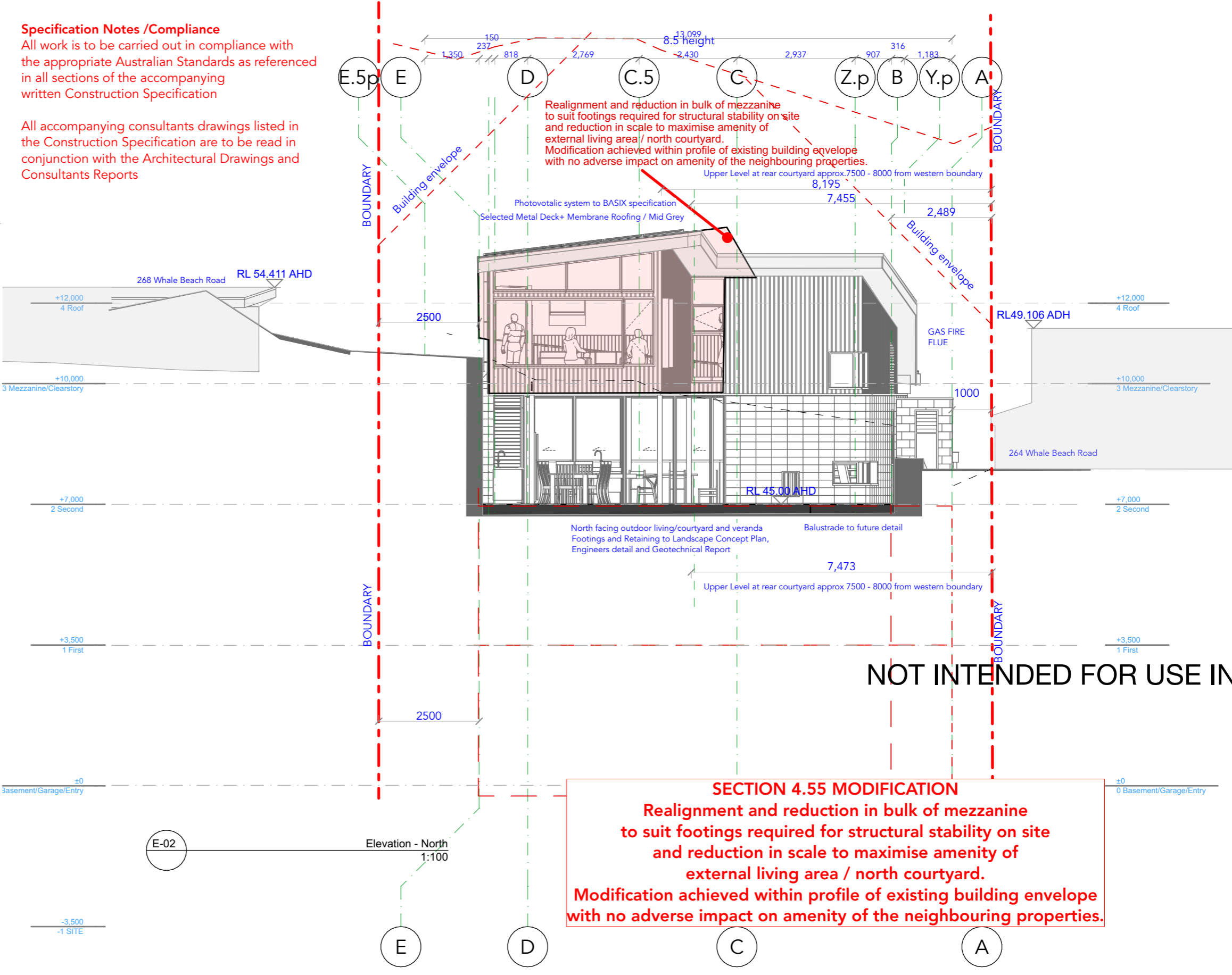
| | |
|-----|---|
| HWS | Hot Water System Gas storage(not rated) |
| CS | Cooling System Ceiling fan and 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 |
| HS | Heating system 3 phase air conditioning to living areas and bedrooms: EER 3.5-4.0 Gas fixed flued heater (not rated) |
| V | Ventilation Kitchen, bathroom and laundry – Individual fan, externally ducted to roof or façade, manual on/off switch |
| O | Other Induction cooktop & electric oven Outdoor clothes drying line Well ventilated refrigerator space |
| AE | Alternative Energy Minimum 1kWp photovoltaic System |

MATERIALS & FINISHES LEGEND

| | |
|-------|--|
| MR | -1.2mm DOVE GREY SARNAFIL ROOF SYSTEM ON 18mm PLY SUBSTRATE SCREW FIXED TO MANUFACTURES SPECIFICATIONS |
| AL | -LIGHT COMMERCIAL ALUMINIUM WINDOW FRAME, SQUARE EDGED GLAZING BEAD, NATURAL ANODISED FINISH, CLEAR GLASS GLAZING TO BASIX SPECIFICATION |
| HS | -HARDWOOD TIMBER SCREENS- NATURAL OIL FINISH |
| RH | -RAINWATER HEAD WITH 50mm O/FLOW |
| CB | -CONCRETE BLOCK MASONRY - HONED FINISH - CAVITY CONSTRUCTION WITH CAVITY INSULATION BOARD TO BASIX SPECIFICATION |
| BK | -SELECTED COMMON BRICKWORK, ACRYLIC RENDER +PAINT FINISH |
| BS | -BALUSTRADE S.S & GLASS. ARCHITECTURAL RIGGING WITH TIMBER HANDRAIL |
| GD | -SELECTED SECTIONAL GARAGE DOOR |
| TF | -90mm STUD FRAMED WALL |
| TP | -SELECTED 20mm TERRACE PAVING STONE ON MORTAR BED TO FALLS OVER CONCRETE SLAB SUBSTRATE |
| CC | -CONCRETE CAVITY FILLED MASONRY WALL TO ENGINEERS DETAILS OVER CLAD WITH SELECTED STONE FACADE |
| SC | -SELECTED ALUMINIUM LOUVRE SCREEN |
| LO/FC | -HARDIES LINEAR OBLIQUE FC CLADDING - SELECTED PAINT FINISH |
| WBD | -SHIPLAP WEATHERBOARD - SELECTED PAINT |
| CT | -CERAMIC TILES TO WATERPROOFED CONCRETE SLAB |

Specification Notes /Compliance
 All work is to be carried out in compliance with the appropriate Australian Standards as referenced in all sections of the accompanying written Construction Specification

All accompanying consultants drawings listed in the Construction Specification are to be read in conjunction with the Architectural Drawings and Consultants Reports



NOT INTENDED FOR USE IN

SECTION 4.55 MODIFICATION
 Realignment and reduction in bulk of mezzanine to suit footings required for structural stability on site and reduction in scale to maximise amenity of external living area / north courtyard.
 Modification achieved within profile of existing building envelope with no adverse impact on amenity of the neighbouring properties.

| | |
|-----------------|---------------------------|
| Drawn: | AdeC |
| Plot Date: | 19/9/2023 |
| Project NO.: | WBR0002 |
| Project Status: | SECTION 4.55 MODIFICATION |
| Client: | Celia Hooper |
| | 266 WHALE BEACH ROAD |
| Site: | WHALE BEACH NSW 2107 |

NOTE
 The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by studio_decarta and is to be used only for work when authorised in writing by studio_decarta

 All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.

 All documents here within are subject to Australian Copyright Laws.

| | | | |
|-----------|-------------------------------------|--------------|-----------|
| DRAWING : | S4.55 Elevations North Elevation | REVISION NO. | 01 |
| PROJECT : | 266 WHALE BEACH ROAD | DRAWING NO. | S4.55 303 |

studio_deCARTA



Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530
 Studio 5 : Level 4 : 68-72 Wentworth Avenue Surry Hills NSW 2010

THERMAL COMFORT SPECIFICATION - BASIX

| | | |
|------|------------------------|---|
| GD/W | Glazing Doors/Windows: | Louvered windows or louvered windows combined with fixed glazing and sliding windows: |
| | | U-Value: 4.80 (equal to or lower than) SHGC: 0.59 (±10%) |
| R+C | Roofing and Ceiling | All other windows/glazed doors: |
| | | U-Value: 3.40 (equal to or lower than) SHGC: 0.53 (±10%) |
| EW | External Walls | Given values are AFRC, total window system values (glass and frame) |
| | | |
| IW | Internal Walls | |
| | | |
| F | Floors | |
| | | |
| ES | External Shading | |
| | | |

BASIX Water Commitments

| | | |
|----|-------------------|--|
| FX | Fixtures | Install showerheads minimum rating of 4 stars-High flow (>6.0 and <=7.5 Litres/min) |
| | | Install toilet flushing system with a minimum rating of 4 stars in each toilet |
| AW | Alternative Water | Install tap with minimum rating of 4 stars in the kitchen |
| | | Install taps with minimum rating of 4 stars in each bathroom |
| AW | Alternative Water | Install rainwater tank, minimum 3,200 L capacity collected from min. 196 m² roof area. |
| | | Tank connected to –At least one outdoor tap, laundry and toilets |

BASIX Energy Commitments

| | | |
|-----|--------------------|---|
| HWS | Hot Water System | Gas storage(not rated) |
| | | |
| CS | Cooling System | Ceiling fan and 3 phase air conditioning to living areas and bedrooms: EER 3.0-3.5 |
| | | |
| HS | Heating system | 3 phase air conditioning to living areas and bedrooms: EER 3.5-4.0 |
| | | Gas fixed flued heater (not rated) |
| V | Ventilation | Kitchen, bathroom and laundry – Individual fan, externally ducted to roof or façade, manual on/off switch |
| | | |
| O | Other | Induction cooktop & electric oven |
| | | Outdoor clothes drying line |
| AE | Alternative Energy | Well ventilated refrigerator space |
| | | Minimum 1kWp photovoltaic System |

MATERIALS & FINISHES LEGEND

| | |
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BOUNDARY

BOUNDARY

E-03 Elevation - East 1:100

Grid 1 follows 6.5 front boundary setback parallel to street boundary

8.5m Height Line at Eastern elevation

8.5m Height Line at Western Boundary

Selected Membrane Roof / Mid Grey

Minor adjustment to corner to simplify construction with no impact on the building envelope

Realignment of mezzanine eastern wall to simplify construction with no change to eastern elevation profile
deletion of one of two windows to mezzanine

**REALIGNMENT OF EASTERN WALL AT MEZZANINE LEVEL
WITH NO CHANGE TO PROFILE OF BUILDING ENVELOPE ON EASTERN ELEVATION**

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DRAWING :

S4.55 Elevations
East Elevation

PROJECT :

266 WHALE BEACH ROAD

REVISION NO.

01

DRAWING NO.

S4.55 304

studio_deCARTA



Allen de Carteret_Architecture NSW ABR # 5283 decarta@mac.com 0419 231 530
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Drawn: AdeC
Plot Date: 19/9/2023
Project NO.: WBR0002
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266 WHALE BEACH ROAD
WHALE BEACH NSW 2107
Site: