



Corporate member of the Fire Protection Association of Australia

Wednesday, 12 April 2023.

- **Purpose;** To provide advice to the Principal Certifying Authority.
- **Address;** 16 Stephen Street Beacon Hill.
- **Lot and DP number;** lot 22, section 1, DP19657.
- **Referenced documents;** Previous Bushfire Risk Assessment dated 18/12/2019 by Planning for Bushfire Protection Pty Ltd. Revised plans (attached).
- **Proposed works;** Alterations and additions to an existing dwelling.

The General Manager, Northern Beaches Council.

Dear Sir/Madam.

The proposed new works are for modifications to an existing dwelling.

A change to the plans has been necessary and this letter is to provide information on what if any changes the revised plans have made to the original bushfire report that was undertaken for the lot as referenced above.

This company has undertaken a review of the original report and compared any new variables contained within the revised plans against the outcomes of the previous assessment.

It is my considered opinion as a person recognised by the New South Wales Rural Fire Service as a qualified consultant in Bushfire Risk Assessment that this revised proposal does not adversely affect the results of the original bushfire assessment.

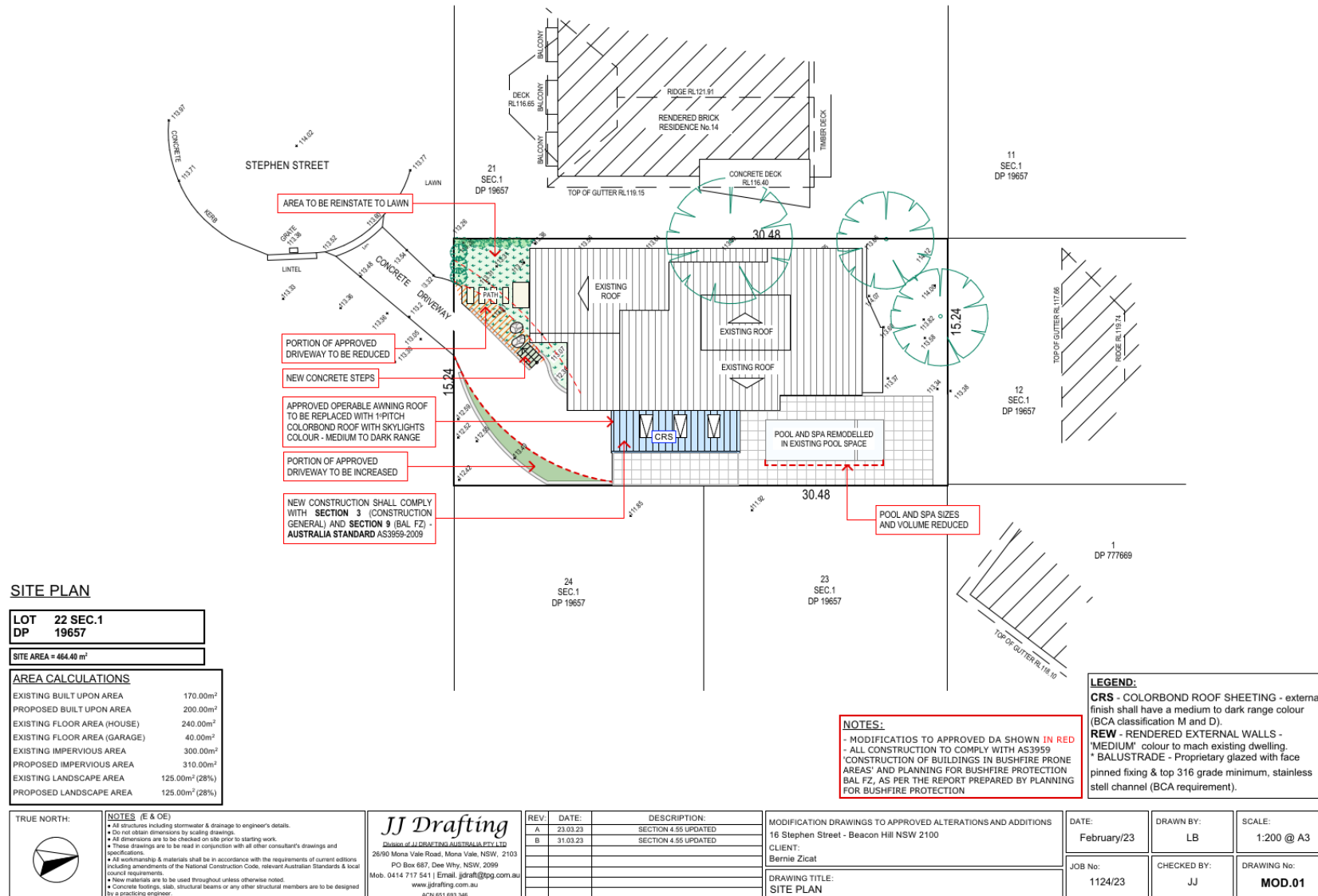
Should any further clarification be necessary please do not hesitate to contact me.

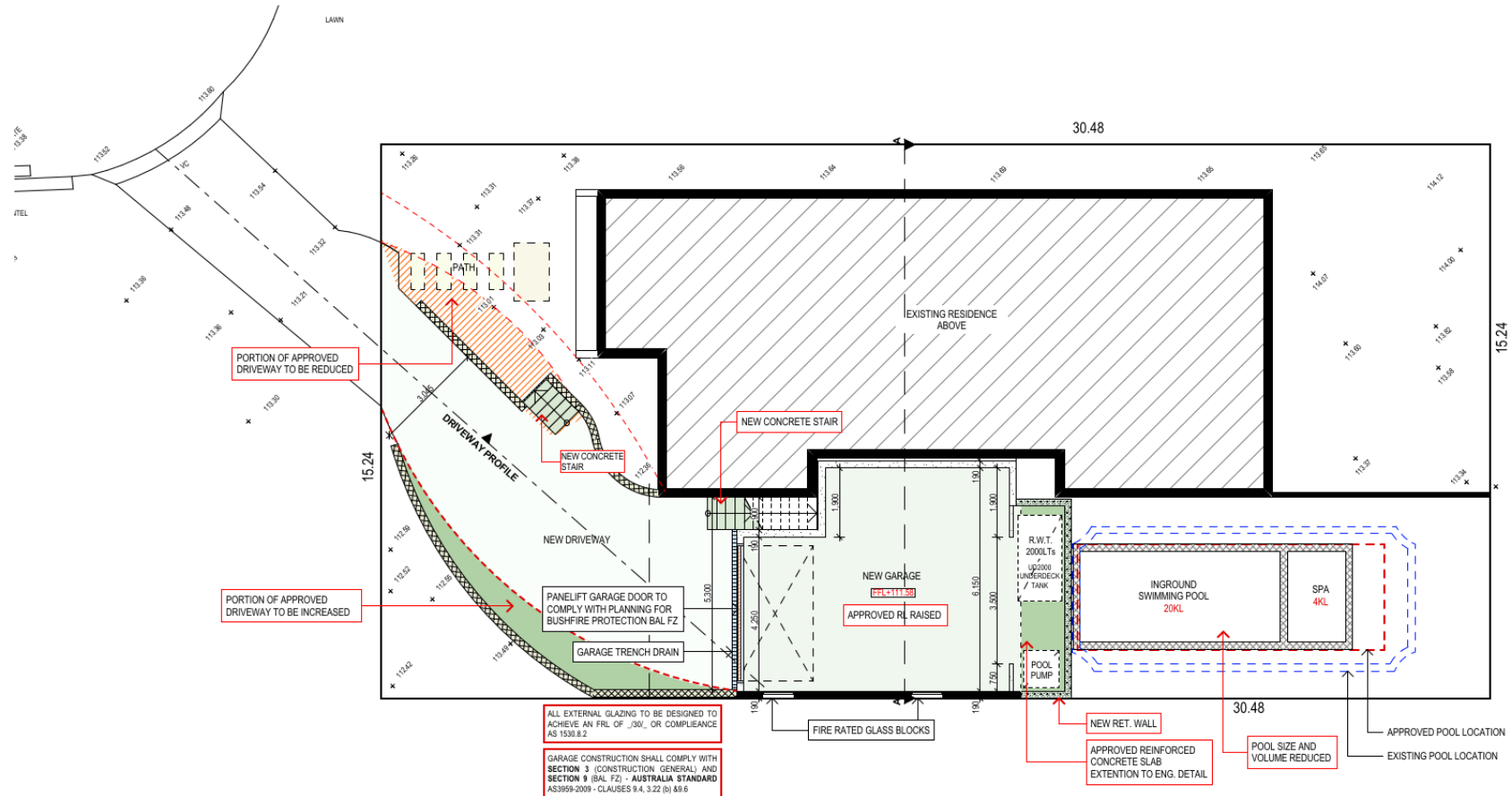
Yours Sincerely,

A handwritten signature in blue ink, appearing to read 'Matthew Willis'.

Matthew Willis

Grad Dip Planning for Bushfire Prone Areas (**FPAA BPAD Level 3 BPD-PA 09337**)
Bushfire Planning Services Pty Limited.





GARAGE FLOOR PLAN

NOTES:

- MODIFICATIOS TO APPROVED DA SHOWN IN RED
- ALL CONSTRUCTION TO COMPLY WITH AS3959
- CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS' AND PLANNING FOR BUSHFIRE PROTECTION BAL FZ, AS PER THE REPORT PREPARED BY PLANNING FOR BUSHFIRE PROTECTION

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
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- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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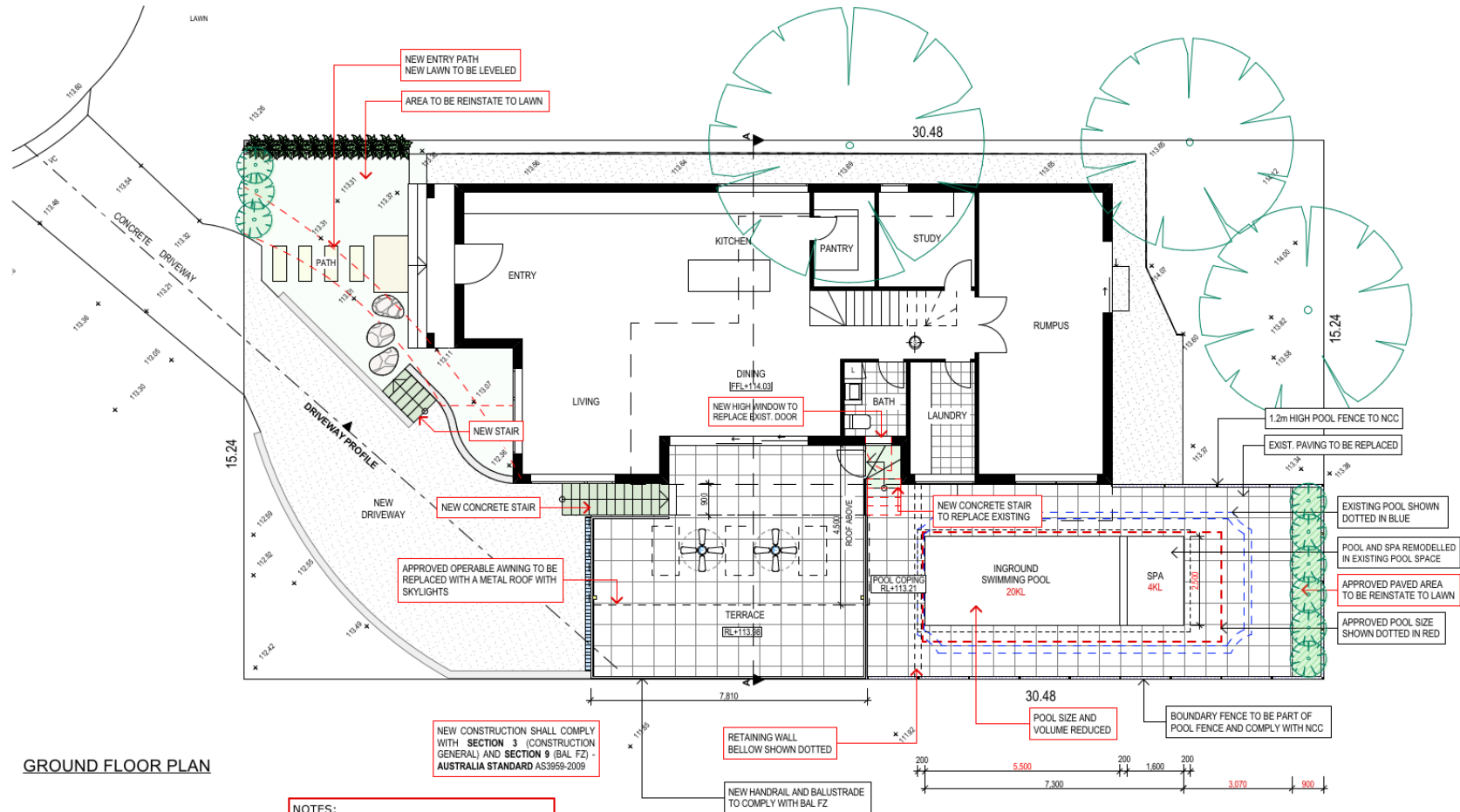
REV.	DATE	DESCRIPTION
A	23.03.23	SECTION 4.55 UPDATED
B	31.03.23	SECTION 4.55 UPDATED

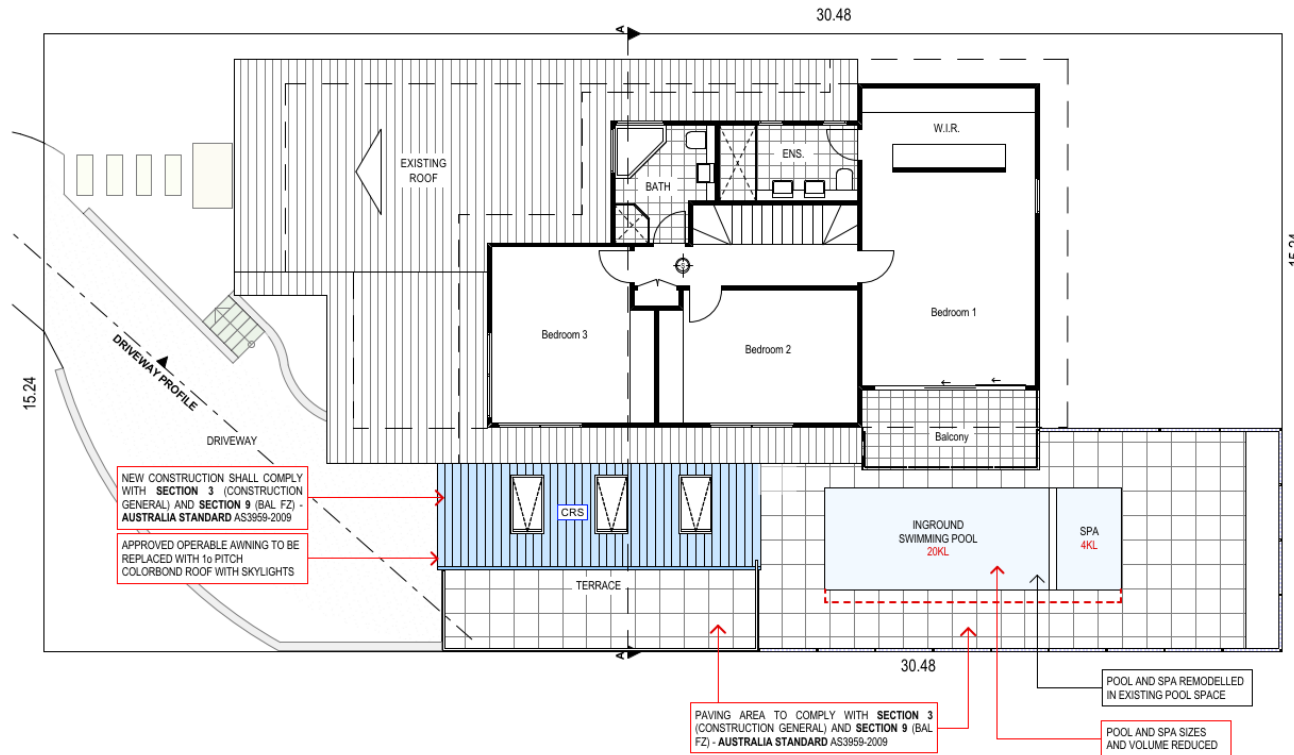
MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
 16 Stephen Street - Beacon Hill NSW 2100
 CLIENT:
 Bernie Zicat
 DRAWING TITLE:
 GARAGE FLOOR PLAN

DATE:
 February/23
 JOB No:
 1124/23

DRAWN BY:
 LB
 CHECKED BY:
 JJ

SCALE:
 1:100 @ A3
 DRAWING No:
 MOD.02





FIRST FLOOR PLAN

LEGEND I:

HARD WIRED SMOKE ALARM - to be installed as per Part 3.7.5 of the BCA.



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A	23.03.23	SECTION 4.55 UPDATED
B	31.03.23	SECTION 4.55 UPDATED

MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
 16 Stephen Street - Beacon Hill NSW 2100
 CLIENT:
 Bernie Zicat
 DRAWING TITLE:
 FIRST FLOOR PLAN

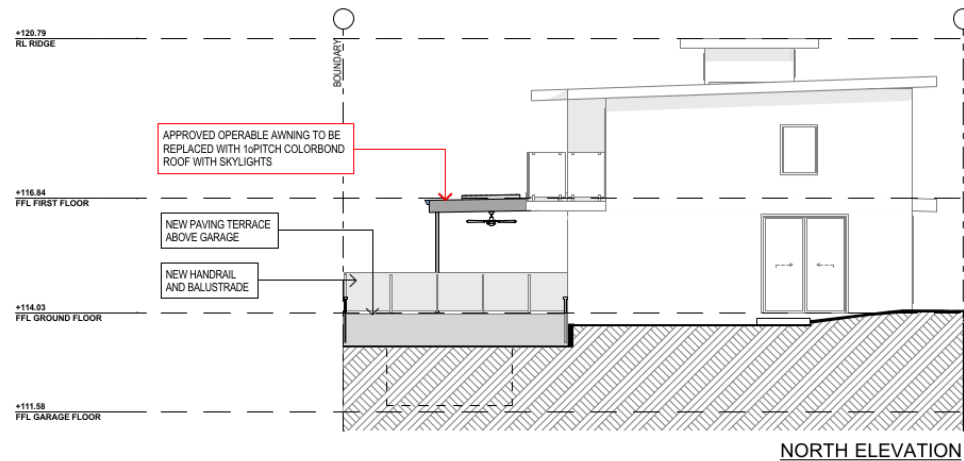
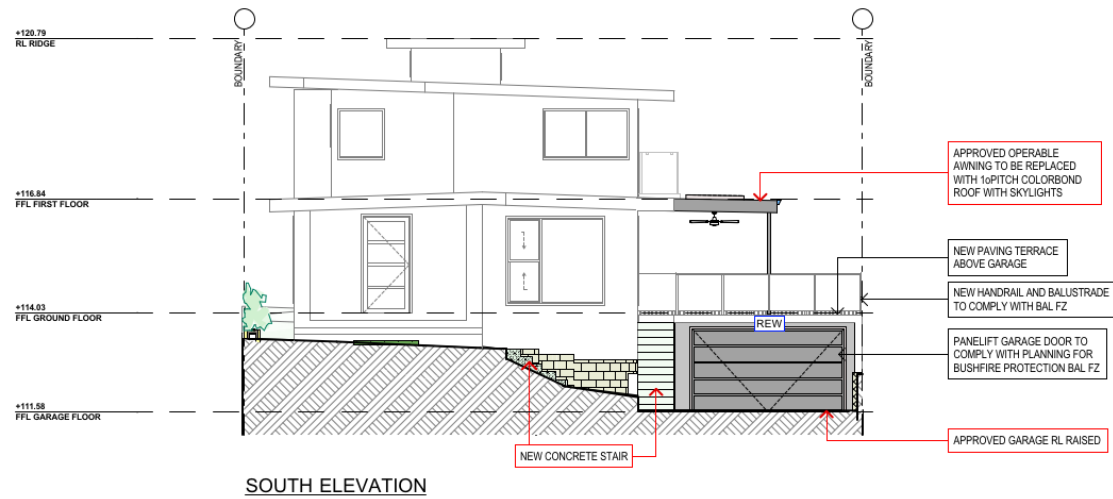
DATE: February/23	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.04

NOTES:

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LEGEND:

CRS - COLORBOND ROOF SHEETING - external finish shall have a medium to dark range colour (BCA classification M and D).
REW - RENDERED EXTERNAL WALLS - "MEDIUM" colour to match existing dwelling.
BALUSTRADE - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless stell channel (BCA requirement).



NOTES:
 - MODIFICATIONS TO APPROVED DA SHOWN **IN RED**
 - ALL CONSTRUCTION TO COMPLY WITH AS3959
 'CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE
 AREAS' AND PLANNING FOR BUSHFIRE PROTECTION
 BAL FZ, AS PER THE REPORT PREPARED BY PLANNING
 FOR BUSHFIRE PROTECTION

LEGEND II:
CRS - COLORBOND ROOF SHEETING - external
 finish shall have a medium to dark range colour
 (BCA classification M and D).
REW - RENDERED EXTERNAL WALLS -
 'MEDIUM' colour to match existing dwelling.
 * BALUSTRADE - Proprietary glazed with face
 pinned fixing & top 316 grade minimum, stainless
 steel channel (BCA requirement).

NOTES (E & OE)

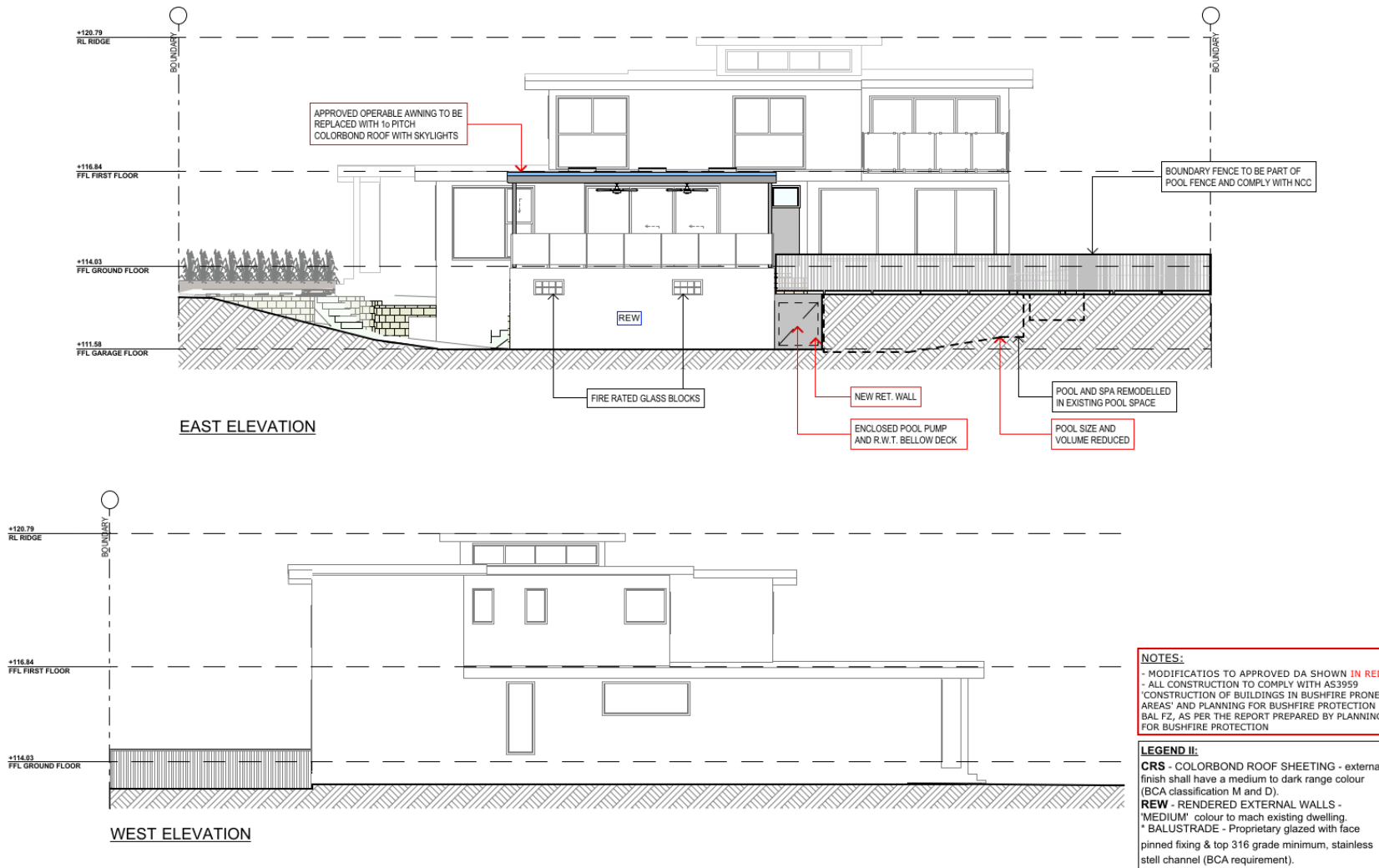
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MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
 16 Stephen Street - Beacon Hill NSW 2100
 CLIENT:
 Bernie Zicat
 DRAWING TITLE:
 NORTH & SOUTH ELEVATIONS

DATE: February/23	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.05



NOTES (E & OE) <ul style="list-style-type: none"> All structures including stormwater & drainage to engineer's details. Do not obtain dimensions by scaling drawings. All dimensions are to be checked on site prior to starting work. These drawings are to be read in conjunction with all other consultant's drawings and specifications. All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. New materials are to be used throughout unless otherwise noted. Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer. 	JJ Drafting 26/90 Mone Vale Road, Mone Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob: 0414 717 541 Email: jjdraft@tpg.com.au www.jjdrafting.com.au ACN 691 693 346		MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS 16 Stephen Street - Beacon Hill NSW 2100 CLIENT: Bernie Zicat	DATE: February/23	DRAWN BY: LB	SCALE: 1:100 @ A3
	REV: DATE: DESCRIPTION: A 23.03.23 SECTION 4.55 UPDATED B 31.03.23 SECTION 4.55 UPDATED		DRAWING TITLE: EAST & WEST ELEVATIONS	JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.06

BASIX REQUIREMENT:

BASIX Inclusions for 16 Stephen Street - Beacon Hill

RAINWATER TANK:

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1900 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
- THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 140 SQUARE METRES OF THE ROOF AREA OF THE DEVELOPMENT.
- THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10METRES OF THE EDGE OF THE POOL.

OUTDOOR SWIMMING POOL:

- THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 20 KILOLITRES.
- THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.
- THE APPLICANT MUST NOT INCORPORATE ANY HEATING SYSTEM FOR THE SWIMMING POOL.

OUTDOOR SPA:

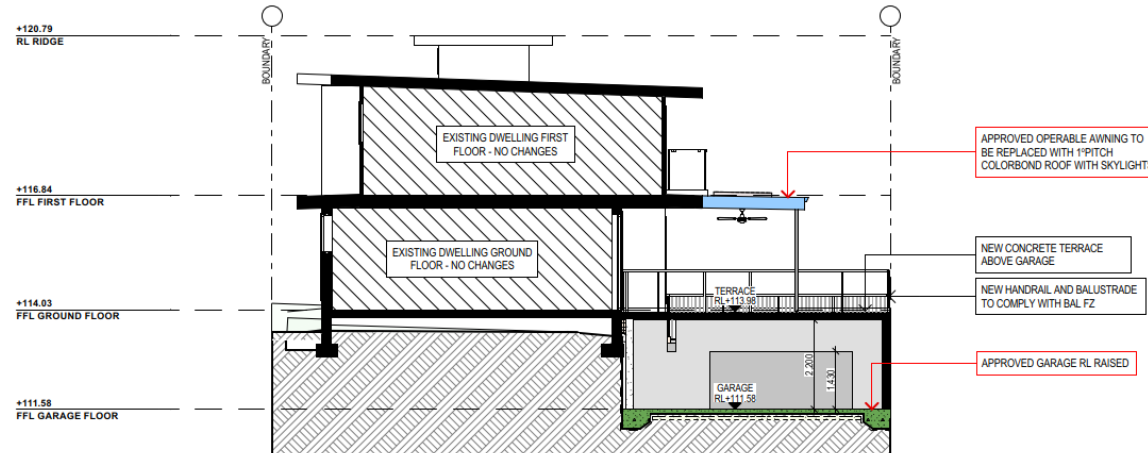
- THE SPA MUST NOT HAVE A CAPACITY GREATER THAN 4 KILOLITRES.
- THE APPLICANT MUST INSTALL A SPA PUMP TIMER.
- THE APPLICANT MUST INSTALL A GAS HEATING SYSTEM FOR THE SPA.

LIGHTING REQUIREMENTS:

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

INSULATION REQUIREMENTS - CONSTRUCTION

- FLOOR - CONCRETE SLAB
- EXTERNAL WALLS - GARAGE - MASONRY - RENDERED
- WINDOWS AND DOORS:
 - W1 (BATHROOM) - STANDARD ALUMINIUM, SINGLE CLEAR
 - (or U-value: 7.63, shgc: 0.75)
 - PANEL LIFT GARAGE DOOR
 - FIRE RATED GLASS BLOCKS



SECTION A-A

NOTES:

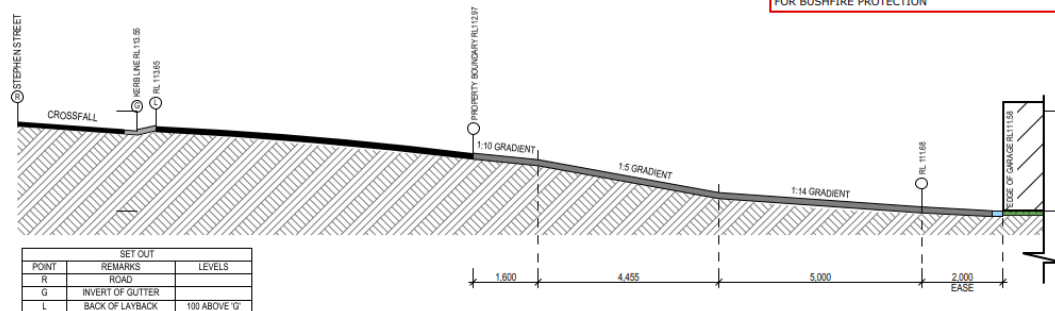
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BUSHFIRE REPORT FOR 16 STEPHEN STREET - BEACON HILL:

CONSTRUCTION AND DESIGN FOR BAL 19 AND BAL FZ:

ALL NEW WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS OF THE BCA AND AS3959 2009. THE FOLLOWING RECOMMENDATIONS ARE A MINIMUM LEVEL OF CONSTRUCTION.

- 1. NEW CONSTRUCTION SHALL COMPLY WITH SECTION 3 AND SECTION 9 (BAL FZ) OF AUSTRALIAN STANDARD AS3959-2009 'CONSTRUCTION OF BUILDINGS IN BUSH FIRE-PRONE AREAS'**
NEW CONSTRUCTION CAN BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NASH STANDARD FOR RESIDENTIAL AND LOW-RISE FRAMING, PART 1: DESIGN CRITERIA OR PART 2: DESIGN SOLUTIONS.
- 2. ELECTRICITY AND GAS SUPPLIES:** AS FAR AS PRACTICAL, NEW ELECTRICITY AND GAS SUPPLIES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF 4.1.3 OF PBP.
- 3. EXISTING DWELLING HAS BEEN UPGRADED TO IMPROVE EMBER PROTECTION IN ACCORDANCE WITH THE RECOMMENDATION OF THE PREVIOUS APPROVED DEVELOPMENT APPLICATION.**
- 4. ASSET PROTECTION ZONES:** AT THE COMMENCEMENT OF BUILDING WORKS AND IN PERPETUITY, THE ENTIRE PROPERTY SHALL BE MANAGED AS AN INNER PROTECTION AREA AS OUTLINED WITHIN PBP2006 AND THE NSW RFS DOCUMENT 'STANDARDS FOR ASSET PROTECTION ZONES'.
- 5. WATER SUPPLIES:** RETICULATED WATER SUPPLY IS LOCATED ON THE ADJOINING ROAD AT REGULAR INTERVALS AND IS EASILY ACCESSIBLE. ADDITIONAL WATER SUPPLIES ARE NOT RECOMMENDED AS A CONDITION OF CONSENT.
- 6. ADJACENT BUILDING (CLASS 10a):** CLASS 10a BUILDINGS SHALL COMPLY WITH THE REQUIREMENTS OF AS3959, 2009 PART 3.2. 'CONSTRUCTION REQUIREMENTS FOR SPECIFIC STRUCTURES'.
- 7. ADJACENT STRUCTURES (CLASS 10b):** AT THE PLANNING STAGE, CLASS 10b BUILDINGS IN BUSHFIRE PRONE AREAS SHOULD BE NON-COMBUSTIBLE. (CLASS 10b BUILDING INCLUDE A FENCE, RETAINING OR FREE-STANDING WALL, SWIMMING POOL OR THE LIKE.



DRIVEWAY PROFILE

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MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
 16 Stephen Street - Beacon Hill NSW 2100
 CLIENT:
 Bernie Zicat
 DRAWING TITLE:
 SECTION / BASIX

DATE: February/23	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.07

NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL. IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/VESICLES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE. THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

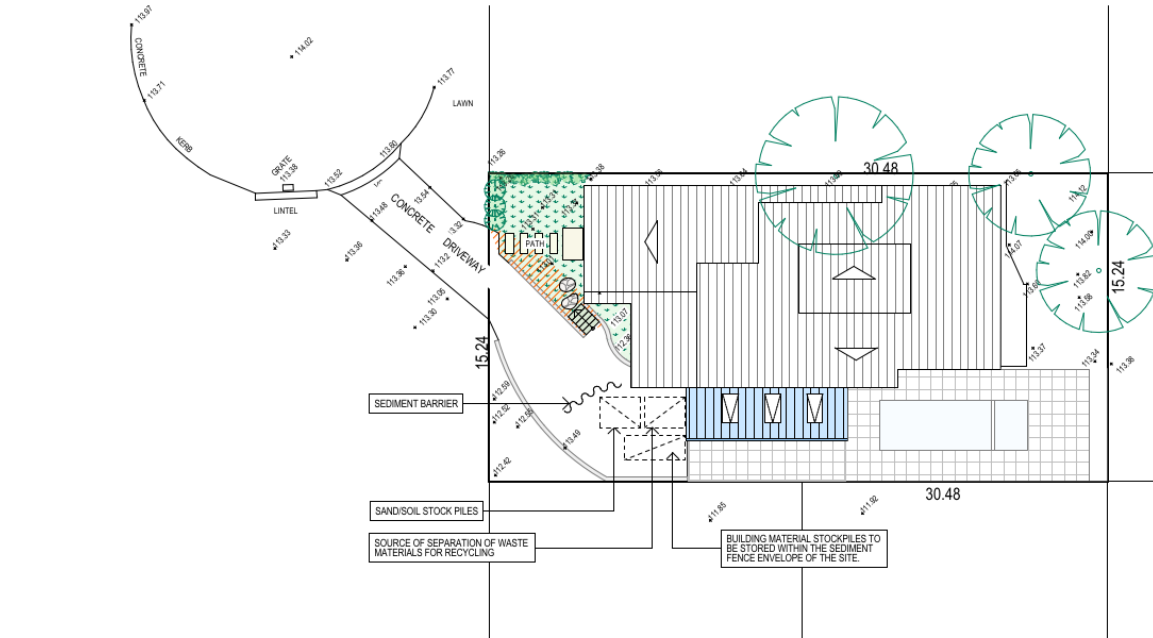
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

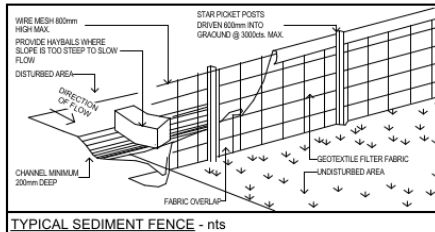
A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

VEHICLE MOVEMENTS

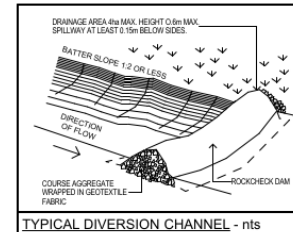
TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.



EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN



TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts

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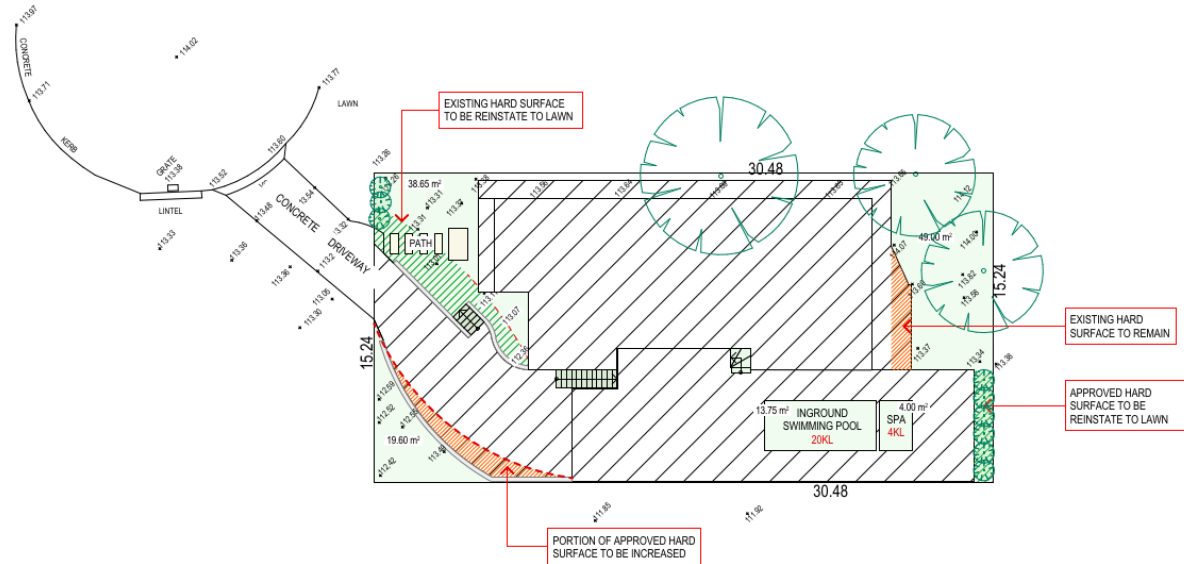
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Bernie Zicat
DRAWING TITLE:
EROSION & SEDIMENT CONTROL / WASTE
MANAGEMENT PLAN

DATE: February/23	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.08




LANDSCAPE CONCEPT PLAN

CALCULATIONS		
SITE AREA		464.40m²
EXISTING LANDSCAPED AREA		141.47m²
APPROVED LANDSCAPED AREA		125m²
PROPOSED NEW LANDSCAPED AREA		22.60m²
TOTAL LANDSCAPED AREA		125m²
HARD SURFACE AREA TO BE RETAINED		
NEW HARD SURFACE AREA		
TOTAL HARD SURFACE AREA		295.58m²

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				<div>JOB No:</div> <div>1124/23</div>		<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>MOD.09</div>	
				<div>DRAWING TITLE:</div> <div>LANDSCAPED AREA CALCULATION PLAN</div>				