

LOWER GROUND FLOOR PLAN

77.4m2 approx



GROUND FLOOR PLAN

97.0m2 approx

Client	CARLOS LOPEZ	Title	PROPOSED INGROUND CONCRETE SWIMMING POOL & DECK	
Project	92 ALAMEDA WAY, WARRIEWOOD 2102 LOT: 9 DP:237425	Plan	EXISTING DWELLING FLOOR PLAN	Drawing Number 0403/00

SIDE AND REAR SETBACK

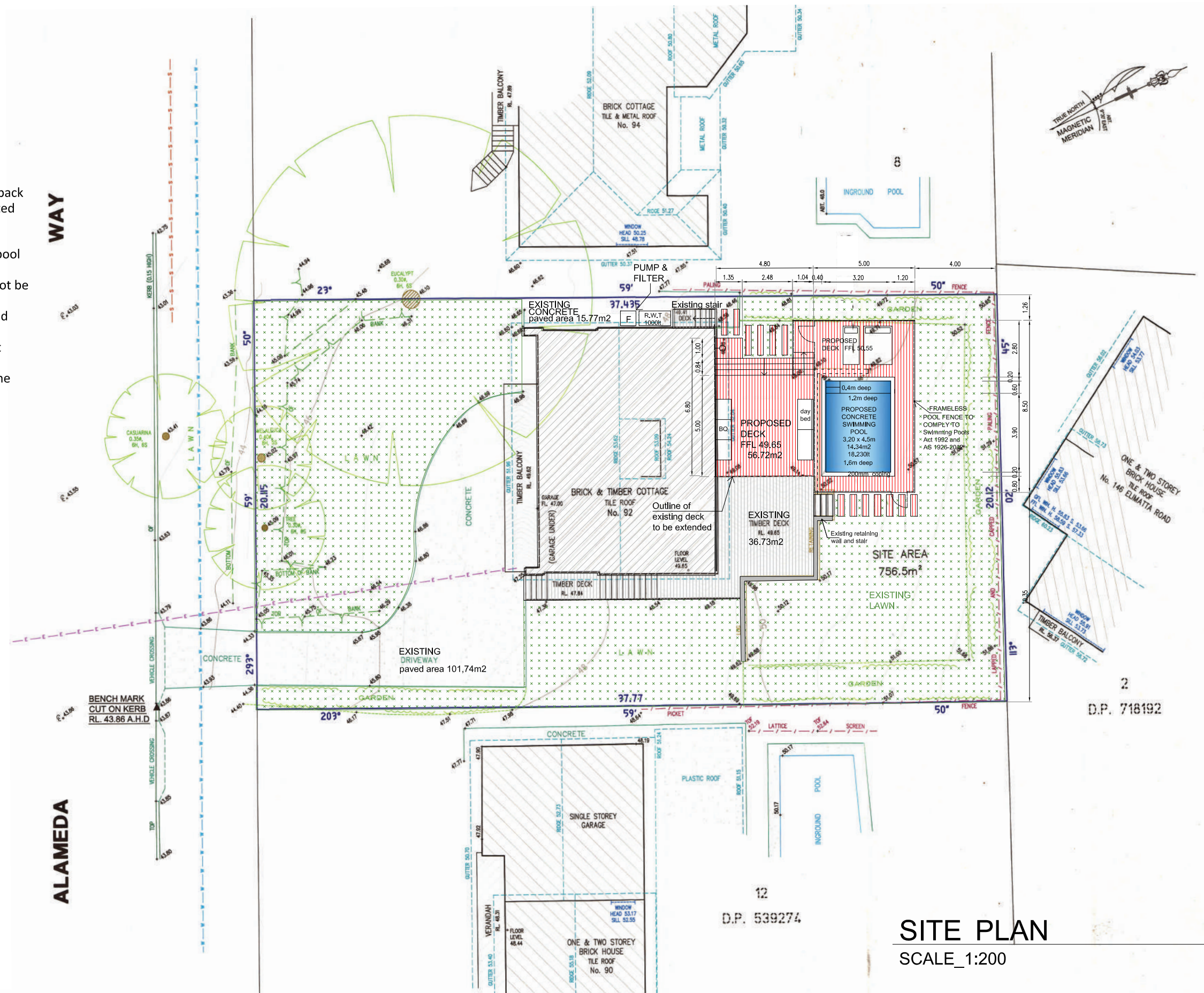
SIDE AND REAR SETBACKS VARIATIONS

satisfactory landscaping within the setback from the pool or spa coping to the side or rear boundary, and Council is satisfied that the adjoining properties will not be adversely affected, and the pool or spa is not more than 1 metre above ground level (existing), and that the outcomes of this clause are achieved without strict adherence to the standards, and where the site constraints make strict adherence to the setback impractical, and where strict compliance with these requirements will adversely impact on the views of adjoining residential properties.

SITE AREA = 756.50 m²
HOUSE LEVEL = 104.10 m²
GARAGE = 70.30m²

Existing hard surface (concrete)	116.51m2
Hard surface area to be retained	116.51m2
Proposed hard surface area	0.00m2
Existing Deck Area	36.73m2
Proposed Deck Area	53.84m2
Proposed Swimming pool Area	15.66m2
Existing Landscape Area	479.00m2
Proposed Landscape Area	410.00m2

-  LANDSCAPED AREA
 EXISTING PAVED AREA
 EXISTING DWELLING
 PROPOSED DECK
 PROPOSED POOL



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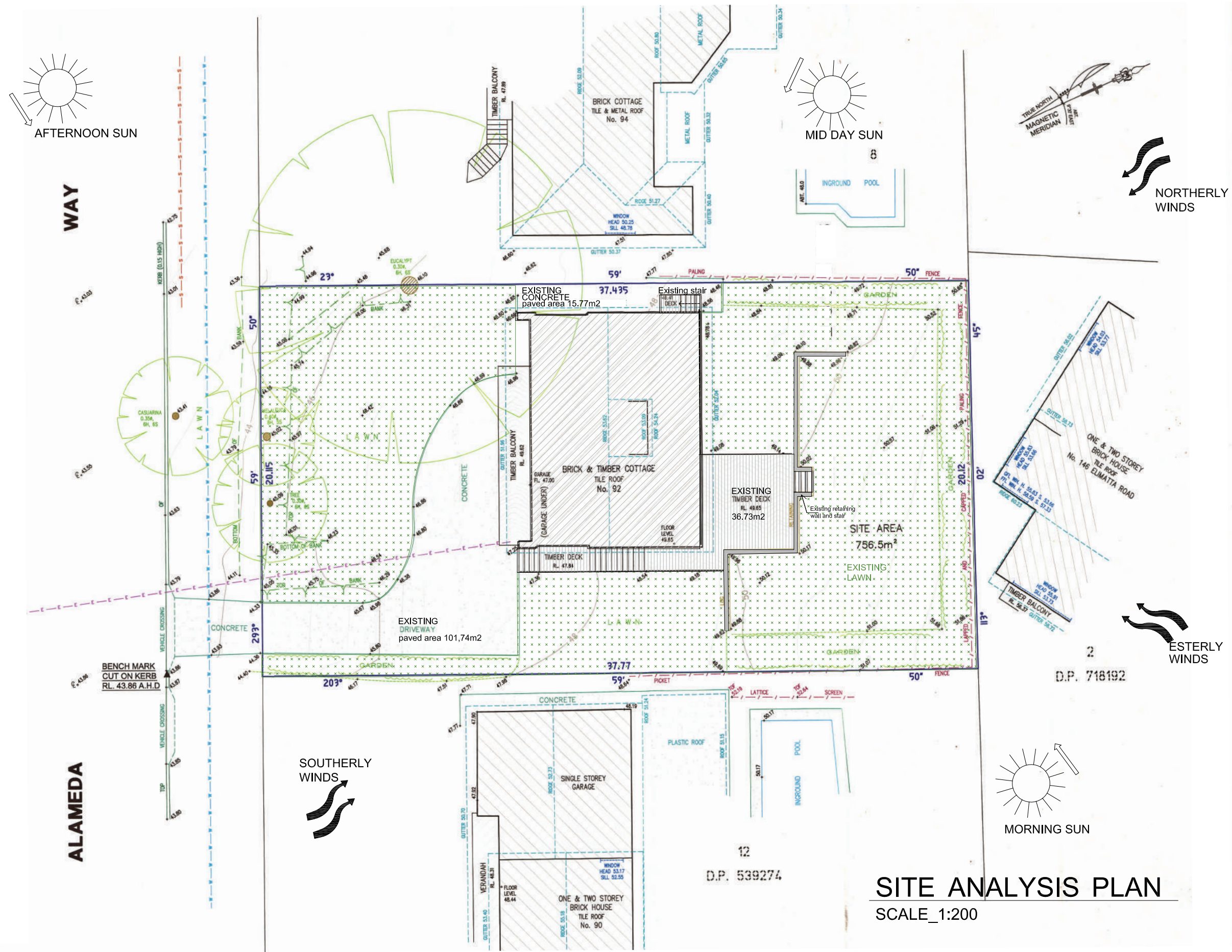
Client	CARLOS LOPES
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Project	92 ALAMEDA WAY, WARRIEWOOD 2102 LOT: 9 DP:237425
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Title	PROPOSED INGROUND CONCRETE SWIMMING POOL & DECK
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Plan SITE PLAN

Drawing Number
0403/01



SITE CALCULATION

SITE AREA = 756.50 m2
HOUSE LEVEL = 104.10 m2
GARAGE = 70.30m2

Existing hard surface	116.51m2
Existing Deck Area	36.73m2
Existing Landscape Area	479.00m2

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Client
CARLOS LOPES

Proyect
92 ALAMEDA WAY, WARRIEWOOD 2102
LOT: 9 DP:237425

Title
PROPOSED INGROUND CONCRETE
SWIMMING POOL & DECK

Plan
SITE ANALYSIS PLAN

Drawing Number
0403/02

PITTWATER DCP NOTES

LANDSCAPE

The total landscaped area on land zoned R2 Low Density Residential, R3 Medium Density Residential or E4 Environmental Living shall be 60% of the site area.

The use of porous materials and finishes is encouraged where appropriate.

Any alterations or additions to an existing dwelling shall provide a minimum 60% of the site area as landscaped area.

VARIATIONS

Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:

impervious areas less than 1 metre in width (e.g. pathways and the like);
for single dwellings on land zoned R2 Low Density Residential, R3 Medium Density Residential or E4 Environmental Living, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing)).

LANDSCAPING CALCULATION

SITE AREA = 756.50 m2
HOUSE LEVEL = 104.10 m2
GARAGE = 70.30m2

Lot Size	756.50m2
Required Landscaping Area 60%	453.90m2
Variation -6% of total site area	- 45.39m2
Minimum Landscaping required	408.51m2

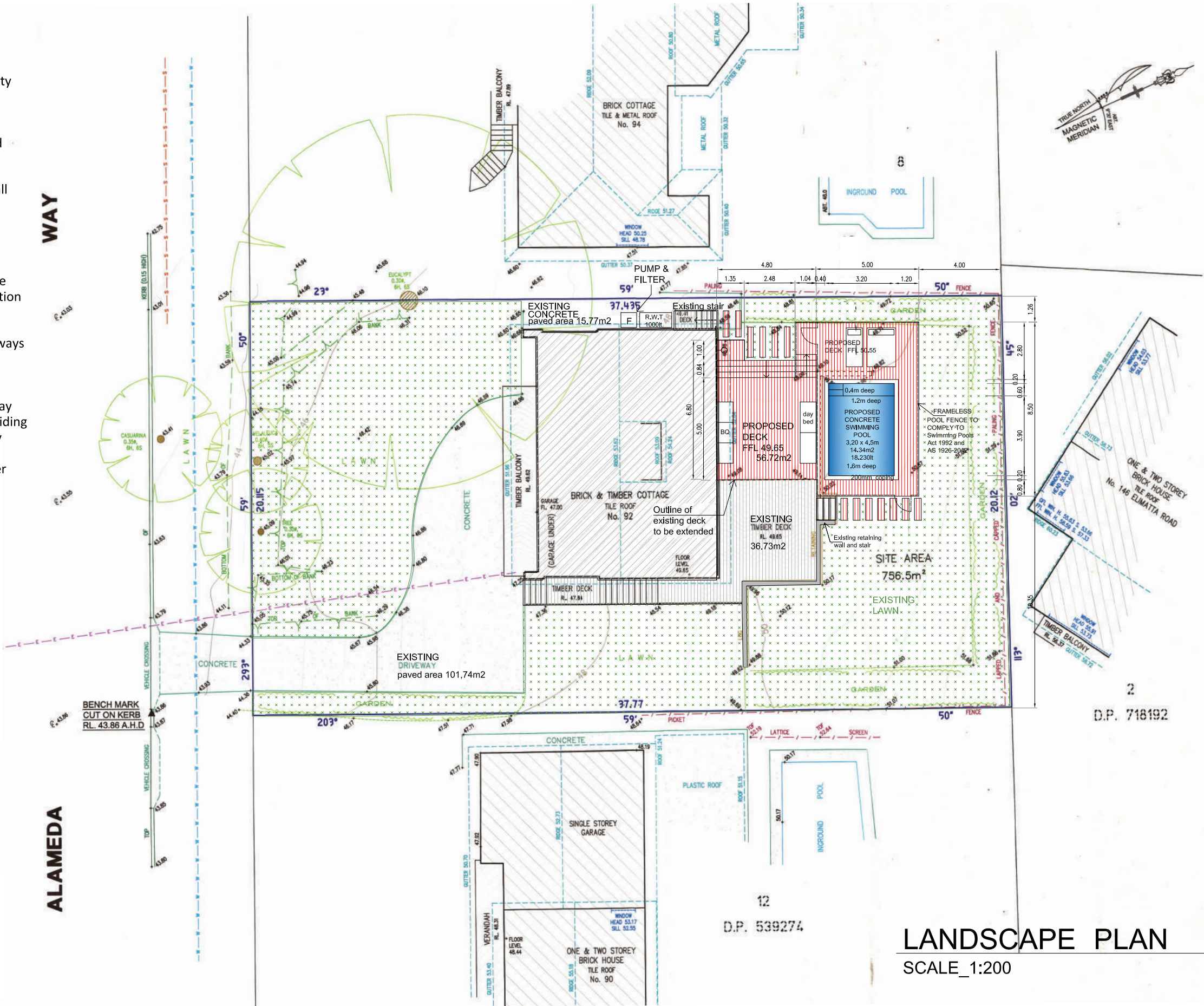
Existing Landscape Area	479.00m2
Proposed pool and deck area	-69.00m2
Proposed Landscaping area	410.00m2

LANDSCAPING NOTE

NO TREES ARE REQUIRED TO BE REMOVED

- XXXXXX

LANDSCAPED AREA
- EXISTING PAVED AREA
- EXISTING DWELLING
- PROPOSED DECK
- PROPOSED POOL



LANDSCAPE PLAN

SCALE_1:200

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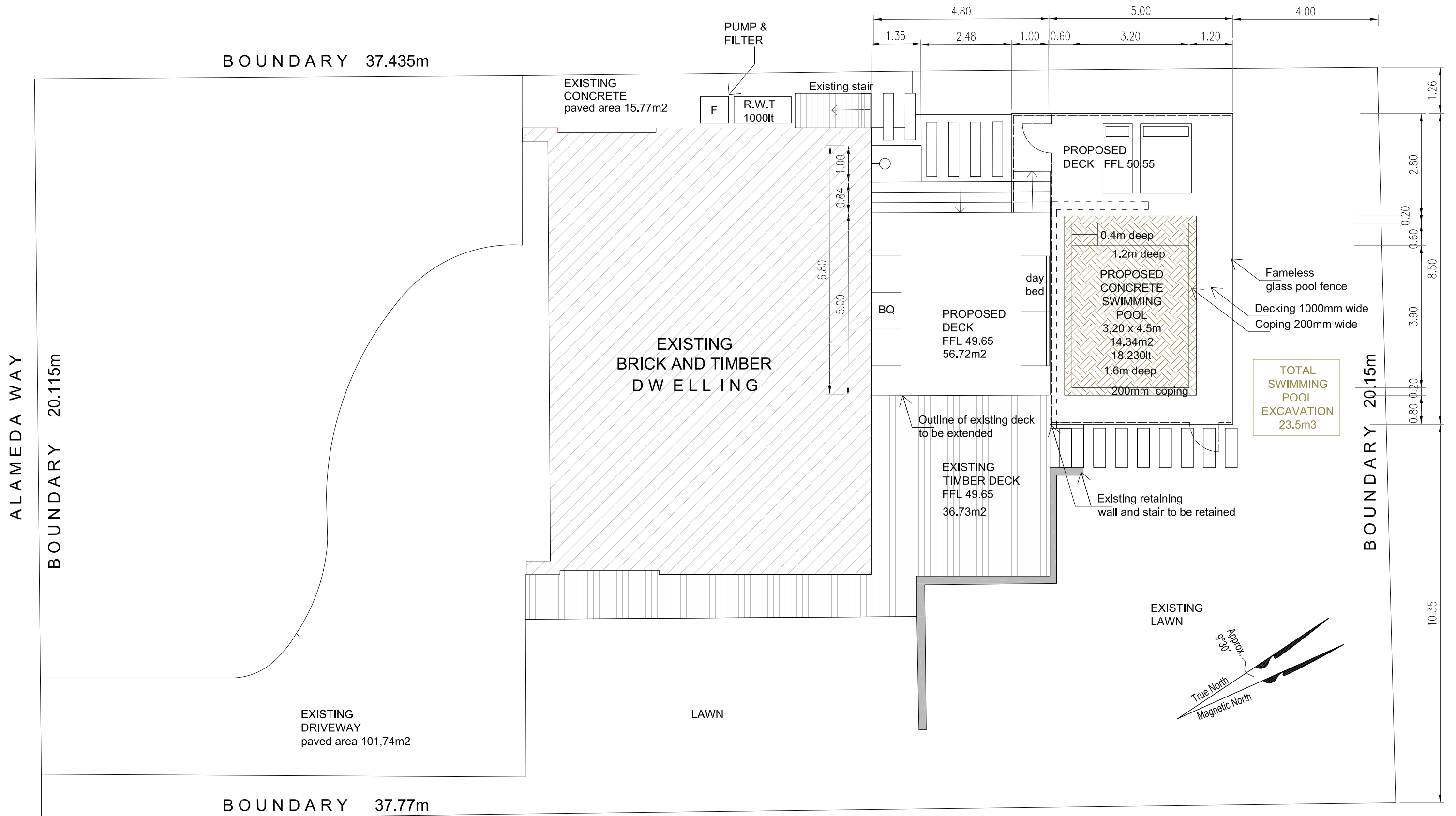
Client
CARLOS LOPES

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92 ALAMEDA WAY, WARRIEWOOD 2102
LOT: 9 DP:237425

Title
PROPOSED INGROUND CONCRETE
SWIMMING POOL & DECK

Plan
LANDSCAPE PLAN

Drawing Number
0403/03



EXCAVATIONS NOTES

METHODS OF EXCAVATION
- manual and mechanical excavation
- Remainder to be taken down by excavator and Bobcat loaded into trucks

CONTRACTOR DETAILS
- To be advised at later stage when appointed

WASTE MANAGMENT PLAN

ALL EXCAVATION AND CONSTRUCTION MATERIALS TO BE REMOVED FROM SITE AND DISPOSED AT AN APPROVED WASTE FACILITY



EXCAVATION AREA

EXCAVATION PLAN

SCALE_1:100

LEGEND

- FINISH LEVELS
- EXISTING LEVELS
- CONTOURS

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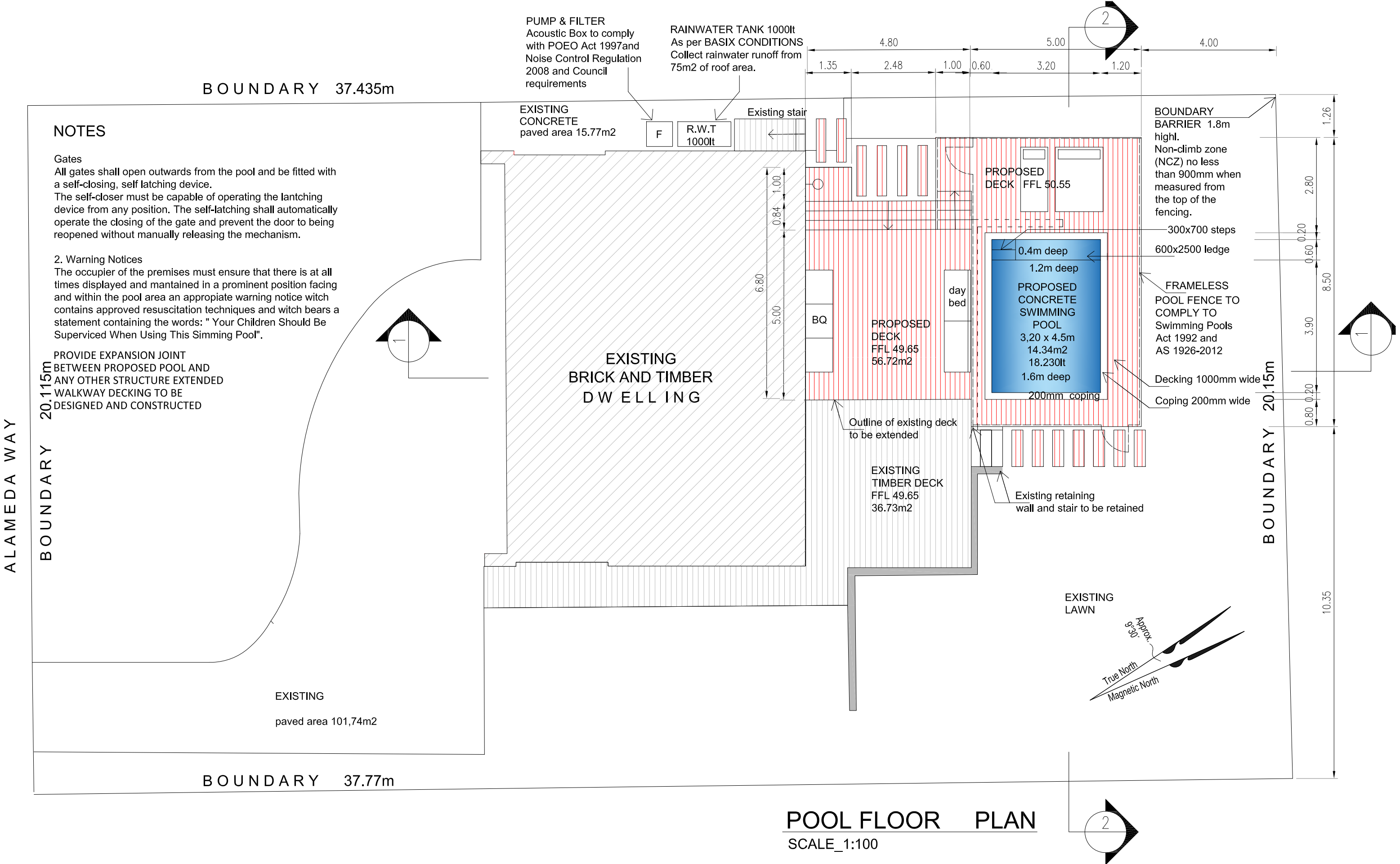
Client
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Title
PROPOSED INGROUND CONCRETE
SWIMMING POOL & DECK

Plan
DEMOLITION PLAN

Drawing Number
0403/05



NOTES

Gates
All gates shall open outwards from the pool and be fitted with a self-closing, self latching device.
The self-closer must be capable of operating the latching device from any position. The self-latching shall automatically operate the closing of the gate and prevent the door to being reopened without manually releasing the mechanism.

2. Warning Notices
The occupier of the premises must ensure that there is at all times displayed and maintained in a prominent position facing and within the pool area an appropriate warning notice which contains approved resuscitation techniques and which bears a statement containing the words: " Your Children Should Be Supervised When Using This Simming Pool".

PROVIDE EXPANSION JOINT
BETWEEN PROPOSED POOL AND
ANY OTHER STRUCTURE EXTENDED
WALKWAY DECKING TO BE
DESIGNED AND CONSTRUCTED

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Proyect	92 ALAMEDA WAY, WARRIEWOOD 2102	Plan	SWIMMING POOL FLOOR PLAN	Drawing Number
	LOT: 9 DP:237425			0403/06

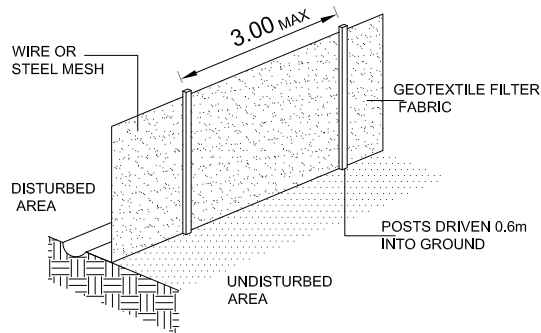
- LEGEND**
- FINISH LEVELS
 - EXISTING LEVELS
 - CONTOURS

SEDIMENT CONTROL NOTES

- 1- ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARD OF THE SOIL CONSERVATION OF NSW.
- 2- GRAINAGE SHALL BE CONSTRUCTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
- 3- SEDIMENT TRAMPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING DEEP TRENCH
- 4- ALL SEDIMENT BASINS AND TRAMPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIAL
- 5- ALL DISTURBED AREA SHALL BE REVEGITATED AS SOON AS THE RELEVANT WORKS TO BE COMPLETED
- 6- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE PIPES AND AREA WHERE WATER MAY CONCENTRATE.
- 7- SILT FENCE CONSTRUCTED AS PER DETAIL SHOWN OR BY USING AN APPROVED EQUIVALENT MEASURE. THE SILT FENCE IS TO BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES. THE SILT FENCES ARE TO BE CLEARED OF SILT AND OR OTHER BUILT UP MATERIALS.

SEDIMENT FENCE DETAIL

Not to scale



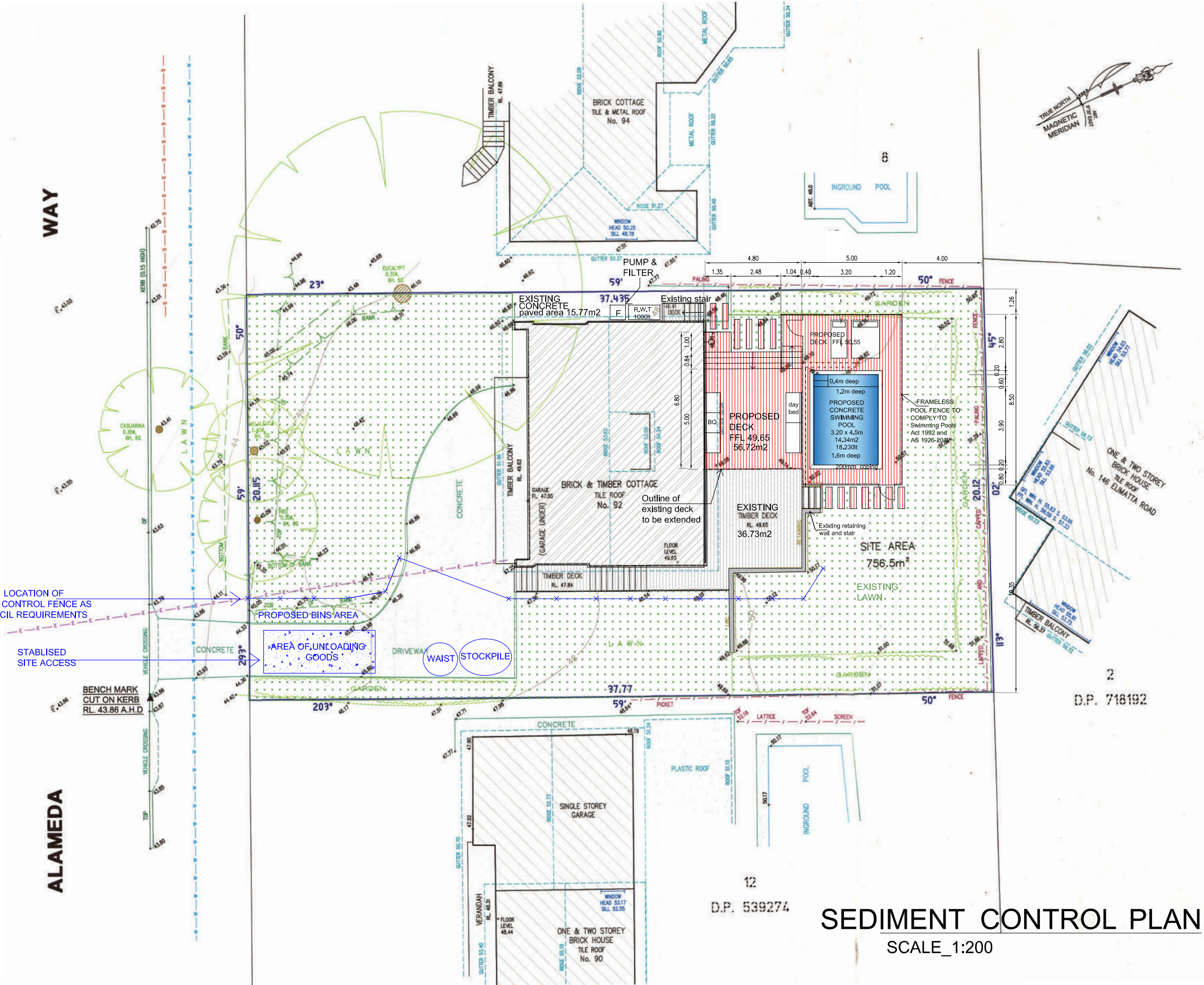
APPROX. LOCATION OF SEDIMENT CONTROL FENCE AS PER COUNCIL REQUIREMENTS

STABILISED SITE ACCESS

- LANDSCAPED AREA
- EXISTING PAVED AREA
- EXISTING DWELLING
- PROPOSED DECK
- PROPOSED POOL

WAY

ALAMEDA



SEDIMENT CONTROL PLAN

SCALE 1:200

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Title
PROPOSED INGROUND CONCRETE
SWIMMING POOL & DECK

Plan
EROSION AND SEDIMENT
CONTROL PLAN

Drawing Number
0403/07

ALAMEDA WAY

BOUNDARY 20.115m

BOUNDARY 37.435m

EXISTING
paved area 101,74m2

BOUNDARY 37.77m

EX.
DP

EXISTING
TILED ROOF
TO RAIN WATER TANK
75m2

EXISTING
TILED ROOF

PROPOSED
DECK
FFL 49.65
56.72m2

EXISTING
ROOF

RAINWATER TANK 1000lt
As per BASIX CONDITIONS
Collect rainwater runoff from
75m2 of roof area.

F R.W.T
1000lt

Existing stair

EX.
DP

PROPOSED
DECK FFL 50.55

0.4m deep
1.2m deep
PROPOSED
CONCRETE
SWIMMING
POOL
3,20 x 4.5m
14.34m2
18,230lt
1.6m deep
200mm coping

BOUNDARY
BARRIER 1.8m
high.
Non-climb zone
(NCZ) no less
than 900mm when
measured from
the top of the
fencing.

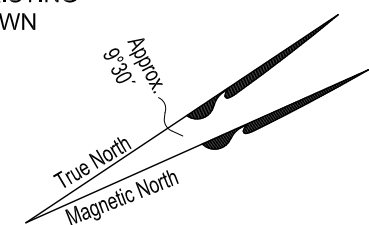
300x700 steps
600x2500 ledge

FRAMELESS
POOL FENCE TO
COMPLY TO
Swimming Pools
Act 1992 and
AS 1926-2012

Decking 1000mm wide
Coping 200mm wide

Existing retaining
wall and stair to be retained

EXISTING
LAWN



BOUNDARY 20.15m

10.35

8.50

2.80

1.26

ROOF PLAN

SCALE_1:100

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Title
PROPOSED INGROUND CONCRETE
SWIMMING POOL & DECK

Plan
ROOF PLAN

Drawing Number
0403/08

LEGEND

- FINISH LEVELS
- EXISTING LEVELS
- CONTOURS

Alterations and Additions

Certificate number: A371831

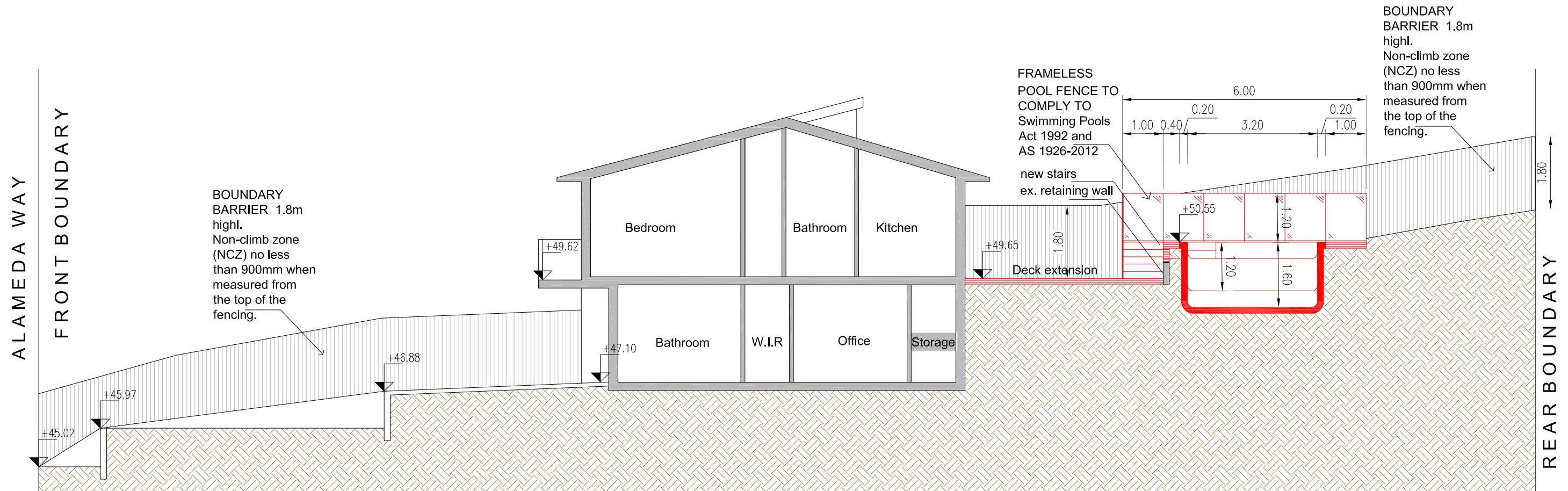
Description of project

Project address	
Project name	92 ALAMEDA WAY
Street address	92 ALAMEDA WAY WARRIEWOOD 2102
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 237425
Lot number	9
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

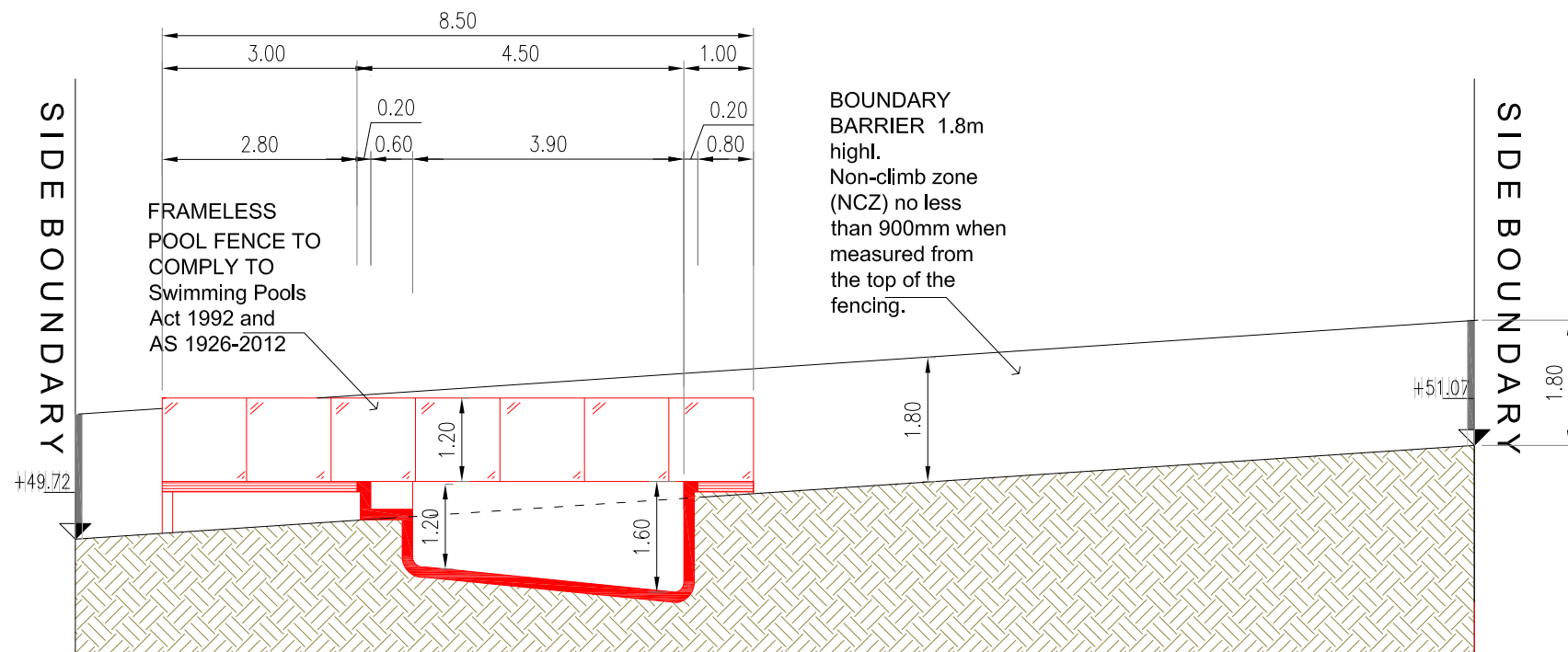
Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 75 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 22.1 kilolitres.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

DRAFT MMMC MOB: 0424507706 Email: macamartinezcasas@gmail.com	Client CARLOS LOPES	Title PROPOSED INGROUND CONCRETE SWIMMING POOL & DECK	
	Project 92 ALAMEDA WAY, WARRIEWOOD 2102 LOT: 9 DP:237425	Plan BASIX CERTIFICATE COMPLIANCE	Drawing Number 0403/09



SECTION ELEVATION PLAN
SCALE_1:100



SECTION ELEVATION PLAN
SCALE_1:100

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92 ALAMEDA WAY, WARRIEWOOD 2102
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Title
PROPOSED INGROUND CONCRETE
SWIMMING POOL & DECK

Plan
SECTION ELEVATION PLAN

Drawing Number
0403/10

LEGEND

- FINISH LEVELS
- EXISTING LEVELS
- CONTOURS

WASTE MANAGMENT PLAN

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EXCAVATIONS NOTES

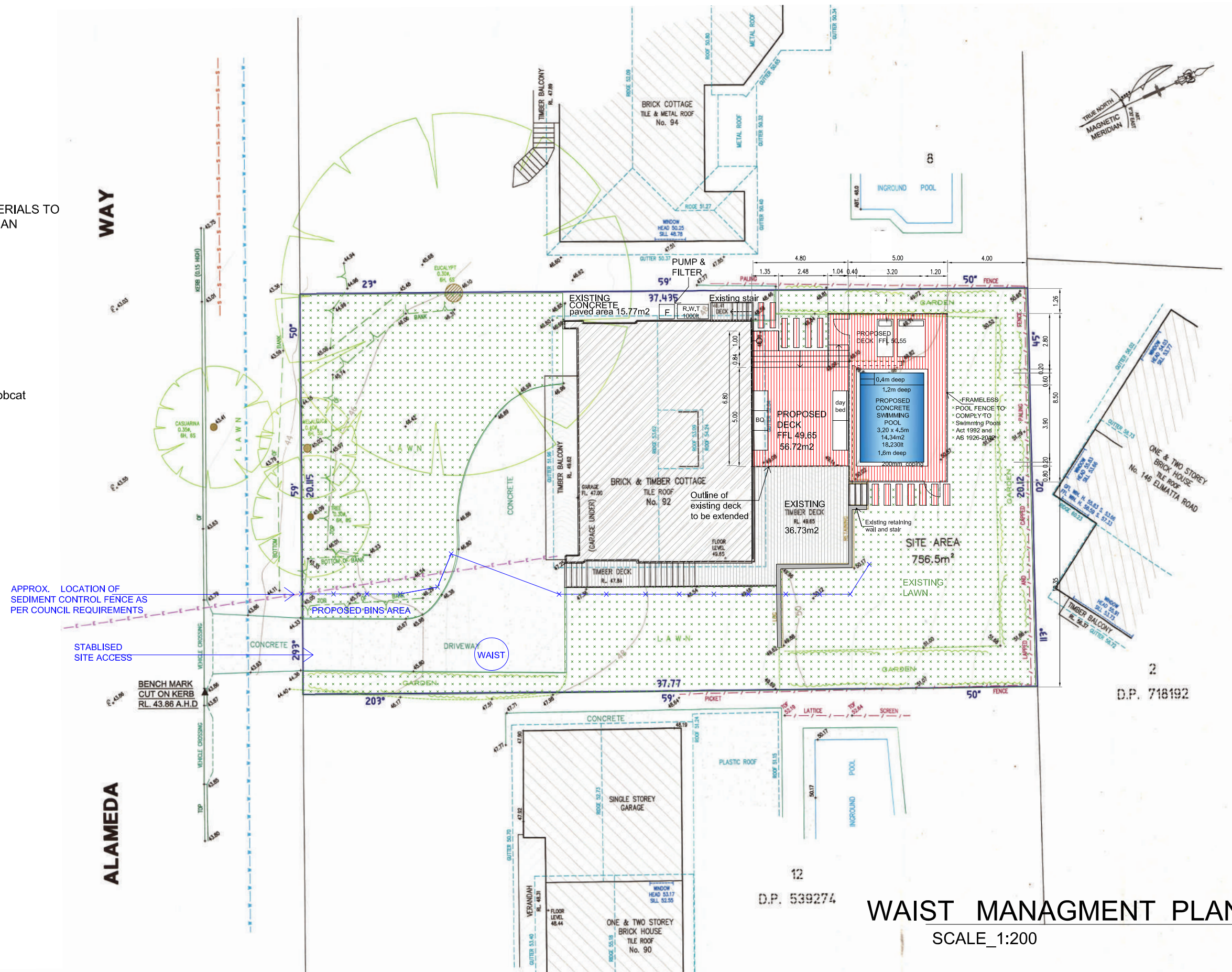
METHODS OF EXCAVATION

- manual and mechanical excavation
- Remainder to be taken down by excavator and Bobcat loaded into trucks

CONTRACTOR DETAILS

- To be advised at later stage when appointed

- LANDSCAPED AREA
- EXISTING PAVED AREA
- EXISTING DWELLING
- PROPOSED DECK
- PROPOSED POOL



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Client
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92 ALAMEDA WAY, WARRIEWOOD 2102
LOT: 9 DP:237425

Title
PROPOSED INGROUND CONCRETE
SWIMMING POOL & DECK

Plan
WAIST MANAGEMENT PLAN

Drawing Number
0403/11