

LOT 3
D.P: 29884
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
 IN ACCORDANCE WITH
 WARRINGAH DCP 2011**

SITE AREA	732.5 m ²
ROOF AREA	240.06 m ²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 2.0m)	464.84 m ² 63.45 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 5.0m)	218.8 m ²
MIN. REQUIRED BY COUNCIL:	60 m ²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

BUILDING ENVELOPE
 BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY

SITE COVERAGE
STORMWATER CALCULATION

ROOF FOOTPRINT:	251.11 m ²
DRIVEWAY/ PAVED AREAS:	38.95 m ²
TOTAL:	290.06 m ²
	39.59 %
MAX SITE COVERAGE FOR OSD:	40%

BASIX LANDSCAPED AREA

TOTAL LANDSCAPE AREA: (EXCLUDES HARD SURFACES)	464.84 m ² 63.45 %
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CLASSIFICATION

WIND	SLAB	CLIMATE
N2	H1	ZONE 5

NOTE:
 ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

RETAINING WALLS TO BE CONSTRUCTED WHOLLY WITHIN PROPERTY BOUNDARY INCLUDING DRAINAGE AND FOOTINGS

NOTE:
 OWNER TO DEMOLISH & REMOVE FROM SITE EXISTING HOUSE, INCLUDING FOOTINGS & SERVICES ABOVE & BELOW GROUND, PATHS, DRIVE, TREES & FENCES ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

STORMWATER TO STREET VIA RAINWATER TANK
 REFER TO HYDRAULIC DETAILS

LOXTON PLACE

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1610



REFER TO PAGE 7 FOR DRIVEWAY PROFILE

GRATED DRAIN TO FRONT OF GARAGE BY OWNER AFTER HANDOVER.
 OWNER TO SEEK ADVICE FROM A HYDRAULIC ENGINEER FOR THE SIZE OF THE GRATE

**LEVELS ARE STRICTLY TO BE ADHERED TO AS SHOWN ON SITE PLAN
 NO + OR - 100mm TOLERANCE TO LEVELS**

DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

DENOTES TREES TO BE PRUNED BY OWNER PRIOR TO CONSTRUCTION

SITE PLAN

SCALE 1:200
 GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
 ABN 18 003 892 706

Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

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PRODUCT:
SARATOGA 40
 Oxford
 R/H Garage
 LUXE

CLIENT:
 Mr. SIMONIAN
 Mrs. KANJIAN

SITE ADDRESS:
 Lot 3, No.1
 Loxton Place
 FORESTVILLE 2087

DA DRAWINGS

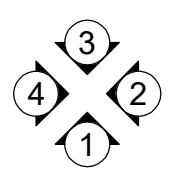
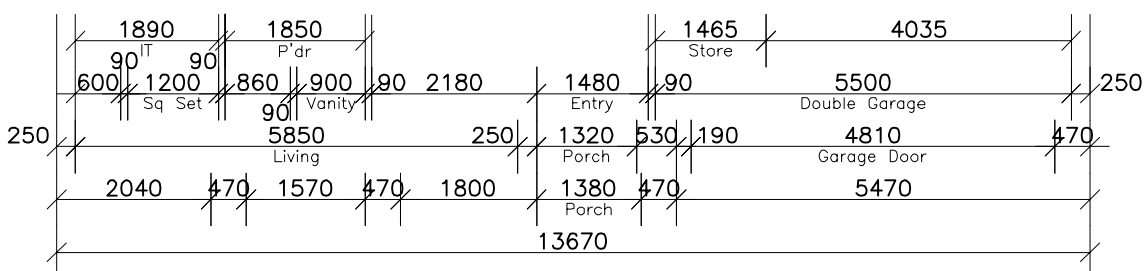
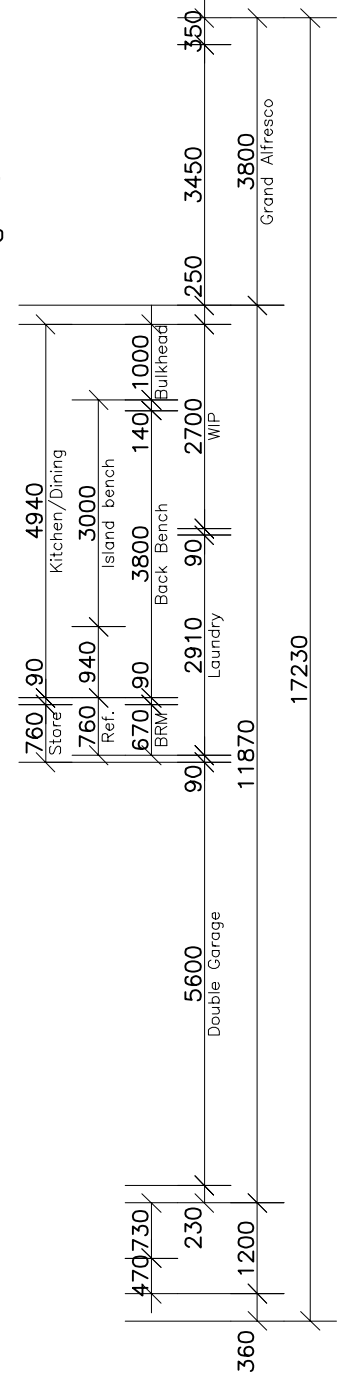
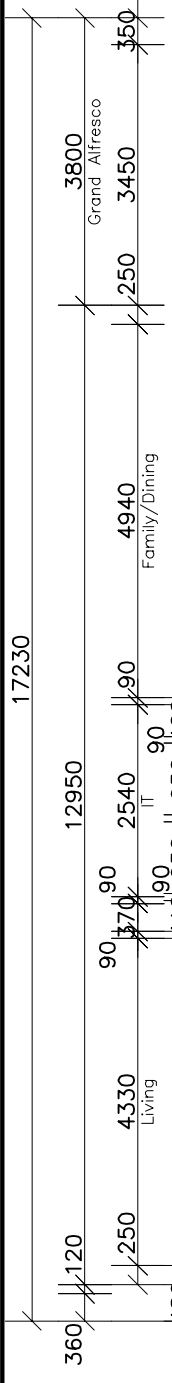
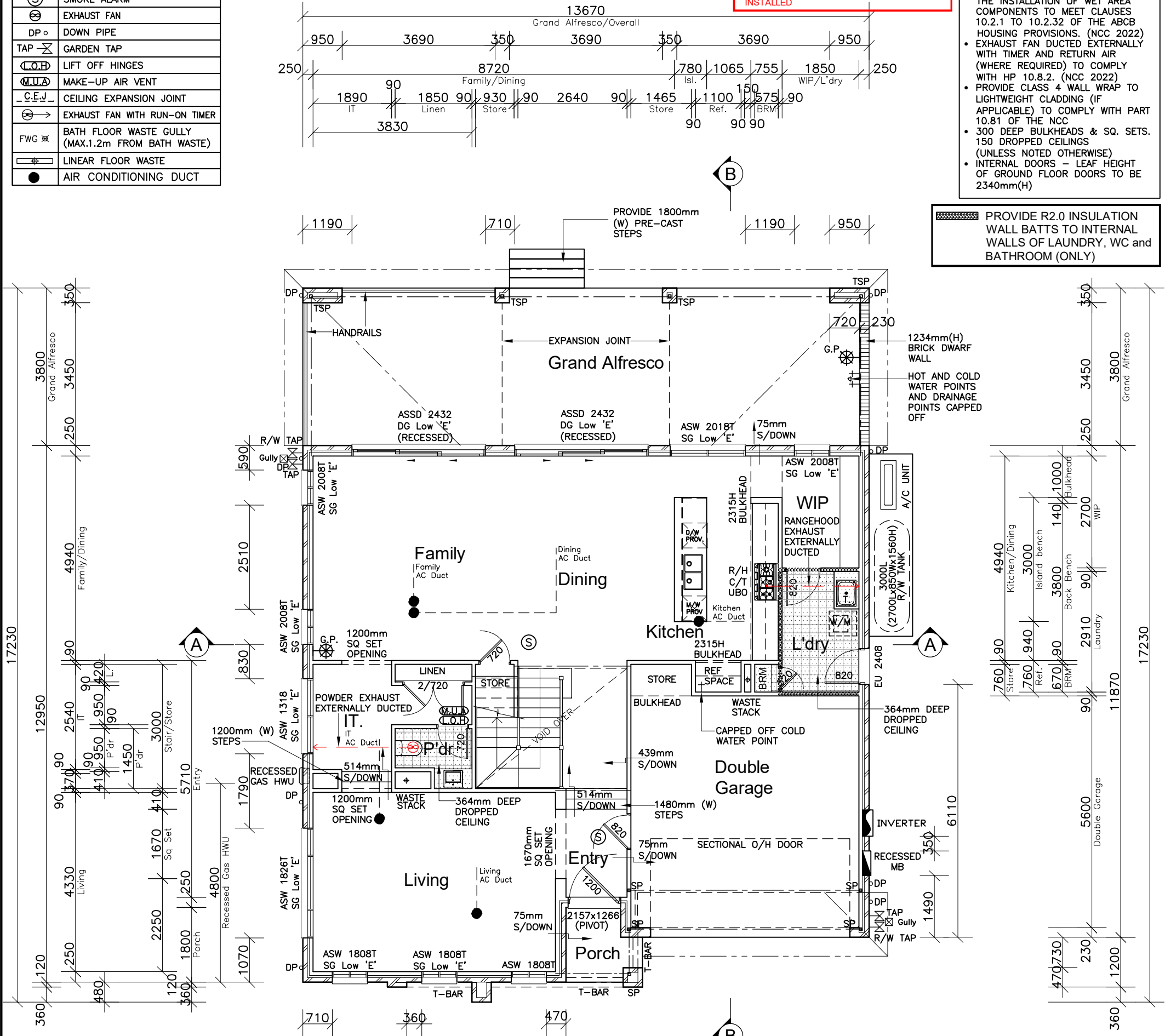
DRAWN: MTK	DATE: 29.08.24	Rev: E
RATIO @A3: 1:200	CHECKED: AL	
SHEET: 2	JOB No: 29917284	NSW

---	STRUCTURAL BEAM
SP	STEEL POST
TSP	TELESCOPIC STEEL POST
(S)	SMOKE ALARM
(E)	EXHAUST FAN
DP	DOWN PIPE
TAP	GARDEN TAP
(C.O.B)	LIFT OFF HINGES
(M.U.A)	MAKE-UP AIR VENT
(C.E.J)	CEILING EXPANSION JOINT
(E)	EXHAUST FAN WITH RUN-ON TIMER
FWG	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
(#)	LINEAR FLOOR WASTE
(●)	AIR CONDITIONING DUCT

NOTE -
CLIENT TO INSTALL CEILING FANS TO FAMILY AND LEISURE AFTER HANDOVER TO COMPLY WITH BASIX REQUIREMENTS
O.C WON'T BE ISSUED UNTIL CEILING FANS INSTALLED

- NOTES**
- SHOWERS - ALL GROUND FLOOR SHOWERS TO HAVE RECESSED SLAB
 - WATERPROOFING - MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
 - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
 - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.8.1 OF THE NCC
 - 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)
 - INTERNAL DOORS - LEAF HEIGHT OF GROUND FLOOR DOORS TO BE 2340mm(H)

PROVIDE R2.0 INSULATION WALL BATTS TO INTERNAL WALLS OF LAUNDRY, WC and BATHROOM (ONLY)



GROUND FLOOR PLAN

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1610



EPOXY FLOOR REFER TO SCHEDULE FOR GARAGE FLOOR FINISH

NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

SOLAR INCLUSION
* 3.3 KW SMART SOLAR SYSTEM
* INVERTER

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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PRODUCT:
SARATOGA 40
Oxford
R/H Garage
LUXE

CLIENT:
Mr. SIMONIAN
Mrs. KANJIAN

SITE ADDRESS:
Lot 3, No.1
Loxton Place
FORESTVILLE 2087

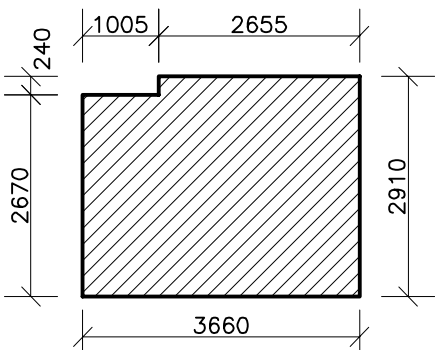
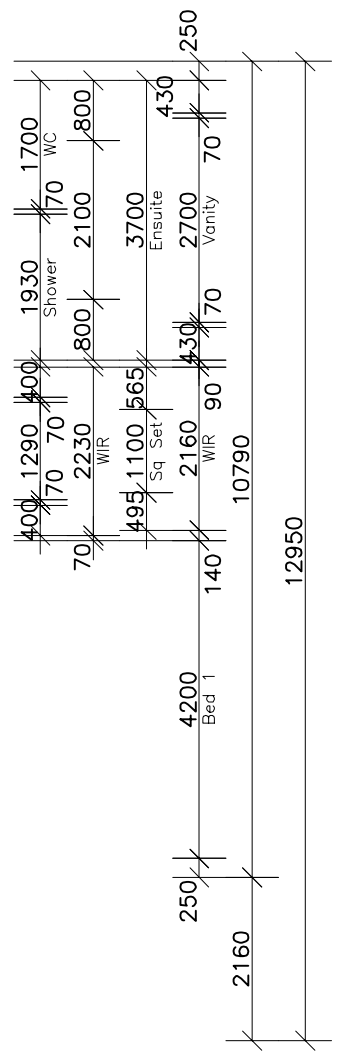
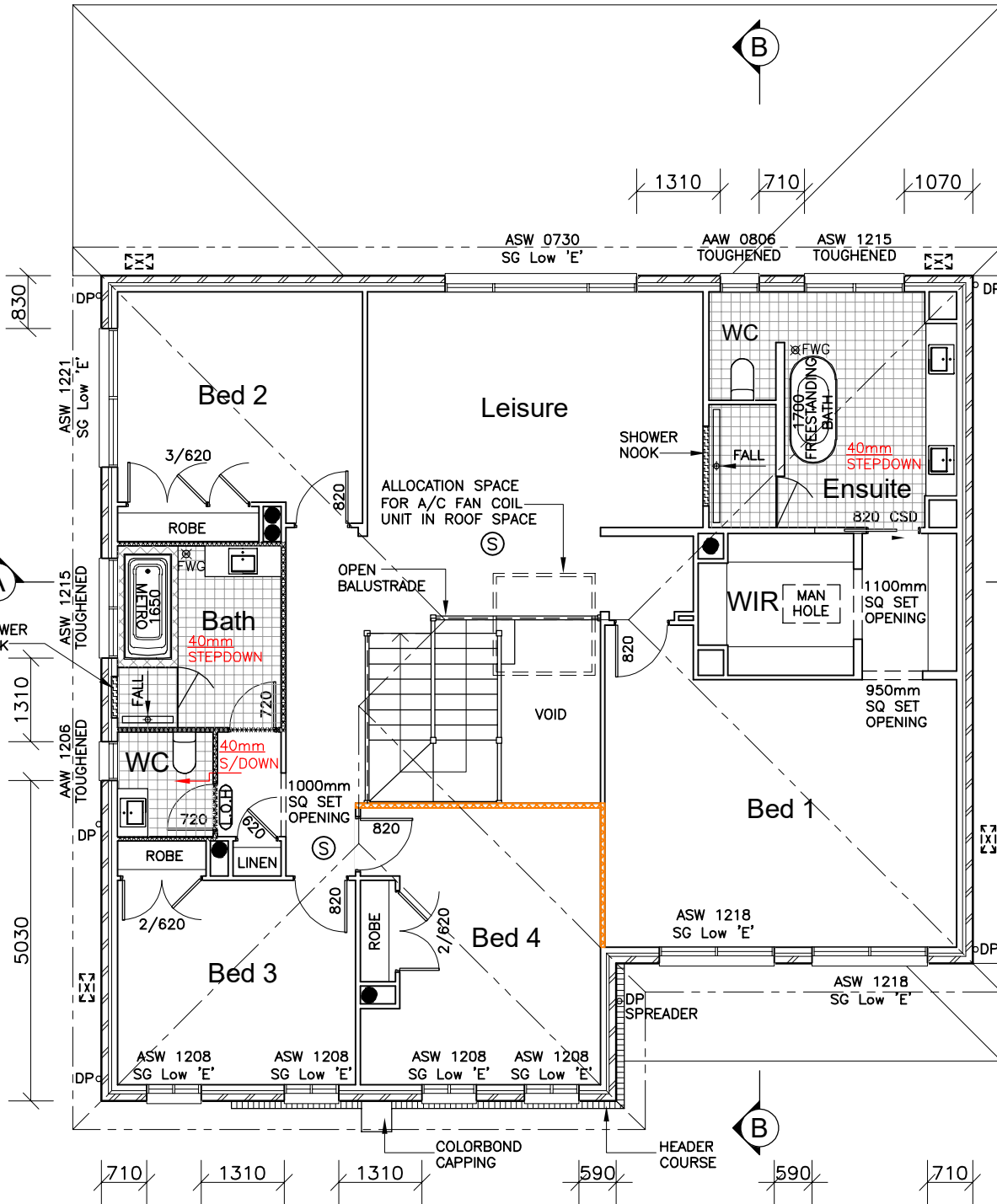
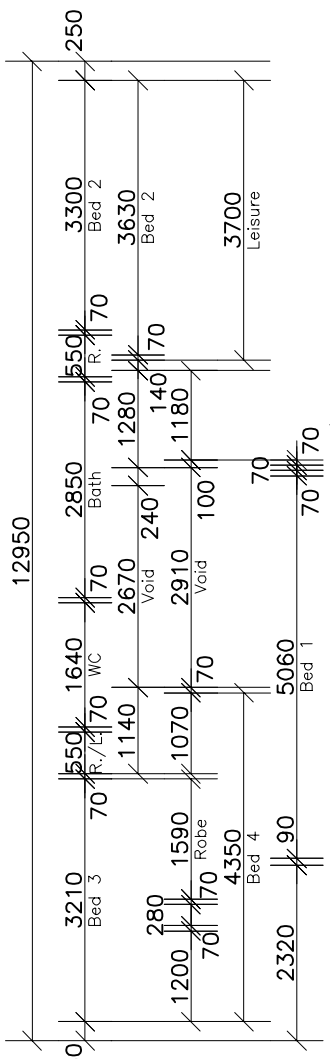
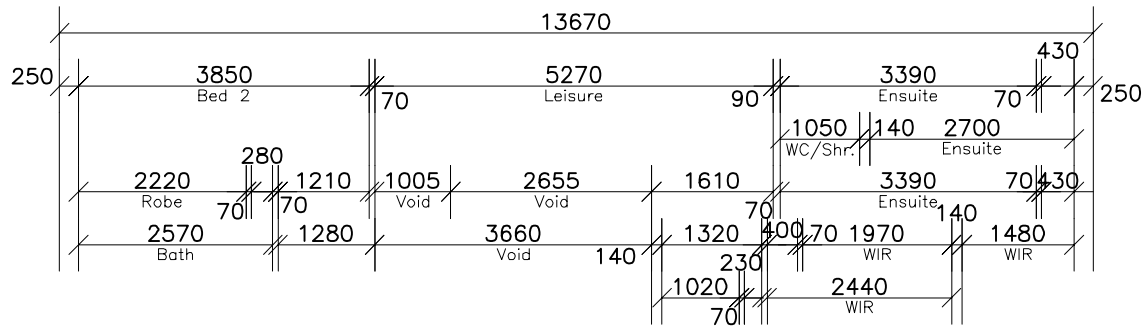
DA DRAWINGS		
DRAWN: MTK	DATE: 29.08.24	Rev: E
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 3	JOB No: 29917284	NSW

⊙	SMOKE ALARM
⊗	EXHAUST FAN
DP ○	DOWN PIPE LOCATION
TAP ⊗	TELESCOPIC STEEL POST
⊕	LIFT OFF HINGES
MUA	MAKE-UP AIR VENT
⊗	EAVE VENTS
⊗ →	EXHAUST FAN WITH RUN-ON TIMER
FWG ⊗	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
—	LINEAR FLOOR WASTE
▤	LOAD BEARING WALLS
●	AIR CONDITIONING DUCT

NOTE -
CLIENT TO INSTALL CEILING FANS TO FAMILY AND LEISURE AFTER HANDOVER TO COMPLY WITH BASIX REQUIREMENTS
O.C WON'T BE ISSUED UNTIL CEILING FANS INSTALLED

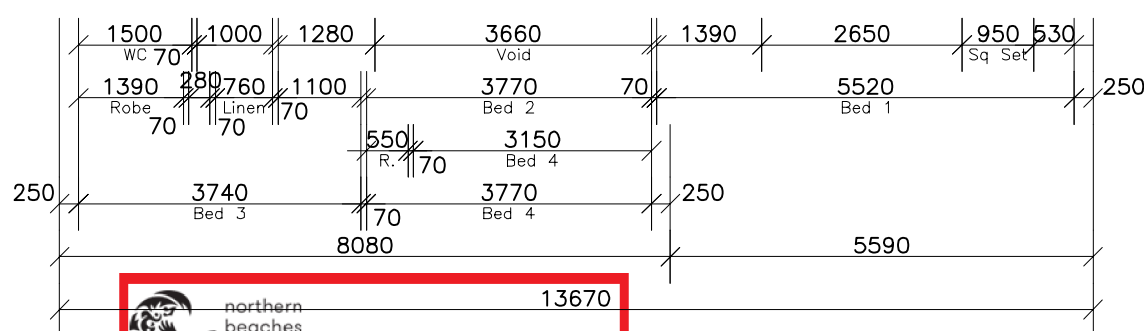
- NOTES**
- WET AREAS – ALL WET AREAS TO FIRST FLOOR TO HAVE RECESSED JOISTS.
 - WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
 - BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.
 - WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC
 - WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC
 - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
 - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC
 - 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)

PROVIDE R2.0 INSULATION WALL BATTS TO INTERNAL WALLS OF LAUNDRY, WC and BATHROOM (ONLY)



STAIR CUTOUT
SCALE 1:100

FIRST FLOOR PLAN



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2024/1610



NOTE:
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 11 FOR DETAILS

SOLAR INCLUSION
* 3.3 KW SMART SOLAR SYSTEM
* INVERTER

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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SARATOGA 40
Oxford
R/H Garage

LUXE

CLIENT:
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Mrs. KANJIAN


SITE ADDRESS:
Lot 3, No.1
Loxton Place
FORESTVILLE 2087

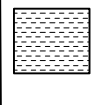
DA DRAWINGS

DRAWN: MTK	DATE: 29.08.24	Rev: E
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 4	JOB No: 29917284	NSW

SOLAR INCLUSION
 * 3.3 KW SMART SOLAR SYSTEM
 * INVERTER

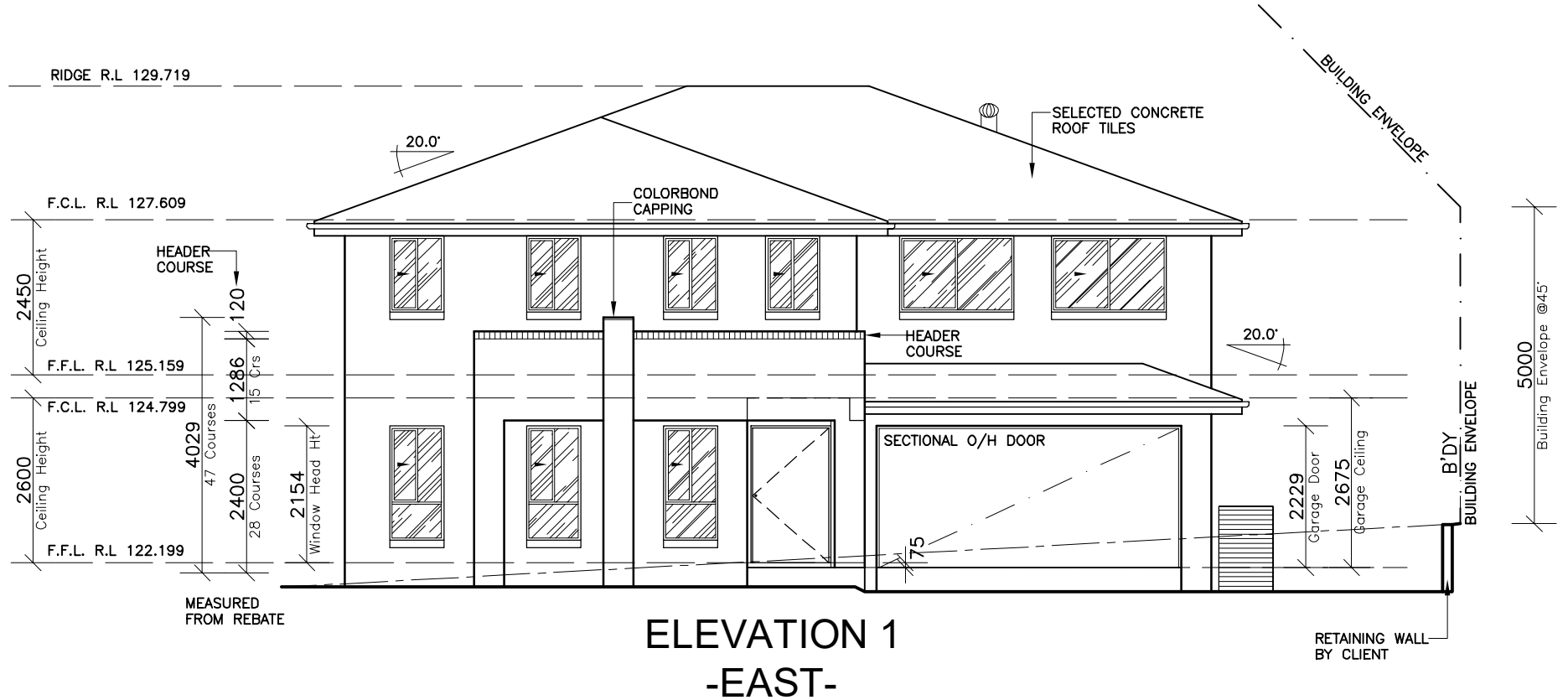
NOTE:
 FOR ROOF PITCHES 20° OR LOWER -
 ROOF TILE SELECTION WILL BE
 IMPACTED.

 DENOTES WINDOWS WITH
 SINGLE GLAZED LOW 'E'
 GLAZING

 DENOTES WINDOWS AND
 DOORS WITH DOUBLE
 GLAZED ARGON FILLED
 LOW 'E' GLAZING

NOTES:
 FOR DROP-OFF'S REFER
 TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
 HEIGHT OF DROP EDGE BEAM MAY
 VARY DUE TO SITE CONDITIONS
 UPON COMPLETION OF SITE WORKS

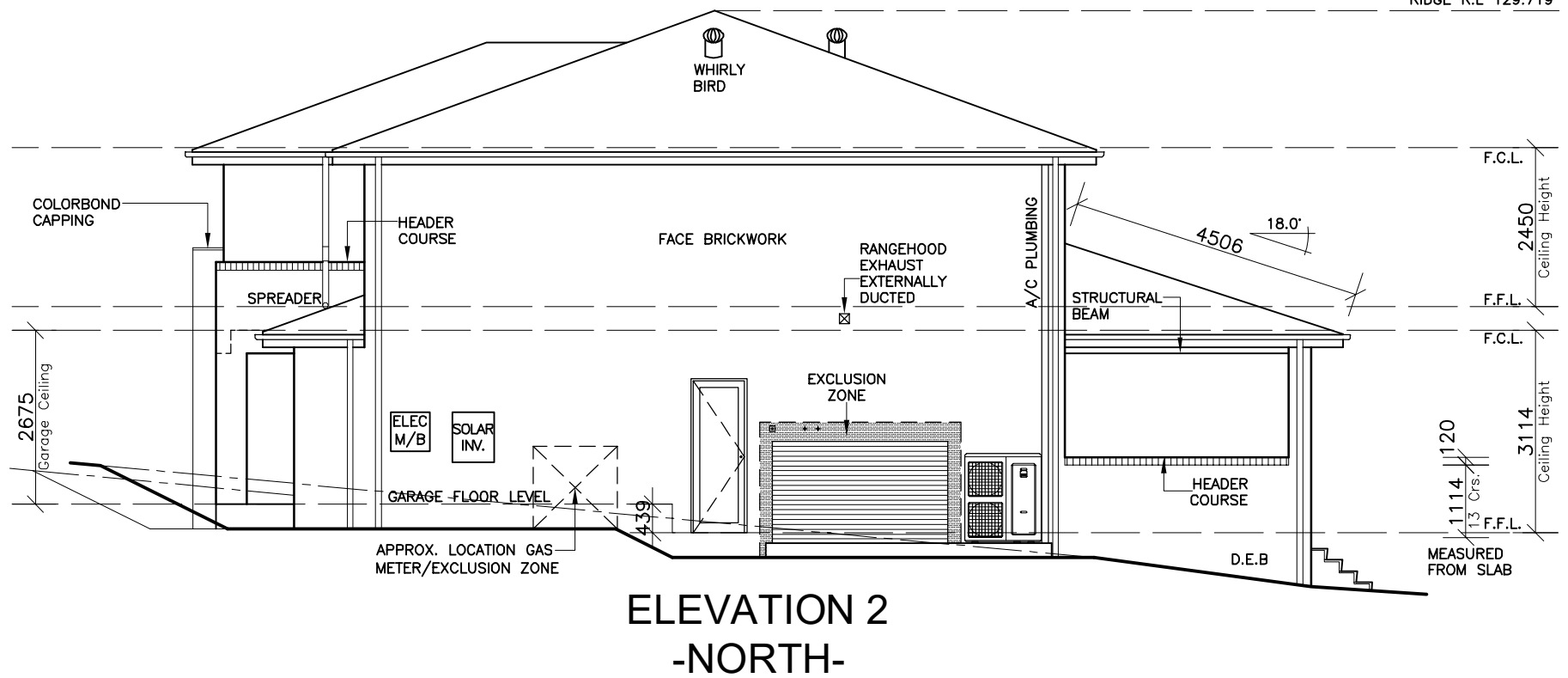


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 CONSENT**

DA2024/1610

RIDGE R.L. 129.719




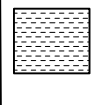
CLIENT'S SIGNATURE: _____ DATE: _____

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				DRAWN: MTK	DATE: 29.08.24	Rev: E
				RATIO @ A3: 1:100	CHECKED: AL	5
				SHEET:	JOB No: 29917284	

SOLAR INCLUSION
 * 3.3 KW SMART SOLAR SYSTEM
 * INVERTER

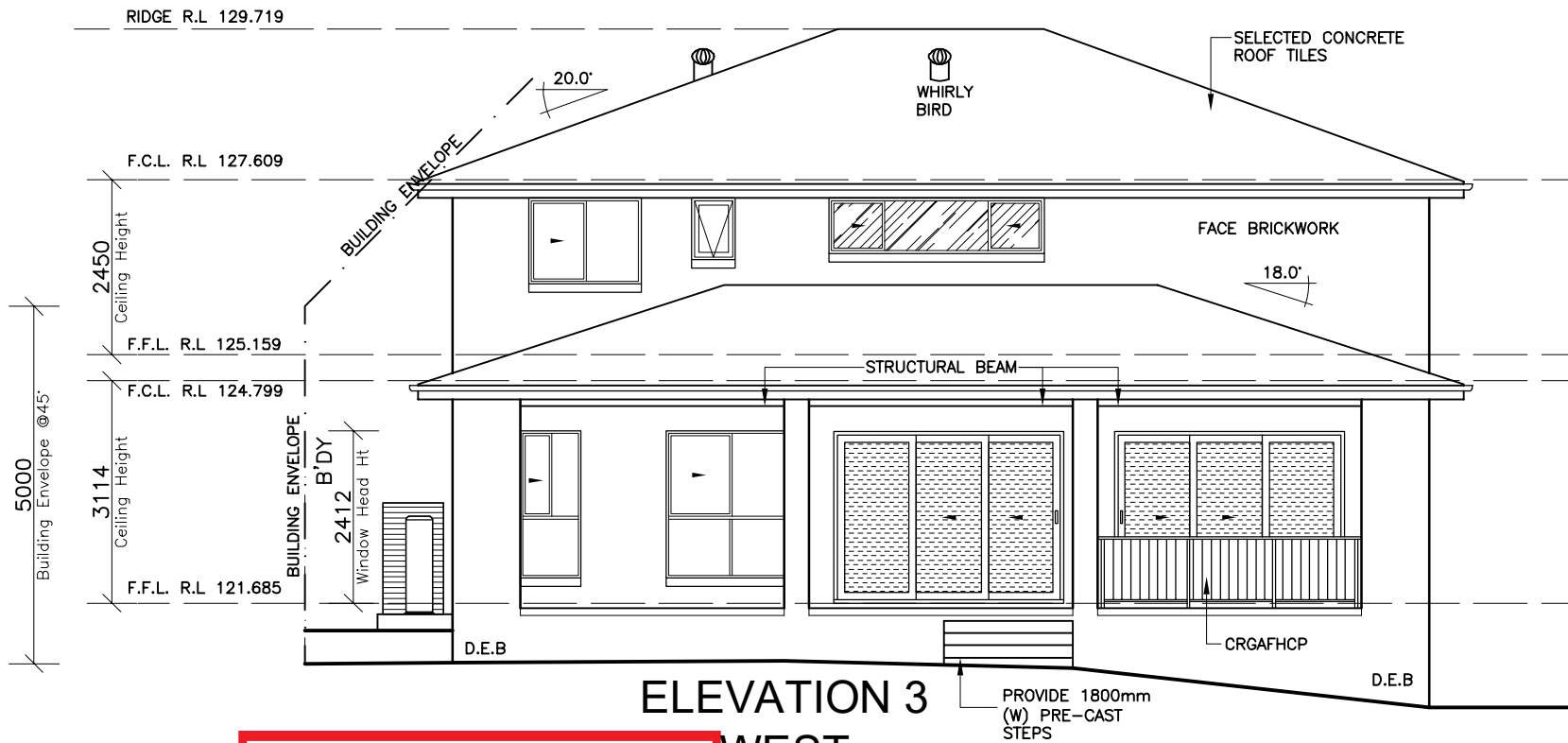
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 FOR ROOF PITCHES 20° OR LOWER -
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 SINGLE GLAZED LOW 'E'
 GLAZING


 DENOTES WINDOWS AND
 DOORS WITH DOUBLE
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 LOW 'E' GLAZING

NOTES:
 FOR DROP-OFF'S REFER
 TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
 HEIGHT OF DROP EDGE BEAM MAY
 VARY DUE TO SITE CONDITIONS
 UPON COMPLETION OF SITE WORKS

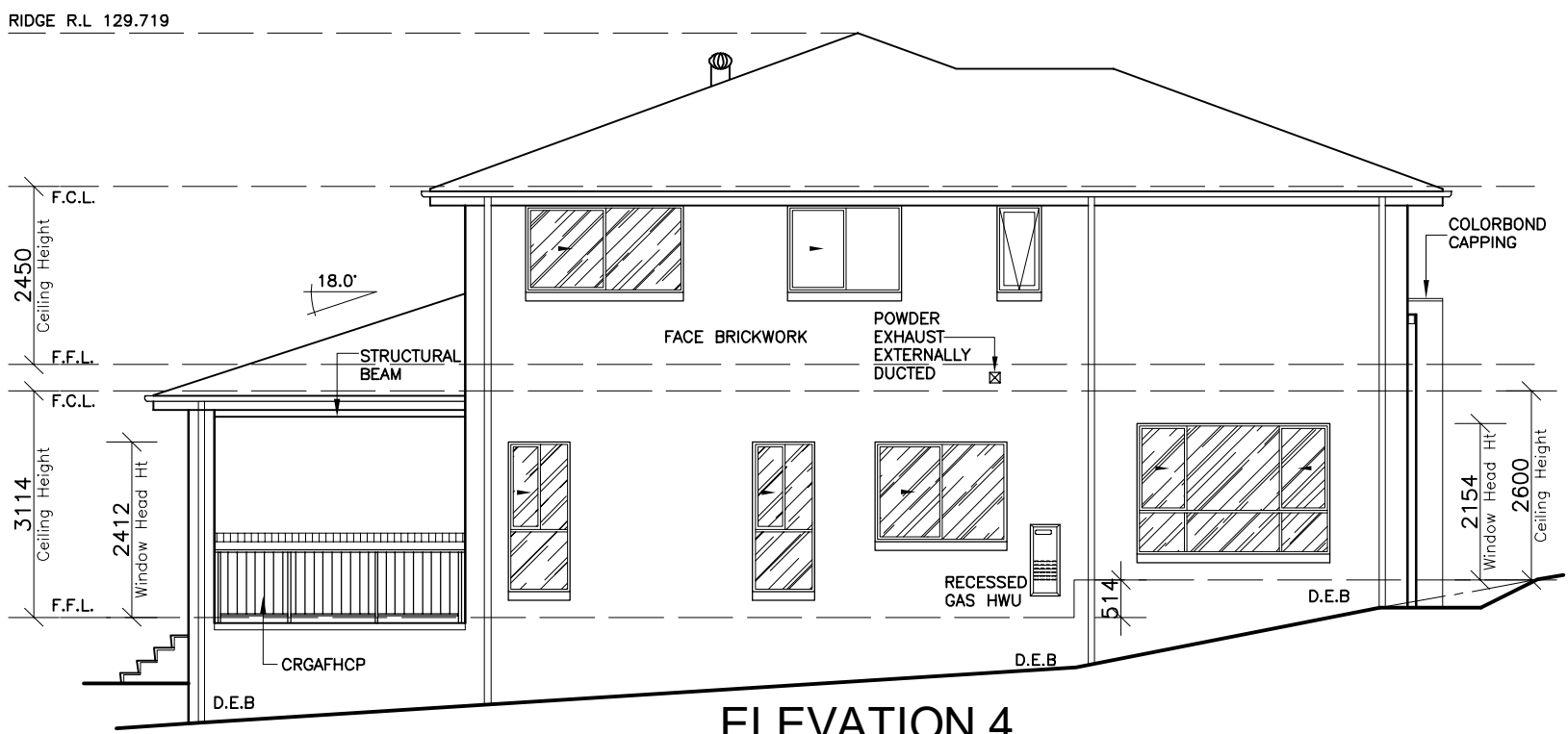


ELEVATION 3
-WEST-

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 CONSENT**


DA2024/1610



ELEVATION 4
-SOUTH-



CLIENT'S SIGNATURE: _____ DATE: _____

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				DRAWN: MTK	DATE: 29.08.24	Rev: E
				RATIO @ A3: 1:100	CHECKED: AL	SHEET: 6
				JOB No: 29917284	NSW	

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO GROUND FLOOR TO BE 2340mm(H)

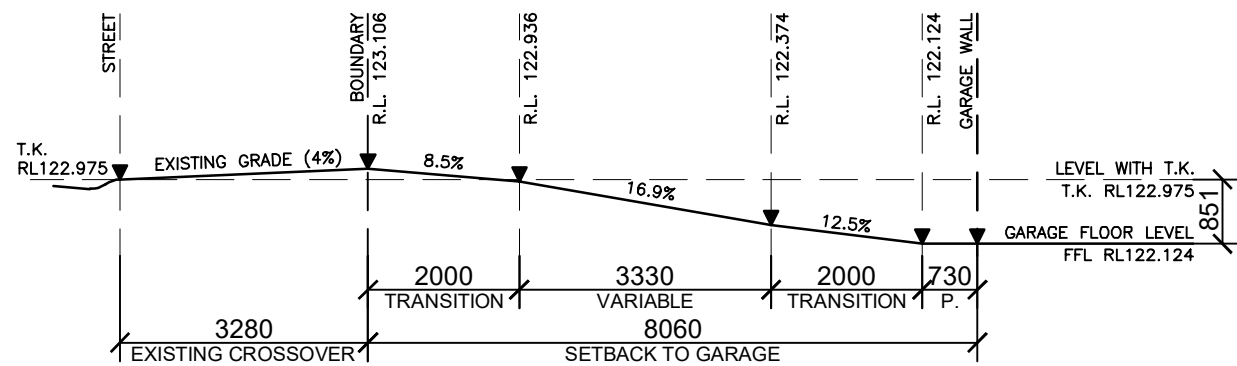
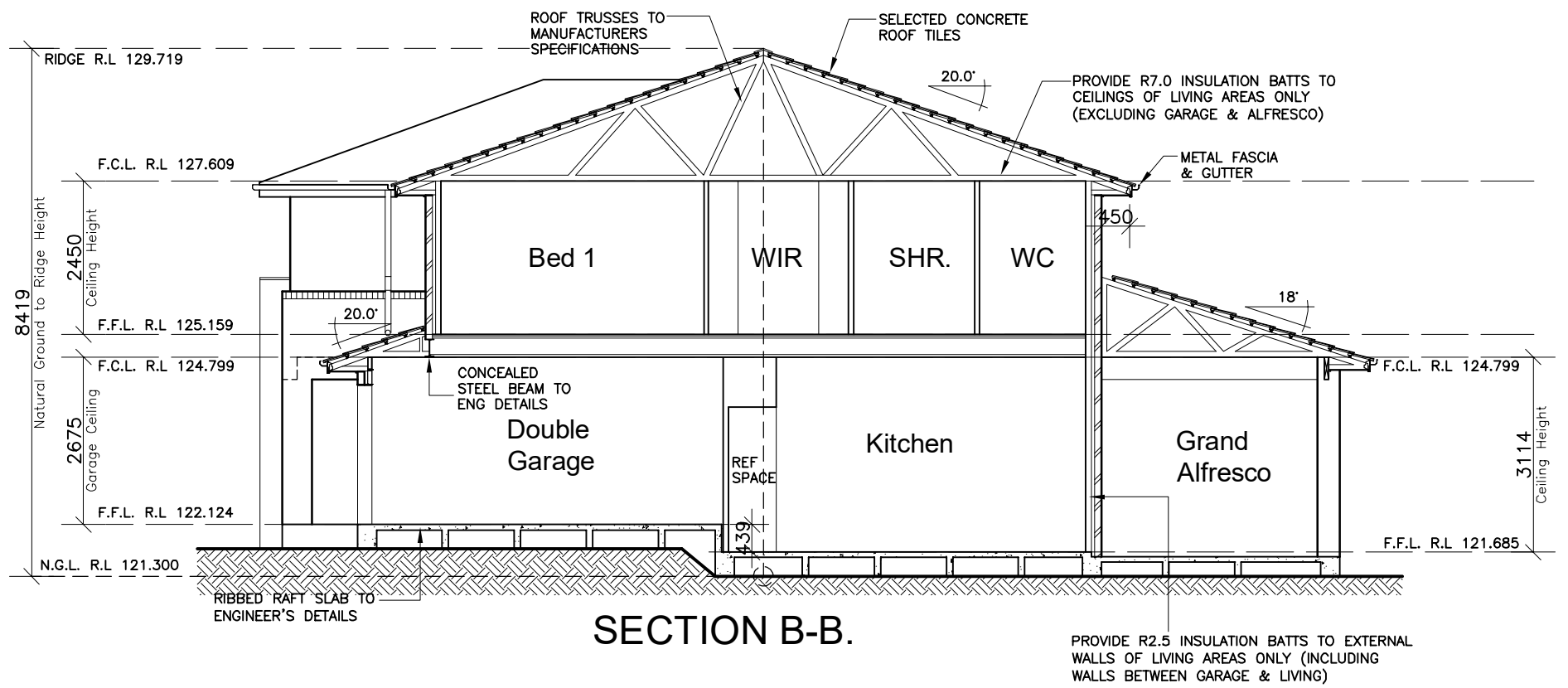
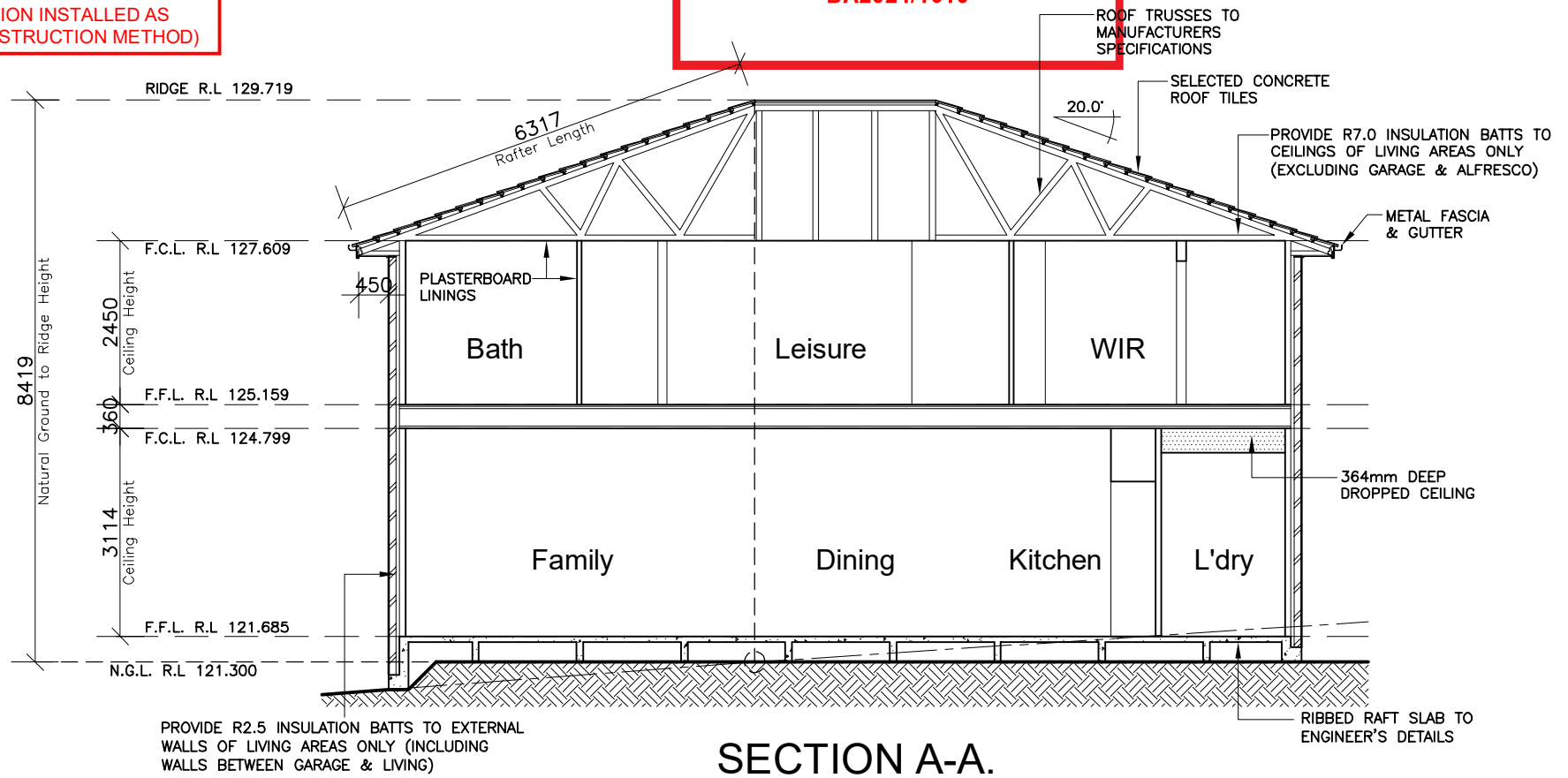
PROVIDE R5.0 INSULATION BATTS TO CEILING JOISTS BETWEEN GARAGE & FIRST FLOOR

PROVIDE R5.0 INSULATION BATTS TO CEILING JOISTS BETWEEN PORCH & FIRST FLOOR (R3.5 INSULATION INSTALLED AS PART OF CONSTRUCTION METHOD)

northern beaches council

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DA2024/1610



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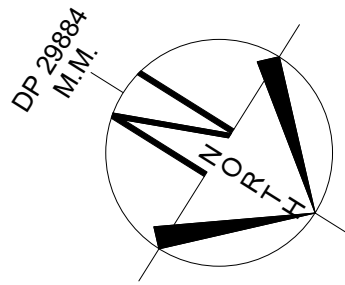
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DRAWN: MTK	DATE: 29.08.24	Rev: E	
RATIO @ A3: 1:100	CHECKED: AL		
SHEET: 7	JOB No: 29917284	NSW	



ALTONA AVENUE


LOXTON PLACE

Legend

-  Colour / Stencil Concrete
-  Planting Areas
-  Lawn Areas
-  1800mm High Boundary Fencing
-  Existing Trees To Be Removed
-  Existing Trees To Be Retained

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	26/09/24
B	Client: Email	JS	04/10/24

Drafted: JS	Scale: 1:200 
Sheet: 1 of 3	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

- General Notes:
- See Architects drawings for site levels, setbacks and extent of cut and fill.
 - This plan shall be read in conjunction with the Hydraulic Engineers drawings.
 - All relevant Australian standards are to be adhered to.
 - Any structural items are to be installed as per the manufacturer/engineers specifications.
 - This plan is indicative only and not for construction purposes.

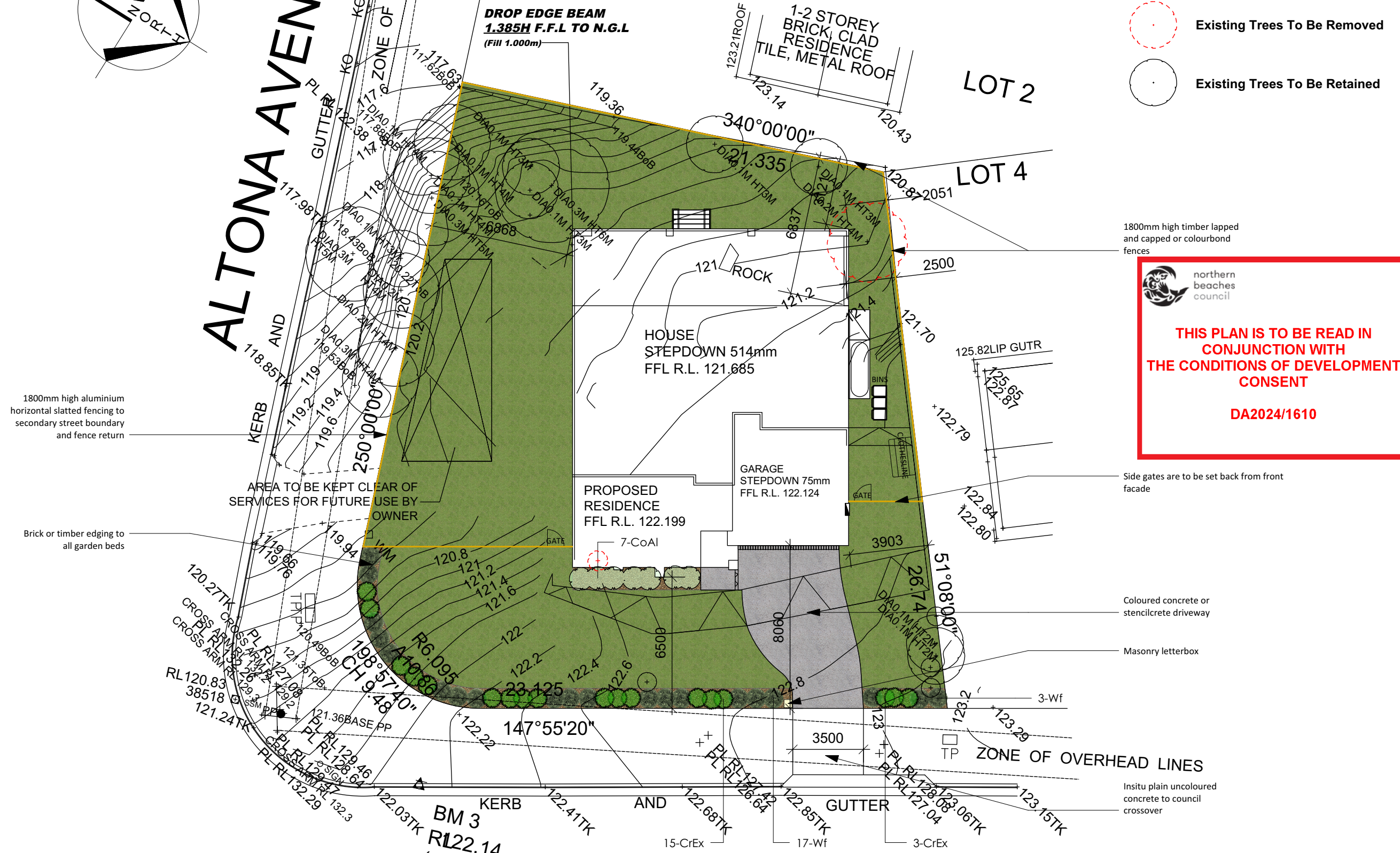
SITE CALCULATIONS

LOT AREA	732.5 sq m
LANDSCAPED AREA TOTAL	463.1 sq m 63.222%



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1610



1800mm high aluminium horizontal slatted fencing to secondary street boundary and fence return

Brick or timber edging to all garden beds

AREA TO BE KEPT CLEAR OF SERVICES FOR FUTURE USE BY OWNER

1800mm high timber lapped and capped or colourbond fences

Side gates are to be set back from front facade

Coloured concrete or stencilcrete driveway

Masonry letterbox

In situ plain uncoloured concrete to council crossover

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Simonian**
Mrs Kanjian

Client Signatures:
1.
2.

Job No. **240299**

Drawing: **Landscape Plan**

Address: **Lot 3, No 1 Loxton Place**
Forestville NSW

Council/Lodgement:
Northern Beaches/DA

DappleDesigns

Ph: 1300 DAPPLE
(1300 327753)
E: info@dappledesigns.com.au
www.dappledesigns.com.au

Any existing trees are to be protected in accordance with councils Tree Protection Detail

[Click Here to View Our Plant Profiles!](#)

LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINED WHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEASE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	NATIVE?	QTY	POT SIZE
SHRUBS							
	CoAl	CORREA ALBA	WHITE CORREA	1.2M X1.2M	YES	7	200MM
	CrEx	CROWEA EXALATA	AUSTRALIAN CROWEA	1M X 1M	YES	18	200MM
	Wf	WESTRINGIA FRUITICOSA	COASTAL ROSEMARY	UP TO 1.5M TRIMMED	YES	20	200MM

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER '**HAVEN' BRICK EDGING** OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR '**TREATED TIMBER EDGING** SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENANCE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

a) REPLACEMENTS: ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

b) WATERING: REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

c) GARDEN BEDS: GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

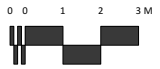
d) LAWN AREAS: LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFIED IN THE PLAN.

e) PRUNING: ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

f) FERTILISING: 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	26/09/24
B	Client: Email	JS	04/10/24

Drafted: JS	Scale: 1:200 
Sheet: 2 of 3	Reference: LP 01

Designed by:

Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:

- See Architects drawings for site levels, setbacks and extent of cut and fill.
- This plan shall be read in conjunction with the Hydraulic Engineers drawings.
- All relevant Australian standards are to be adhered to.
- Any structural items are to be installed as per the manufacturer/engineers specifications.
- This plan is indicative only and not for construction purposes

SITE CALCULATIONS

LOT AREA	732.5 sq m	
LANDSCAPED AREA TOTAL	463.1 sq m	63.222%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Simonian**
Mrs Kanjian

Client Signatures:

-
-

Job No. **240299**

Drawing: **Plant List/Specification**

Address: **Lot 3, No 1 Loxton Place**
Forestville NSW

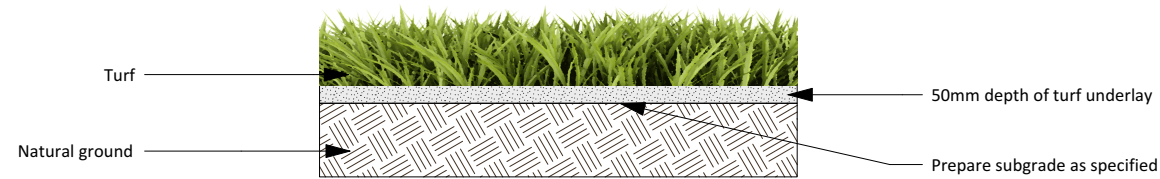
Council/Lodgement:
Northern Beaches/DA

DappleDesigns

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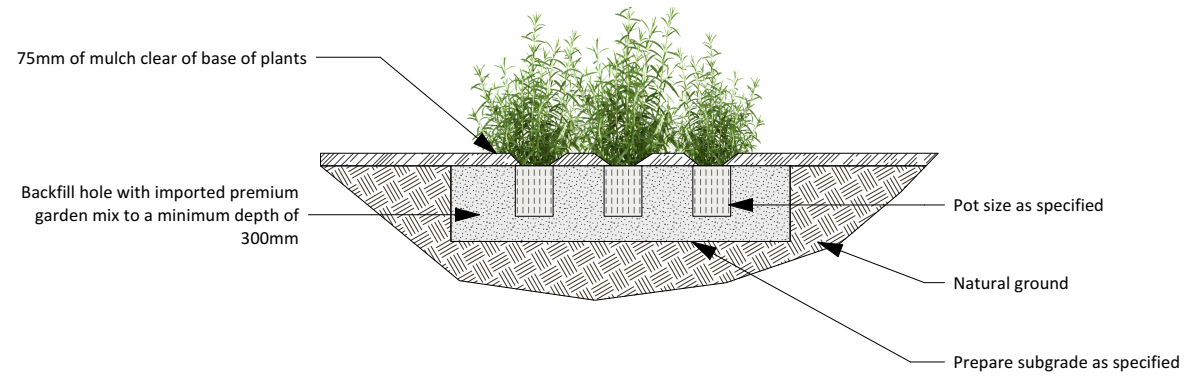


DETAILS

1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

TURF LAYING DETAIL

SCALE 1:20



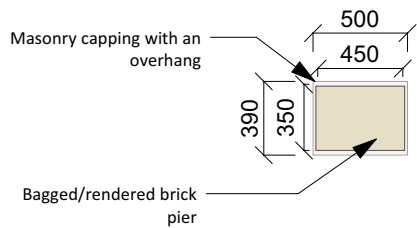
DETAILS

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
3. WATER THOROUGHLY AFTER PLANTING
4. REFER TO PLAN FOR QUANTITIES AND SPACING

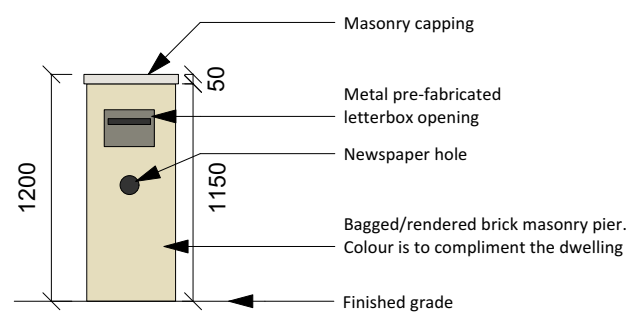
SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30

TOP VIEW



FRONT VIEW



DETAILS

1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
3. BRICK PIER IS TO LEVEL AND STRAIGHT

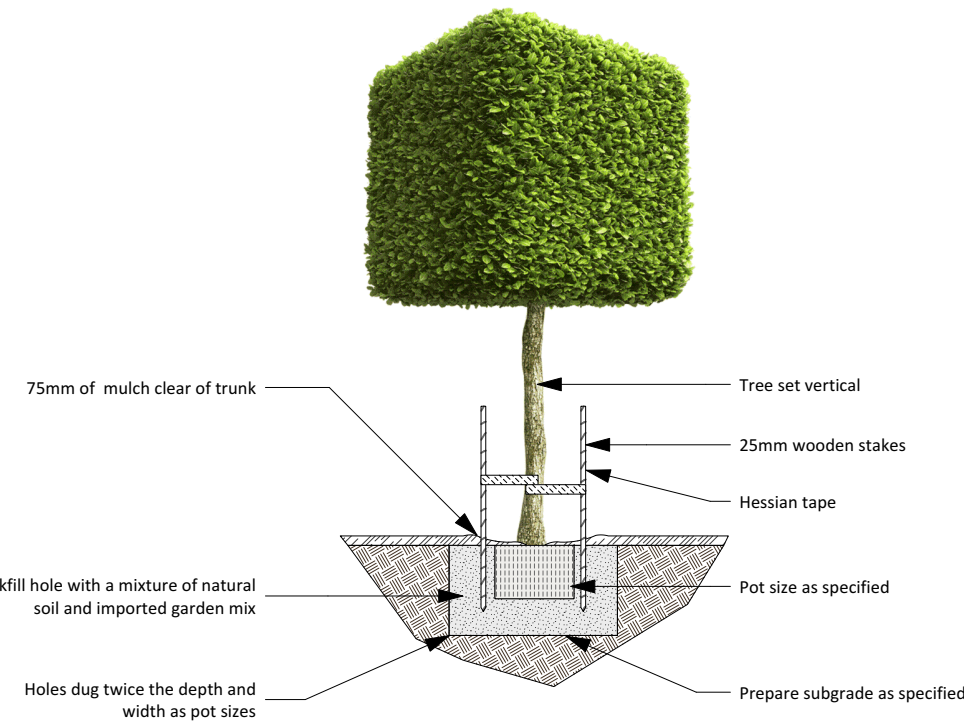
LETTERBOX DETAIL

SCALE 1:40



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1610



DETAILS

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. WATER THOROUGHLY AFTER PLANTING

TREE PLANTING DETAIL

SCALE 1:40

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	26/09/24
B	Client: Email	JS	04/10/24

Drafted: JS	Scale: 1:200 0 0 1 2 3 M
Sheet: 3 of 3	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

- General Notes:
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Client: **Mr Simonian**
Mrs Kanjian

Client Signatures:
1.
2.

Job No. **240299**

Drawing: **Details**

Address: **Lot 3, No 1 Loxton Place**
Forestville NSW

Council/Lodgement:
Northern Beaches/DA

DappleDesigns

Ph: 1300 DAPPLE
(1300 327753)
E: info@dappledesigns.com.au
www.dappledesigns.com.au

Lifestyle Studio External Colour Board

LIFESTYLE

- STUDIO -

BY CLARENDON HOMES

Date: 18/10/2024
Job Number: 29917284
Customer: Mr Garabed Joseph Simonian & Mrs Sandra Sonia Kanjian
Address: Lot 3 1 Loxton Place FORESTVILLE NSW 2530
House Type - Elevation: Saratoga 40 Luxe - Oxford (Face Brick)
Roof BASIX Rating: Medium
Wall BASIX Rating: Medium
Developer: No Developer

YOUR EXTERNAL COLOUR SELECTIONS



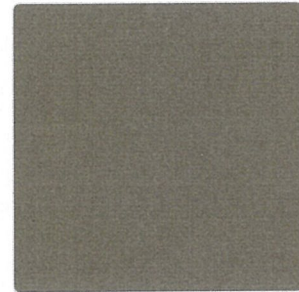
Roof Tile Selection

Monier - Elabana - Aniseed



Brick

PGH Bricks - Botanicals - Sandalwood

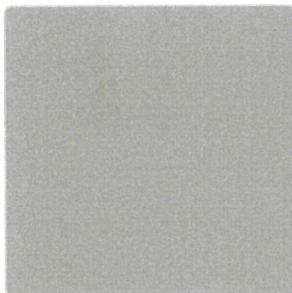


Gutter Colour

Watertank

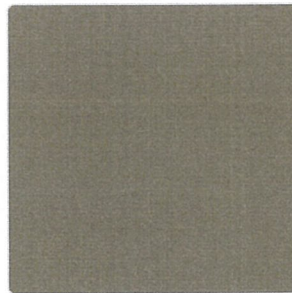
Garage Door Colour

Colorbond - Jasper



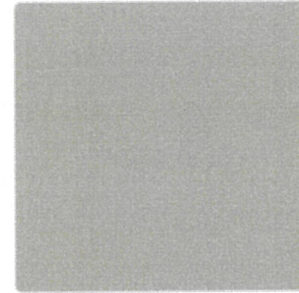
Fascia Colour

Colorbond - Dune



PVC Downpipes

Taubmans - Colorbond Jasper
CB 58



Aluminium Window and Door Frame Colour

Wideline - Colorbond Dune - Matt



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2024/1610

Customer Signature: 

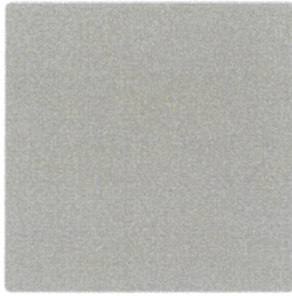
Date Signed: 22/10/2024



Front Door Profile

Corinthian Doors - Blonde Oak -
AWOWS 5G - 2040mm x 1200mm
- with Translucent Glazing

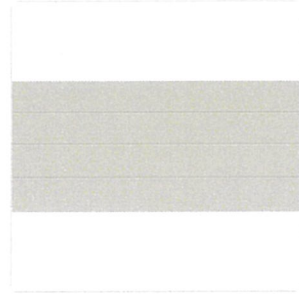
Entry



Front Door Colour

Taubmans - Colorbond Dune
CB 04

Entry



Garage Door Profile

Dynamic Garage Doors - Flatline
Garage

IMPORTANT:

Clarendon Homes cannot guarantee that the colour you see accurately portrays the true colour of the product. Actual product colour may vary from the images shown. Every monitor or mobile display has a different capability to display colours, and every individual may see these colours differently. In addition, lighting conditions at the time the photo was taken can also affect the image's colour.

Screen and print images are intended as a guide only and should not be regarded as absolutely correct. Refer back to the actual samples shown at the time of your Lifestyle Studio appointment for a true representation of the product and colour.


Customer 1

Customer 2

22/10/2024

Date

Date



northern
beaches
council

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THE CONDITIONS OF DEVELOPMENT
CONSENT**

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