

15 April 2025

General Manager
Northern Beaches Council
725 Pittwater Rd,
Dee Why, 2099, NSW

Attn: Anais Sarkissian (Planner)

Dear Anais,

**Re: Request for Information
Development Application No: DA2025/0200 for Alterations and additions to a
dwelling house at 14 Kristine Place MONA VALE.**

Reference is made to your letter dated 2 April 2025, requesting further information to undertake a full assessment of the application. As a result of the letter, the following documents have been prepared as additional information or revised to assist the final determination:

- Revised Architectural Plans prepared by Canvas Architecture and Design;
- Revised BASIX Certificate prepared by Roslyn Toia;
- Revised Survey Plan with Council stormwater pipe prepared by DP Surveying.

The following amendments have been provided to address the RFI Letter:

1. Stormwater outlined on revised architectural plans
2. Deletion of proposed deck on the western elevation. Infilled as GFA for the first floor with a new window.

The above additional information and revised reports/plans are provided to support the application and address the matters raised within the RFI letter. A response to each item is provided below:

1. Council's Development Engineer

The revised documentation includes a survey plan with the required stormwater pipe accurately located including depth and dimensions. The stormwater pipe is shown on the revised architectural plans and a longitudinal section is provided on the survey plan.

The revised documentation confirms that no new structures are located within the easement / zone of influence of the adjacent stormwater pipe running along the adjoining site.

2. Visual Privacy

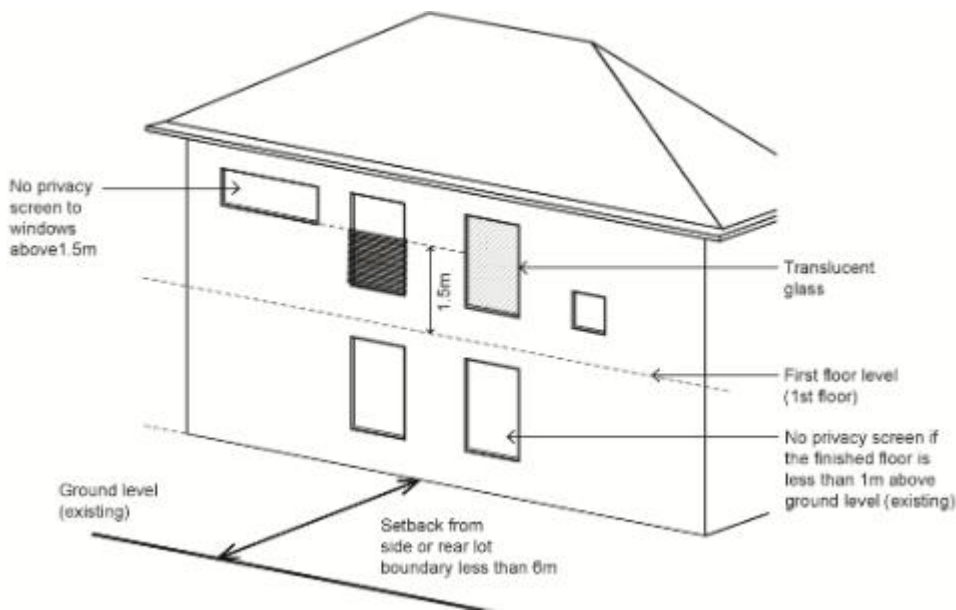
The proposed deck and DO3 have been removed and included within the first-floor footprint as GFA. The proposed new window W09 is located 12.7m from the side western boundary and will have no adverse impact to that adjoining neighbour. In regards to the other windows mentioned in the RFI, with respect, it is our opinion that the requirement of a 1.7m sill window is an outdated control, noting the allowances in other areas and within the Code SEPP for CDC applications, noting Clause 3.15 on the following page:

3.15 Privacy screens for windows and certain attached development

(1) A privacy screen must be provided for any part of a window to a habitable room that is less than 1.5m above the finished floor level of that room if—

- (a) the window faces and is less than 3m from a side or rear boundary and the room has a finished floor level of more than 1m above ground level (existing), or
- (b) the window faces and is at least 3m, but not more than 6m, from a side or rear boundary and the room has a finished floor level of more than 3m above ground level (existing).

(2) Subclause (1) does not apply to a bedroom window that has an area of not more than 2m².



Source: State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

As above, the State provisions hold that a 1.5m sill height is sufficient for privacy measures. Noting that the rooms are “low use” rooms as bedrooms and a bathroom window (which is already proposed with frosted glazing), it is our opinion that it is unreasonable to enforce 1.7m, particularly noting that we could apply a CDC application at a later date to achieve the 1.5m sill height.

On the basis that the western balcony/deck has been deleted, the visual privacy concerns are now acceptable for a residential dwelling.

Summary

We trust that the revised and additional information addresses Councils original concerns, and that the application can now be finalised for determination.

If you have any queries please do not hesitate in contacting me.

Kind Regards

Mathew Quattroville

Four Towns Planning

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