



LOCATION PLAN N.T.S

Sheet List

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KETLEY RESIDENCE

DEVELOPMENT APPLICATION
14 GLOUCESTER STREET, NORTH BALGOWLAH

for
H KETLEY + W de MARS

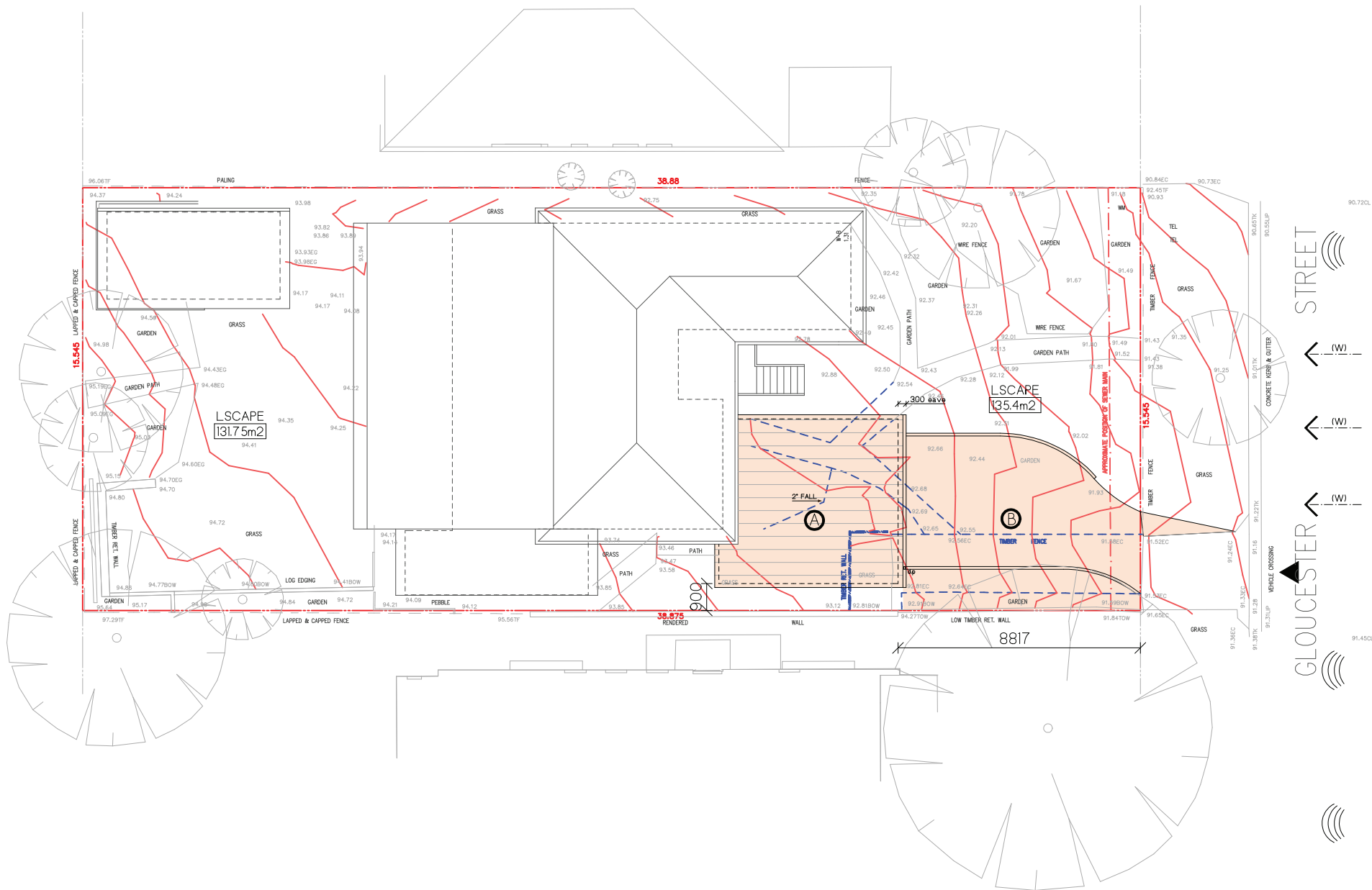
November, 2020



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KEY

- ◀ CAR ENTRY POINT
- BOUNDARY
- ← (S) --- PREVAILING WINDS (summer)
- ← (W) --- PREVAILING WINDS (winter)
- W • WINDOW TO LIVING SPACE IN ADJACENT DWELLING
- EXISTING CONTOURS
- SLOPE OF LAND
-))) ROAD NOISE
- Ⓐ PROPOSED GARAGE
- Ⓑ PROPOSED DRIVEWAY

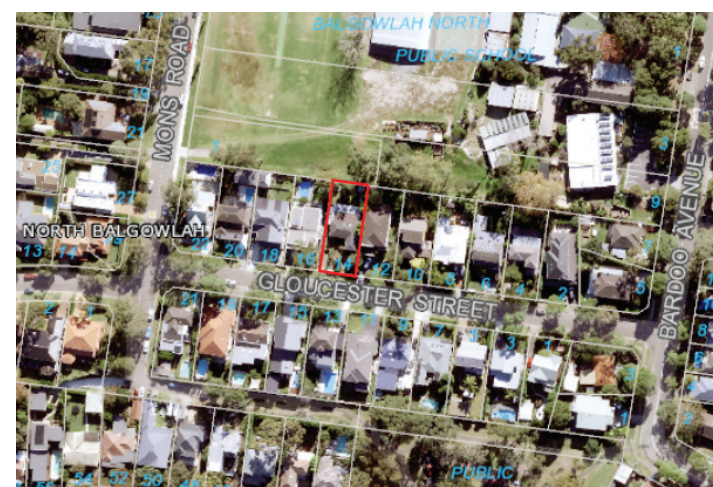


SITE CALCULATIONS

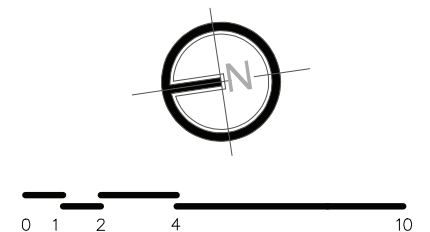
	Required	Proposed
Site Area	604.3m2	
Floor Space Ratio	N/A	
Setbacks Garage (mm)		
-South (front)	6500	8817
-North (rear)	8000	23297
-East (side)	900	8415
-West (side)	900	900
EXISTING RESIDENTIAL AREA	141.4m2	
EXISTING HARD SURFACE AREA	235.0m2	
PROPOSED HARD SURFACE AREA	313.0m2	
PROPOSED LANDSCAPED AREA	241.72m2	291.0m2

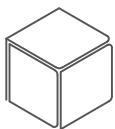
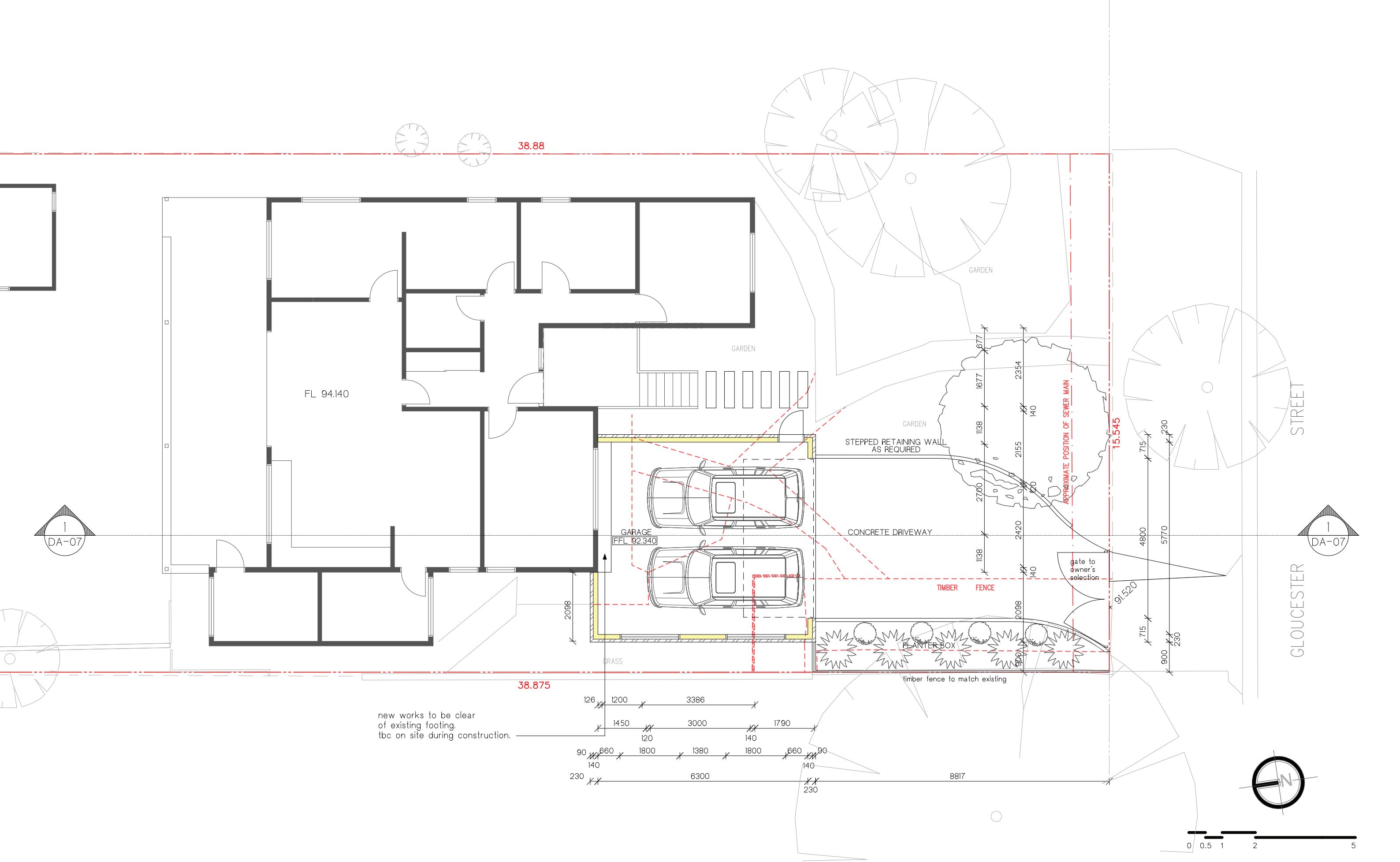


Zoning Map of 14 Gloucester Street, North Balgowlah



Aerial View of 14 Gloucester Street, North Balgowlah





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ISSUE
1

DATE
23.11.20

AMENDMENT
DA ISSUE

ADDRESS:
LOT 18 IN D.P. 36678
14 GLOUCESTER STREET, NORTH BALGOWLAH

CLIENT:
H. KETLEY + B. de MARS

SHEET TITLE:
GARAGE PLAN

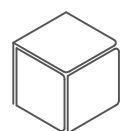
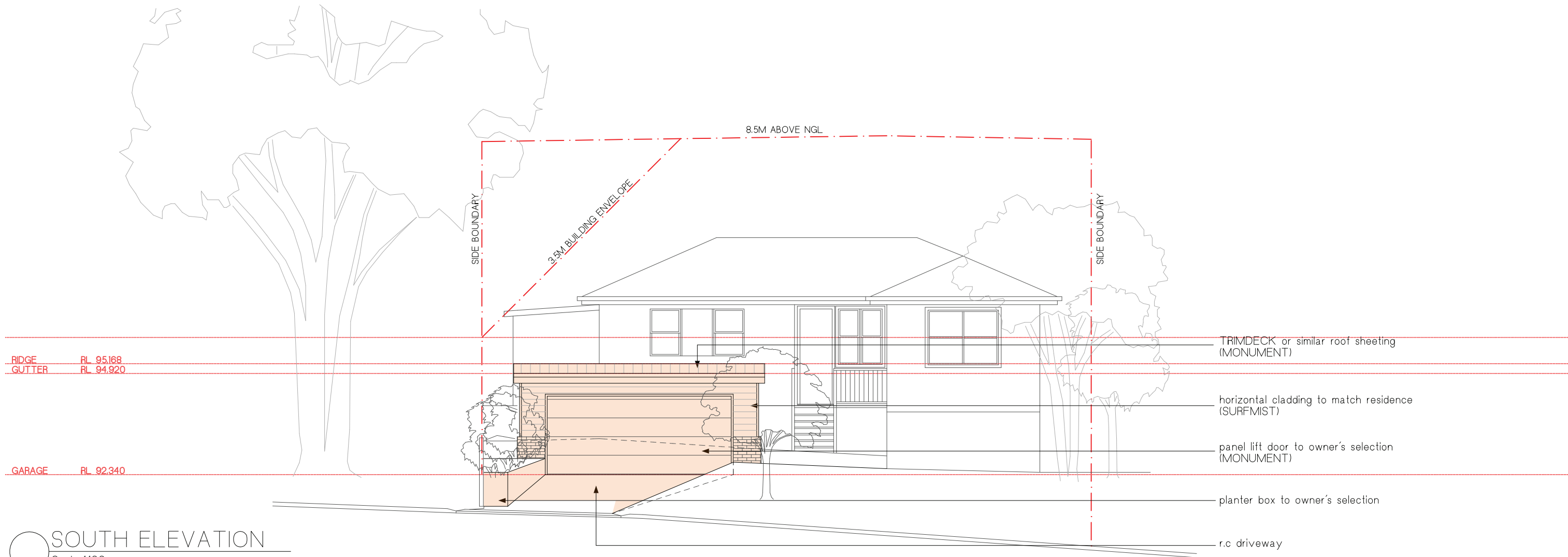
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PROJECT No:
1918

DWG No:
DA-02

DATE
23.11.20

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14 GLOUCESTER STREET, NORTH BALGOWLAH

SHEET TITLE:
SOUTH ELEVATION

DATE
23.11.20

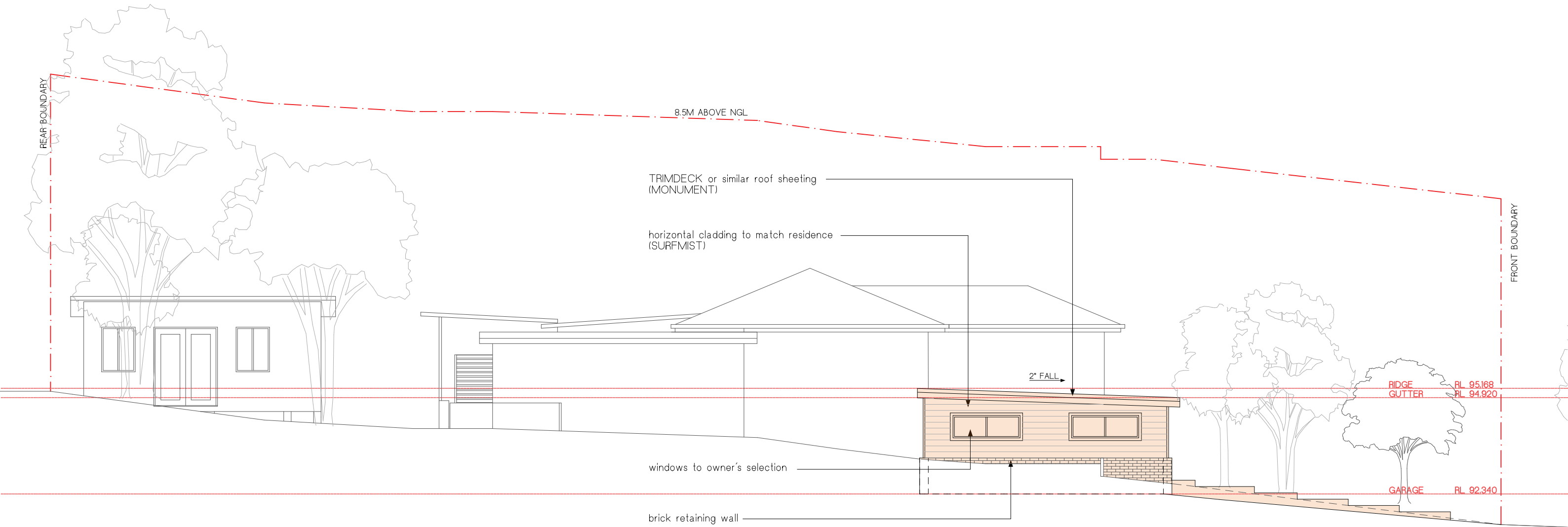
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SCALE:
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PROJECT No:
1918

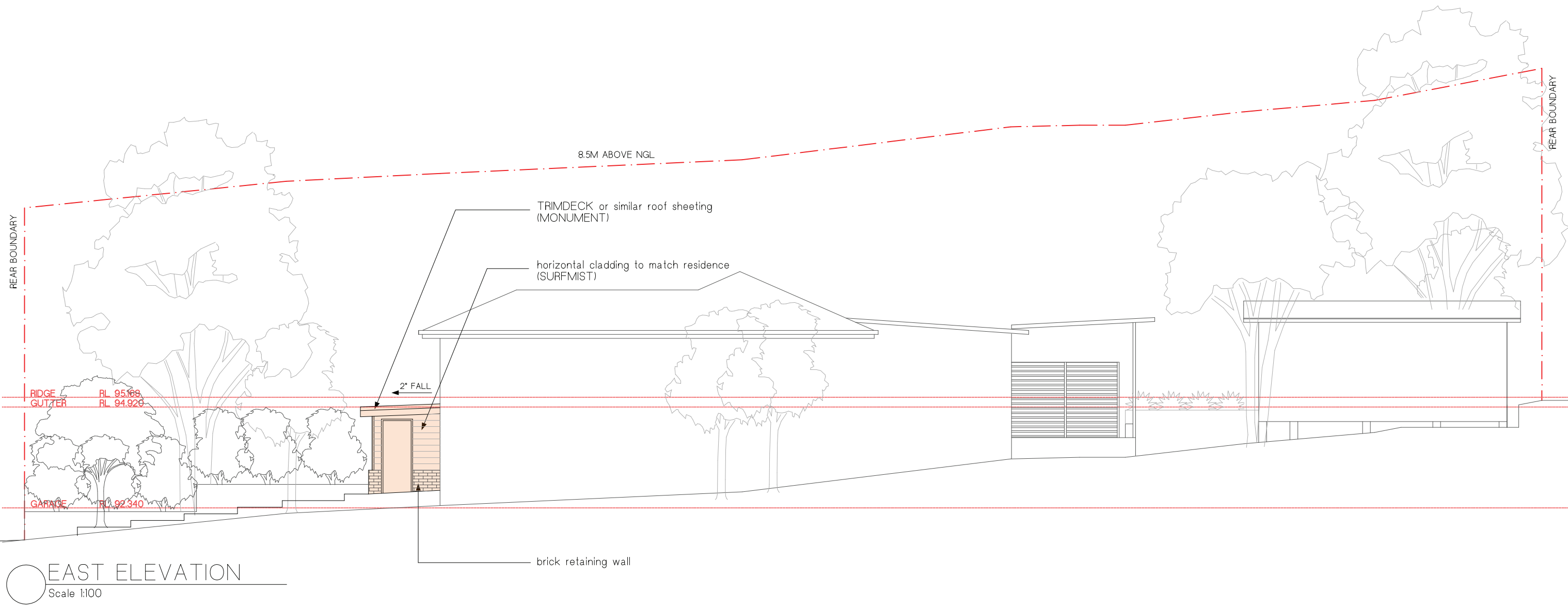
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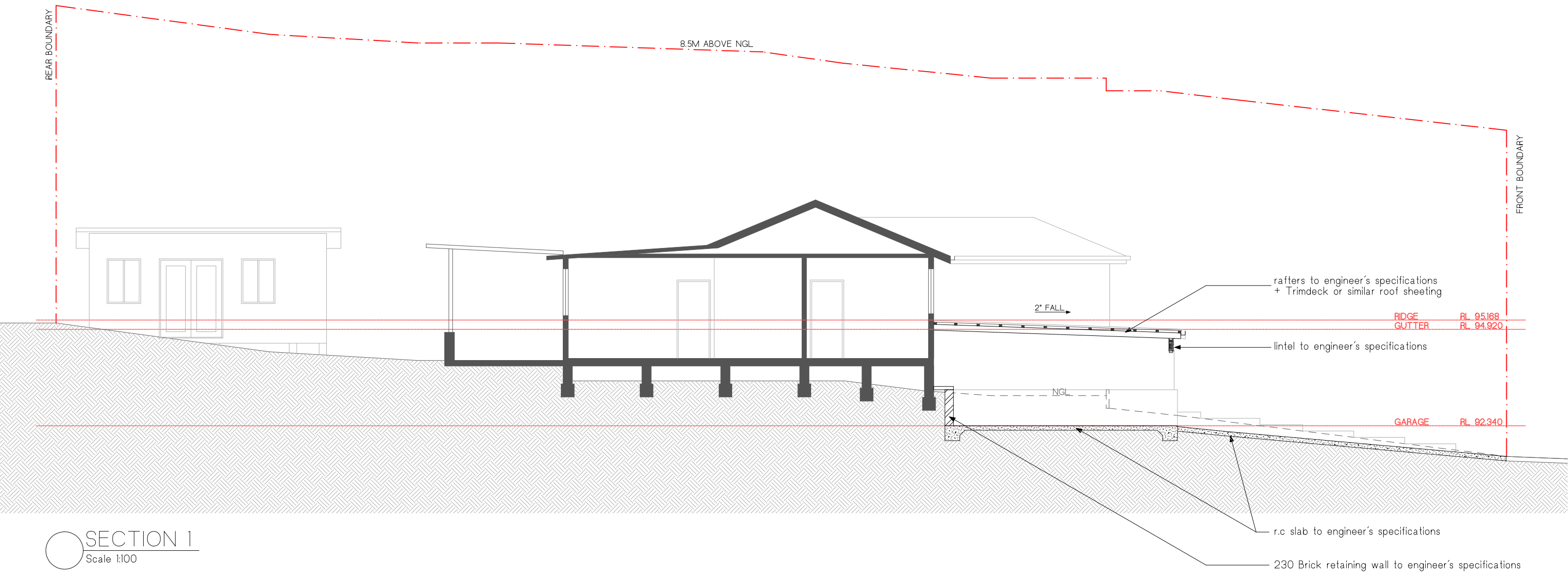
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WEST ELEVATION
Scale 1:100

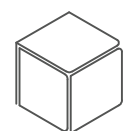
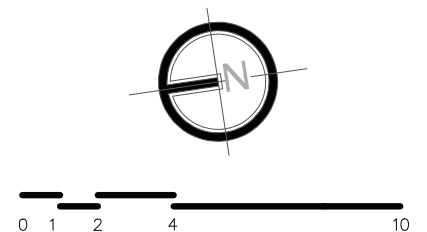
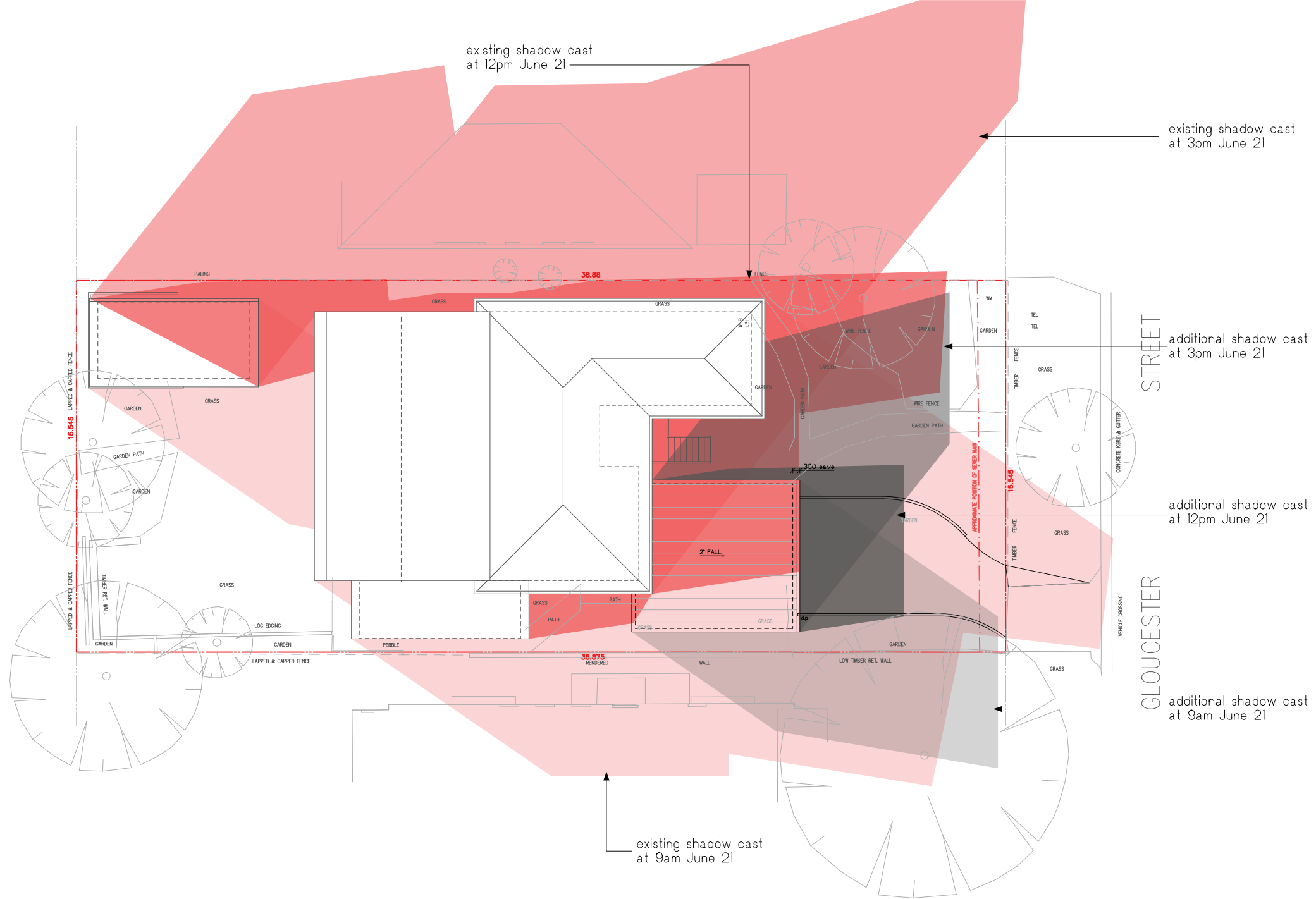






SECTION 1
Scale 1:100





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ISSUE
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AMENDMENT
DA ISSUE

ADDRESS:
LOT 18 IN D.P. 36678
14 GLOUCESTER STREET, NORTH BALGOWLAH

CLIENT:
H. KETLEY + B. de MARS

SHEET TITLE:
SHADOW DIAGRAM

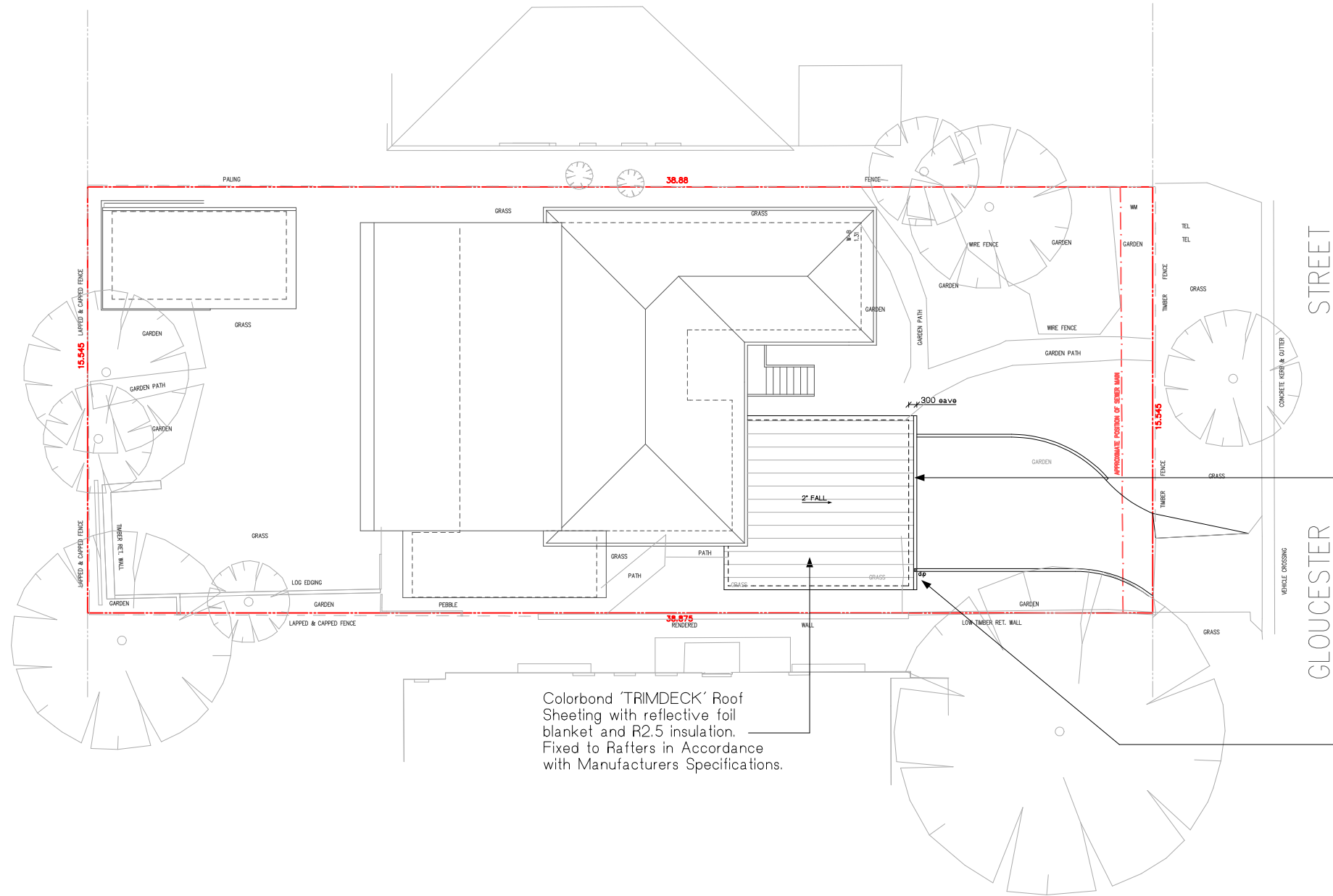
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PROJECT No:
1918

DWG No:
DA-10

DATE
23.11.20

ISSUE
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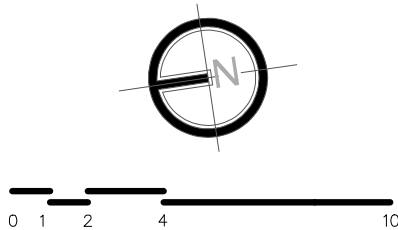


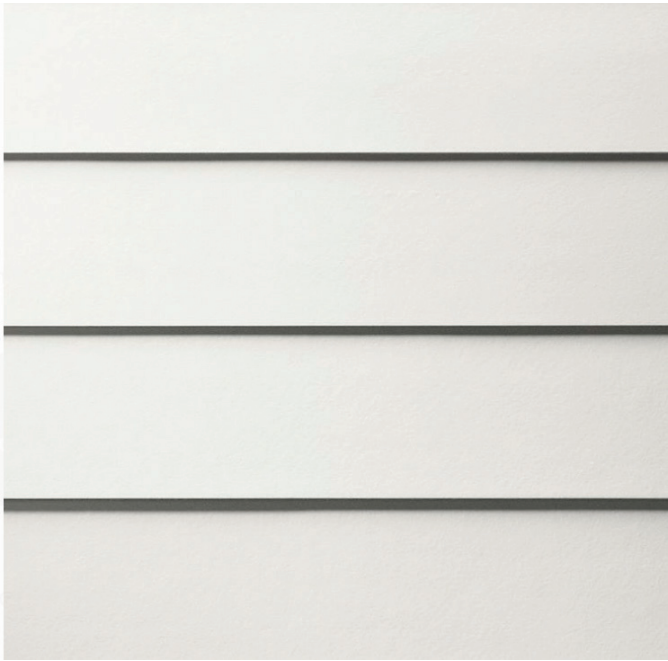
Provide Colorbond Standard Quad Gutters to all new eaves. Set with sufficient fall to all downpipes and secure with brackets max. 1200mm apart.

Provide Colorbond downpipes where required. Connect head to gutter & foot to drainage system with bracketsat 2700mm max. spacing with a minimum of 2 brackets. All new downpipes are to be connected to the existing stormwater system, that discharges to an existing Council stormwater Collection system.

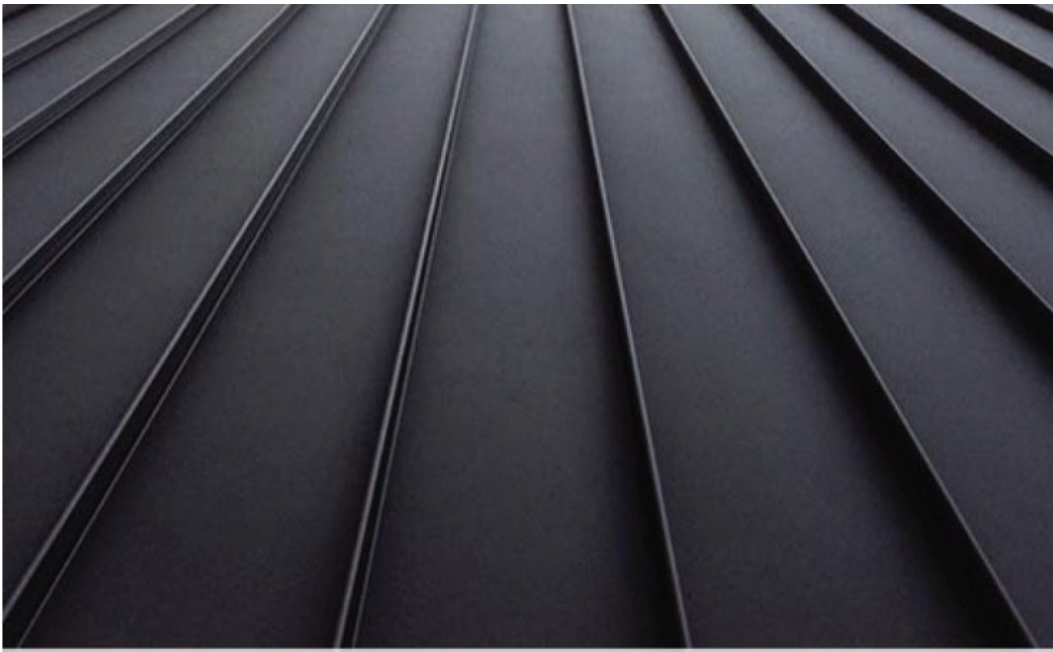
All pipes unless otherwise specified on the plan to be 100 dia. UPVC pipe.
Inspection openings will be required at even spacings not more than 30 metres apart and at any change of direction greater than 45 degrees.
HP - High Points in the guttering
DP - Downpipes
Drainage Pipe Notes.
Slope of pipes to be a minimum of 1:100 i.e. 1%
All levels and dimensions to be checked and confirmed on site.

All design work and works to be in accordance with AS/NZS 3500.5 (2000) and AS/NZS 3500.3.2 (1998)
The Eaves Gutter minimum of 125mm D Gutter with a cross sectional area of 6300 sq. mm (as taken from Lysaght Pty Ltd), or similar. Downpipes attached to the eaves gutter to have a minimum diameter of 90mm of similar.
Downpipes can be connected to existing stormwater pipes. However, existing pipelines need to be checked and repaired in accordance to AS3500.
Dimensions and slope of existing need to be checked in accordance with AS3500 to ensure adequacy.
Tank dimensions shown in drawing is not to scale. Tanks sizes should be determined with consideration on height limits.





HORIZONTAL CLADDING TO MATCH
EXISTING RESIDENCE
- SURFMIST OR SIMILAR



TRIMDECK ROOF SHEETING
- MONUMENT OR SIMILAR

