

LOCATION PLAN

N.T.S

Sheet List

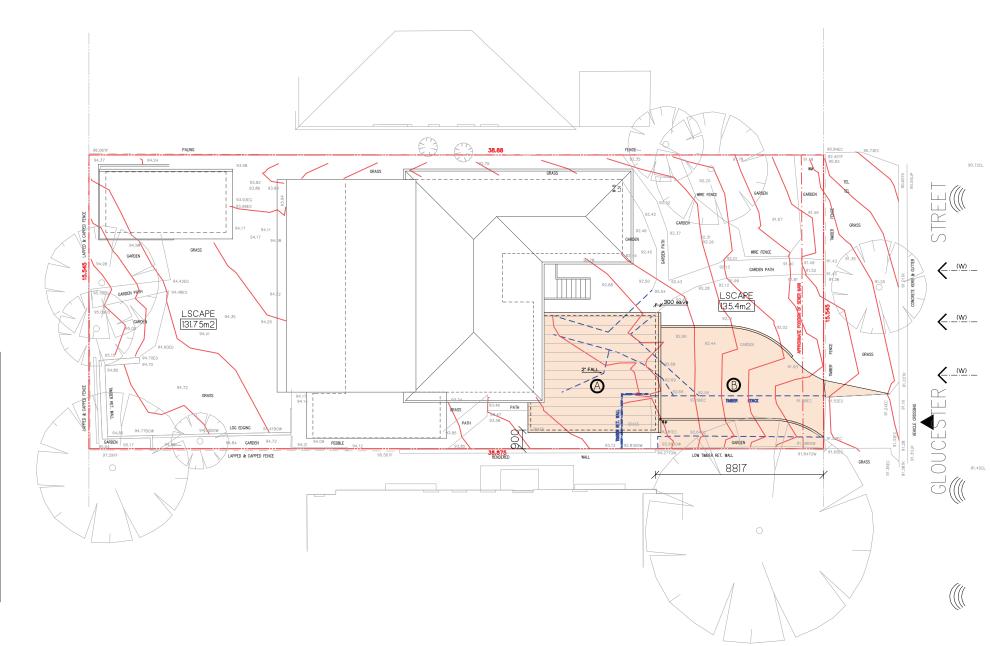
DA-01	Site Plan + Analysis
DA-02	Garage Plan
DA-03	Garage Roof Plan
DA-04	Garage Plan Garage Roof Plan South Elevation
DA-05	West Elevation
DA-06	East Elevation
DA-07	Section
DA-08	Shadow Diagram Erosion + Sediment Control Plan
DA-09	Erosion + Sediment Control Plan
DA-10	Stormwater Concept Plan Example of Finishes Notification Plan
DA-11	Example of Finishes
DA-12	Notification Plan

KETLEY RESIDENCE

DEVELOPMENT APPLICATION 14 GLOUCESTER STREET, NORTH BALGOWLAH

for H KETLEY + W de MARS





SITE CALCULATIONS

KEY

CAR ENTRY POINT

---(S) --- PREVAILING WINDS (summer)

WINDOW TO LIVING SPACE IN ADJACENT DWELLING

EXISTING CONTOURS SLOPE OF LAND

PROPOSED GARAGE PROPOSED DRIVEWAY

ROAD NOISE

- BOUNDARY

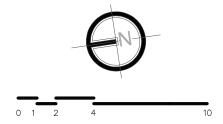
	Required	Proposed
Site Area	604.3m2	
Floor Space Ratio	N/A	
Setbacks Garage (mm) —South (front) —North (rear) —East (side) —West (side)	6500 8000 900 900	8817 23297 8415 900
EXISTING RESIDENTIAL AREA EXISTING HARD SURFACE AREA PROPOSED HARD SURFACE AREA	23.	11.4m2 5.0m2 3.0m2
PROPOSED LANDSCAPED AREA	241.72m2	291.0m2



Zoning Map of 14 Gloucester Street, North Balgowlah



Aerial View of 14 Gloucester Street, North Balgowlah



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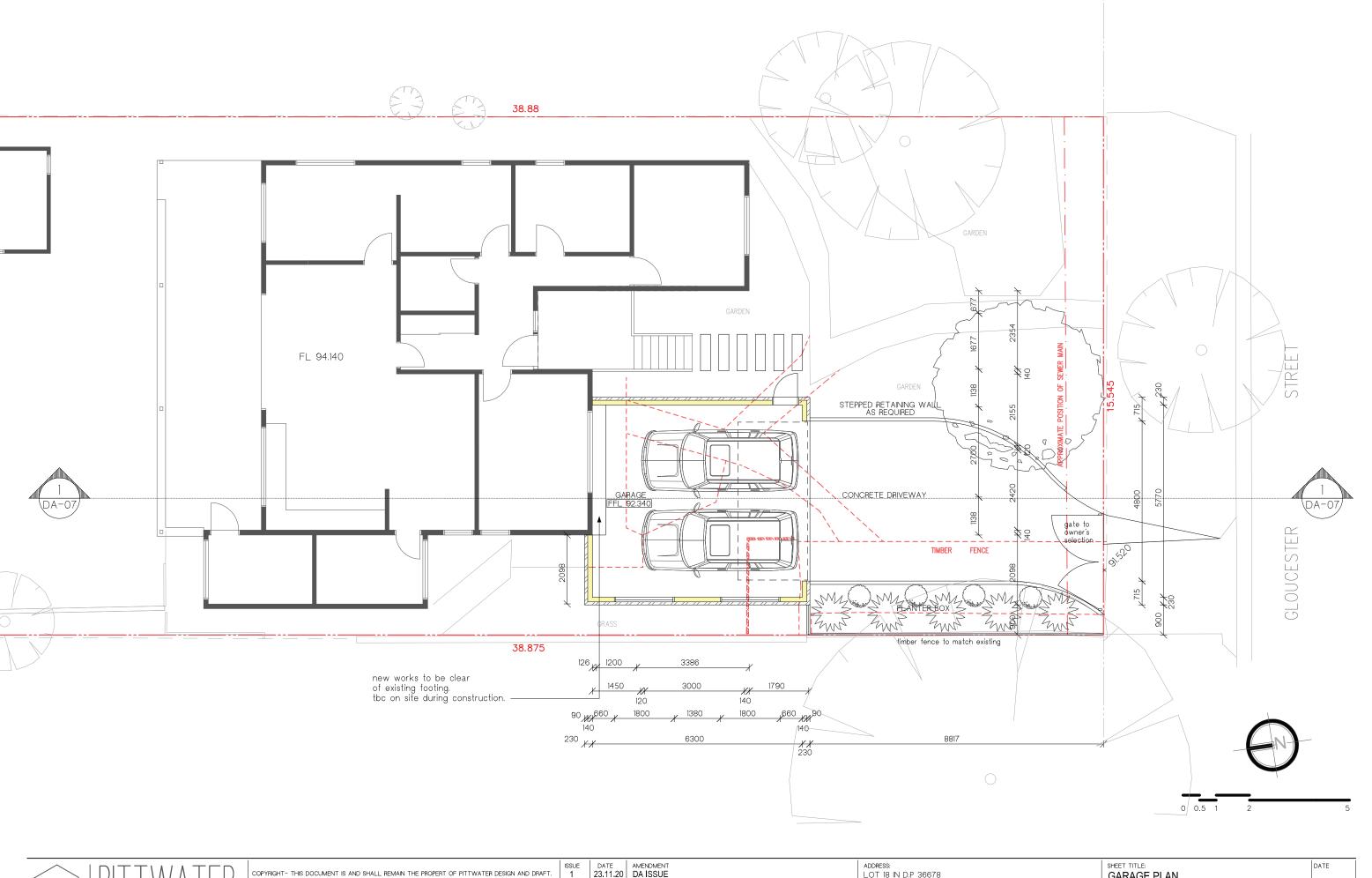
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SUE	DATE
1	23.11.20

AMENDMENT DA ISSUE

ADDRESS:	SHEET TITLE:			DATE
LOT 18 IN D.P 36678	SITE PLAN +	ANALYSIS		00 44 00
14 GLOUCESTER STREET, NORTH BALGOWLAH				23.11.20
,				
CLIENT:	SCALE:	PROJECT No:	DWG No:	ISSUE
H. KETLEY + B. de MARS	1:200 @ A3	1918	DA-01	1

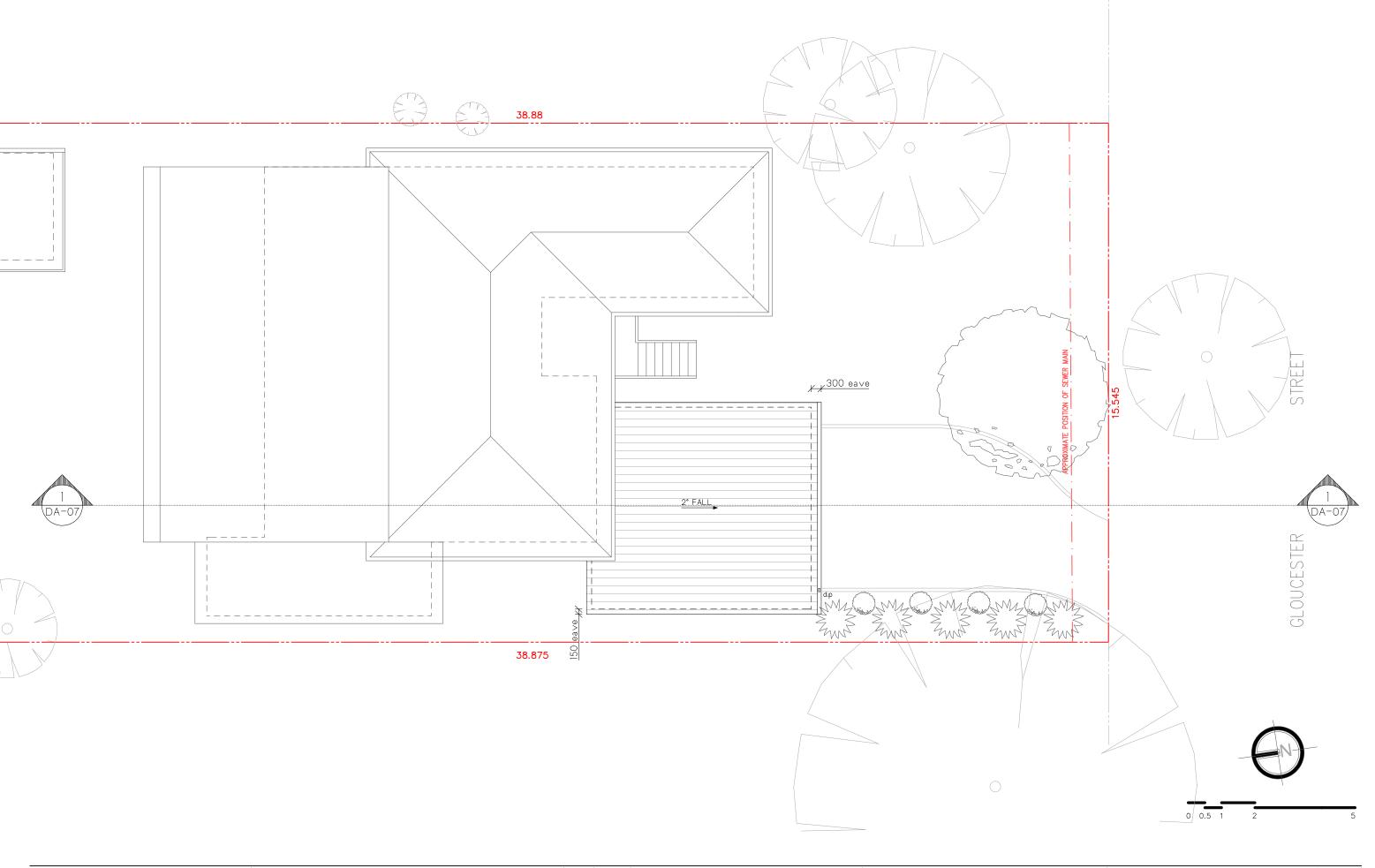




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ISSUE 1	23.11.20	DA ISSUE

SHEET TITLE:
GARAGE PLAN ADDRESS: LOT 18 IN D.P 36678 23.11.20 14 GLOUCESTER STREET, NORTH BALGOWLAH SCALE: PROJECT No: 1:100 @ A3 1918 H. KETLEY + B. de MARS DA-02 1

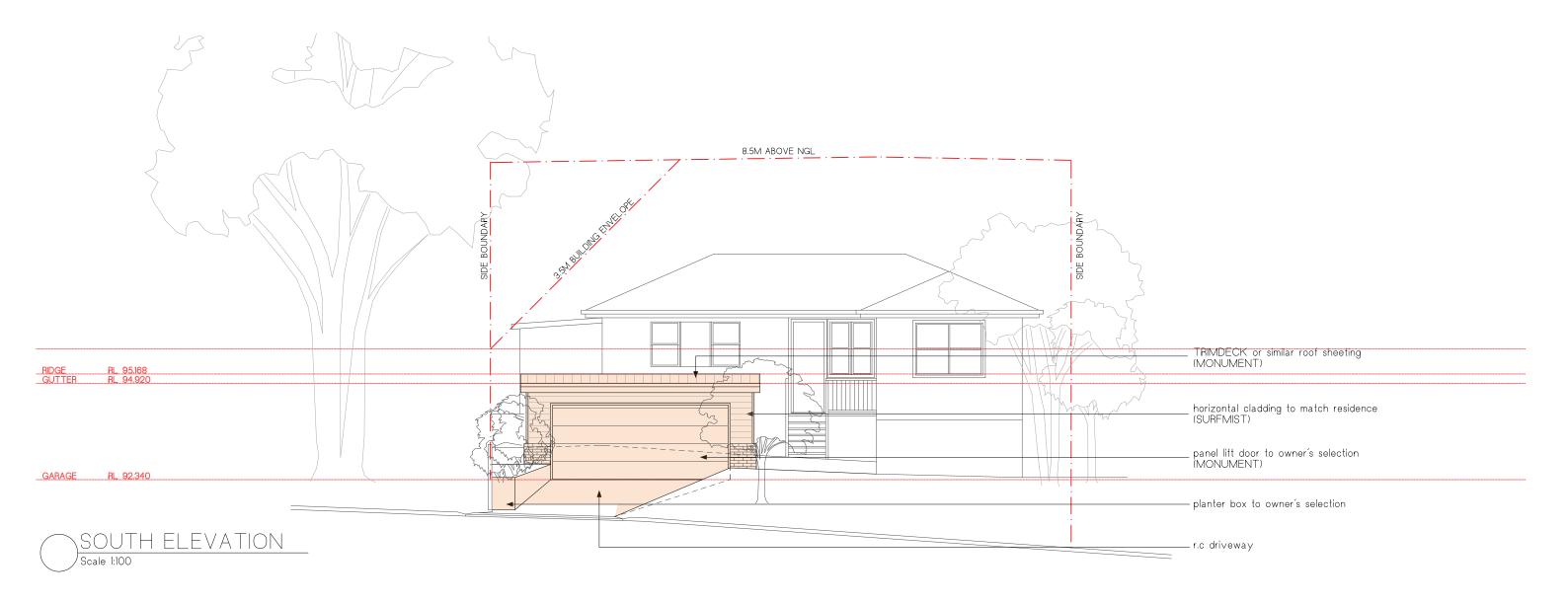


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ISSUE 1	DATE 23.11.20	AMENDMEN DA ISSU
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ADDRESS: LOT 18 IN D.P 36678 14 GLOUCESTER STREET, NORTH BALGOWLAH	SHEET TITLE: GARAGE RO	OF PLAN		23.11.20
CLIENT: H. KETLEY + B. de MARS	1:100 @ A3	PROJECT No:	DWG No: DA-03	ISSUE 1



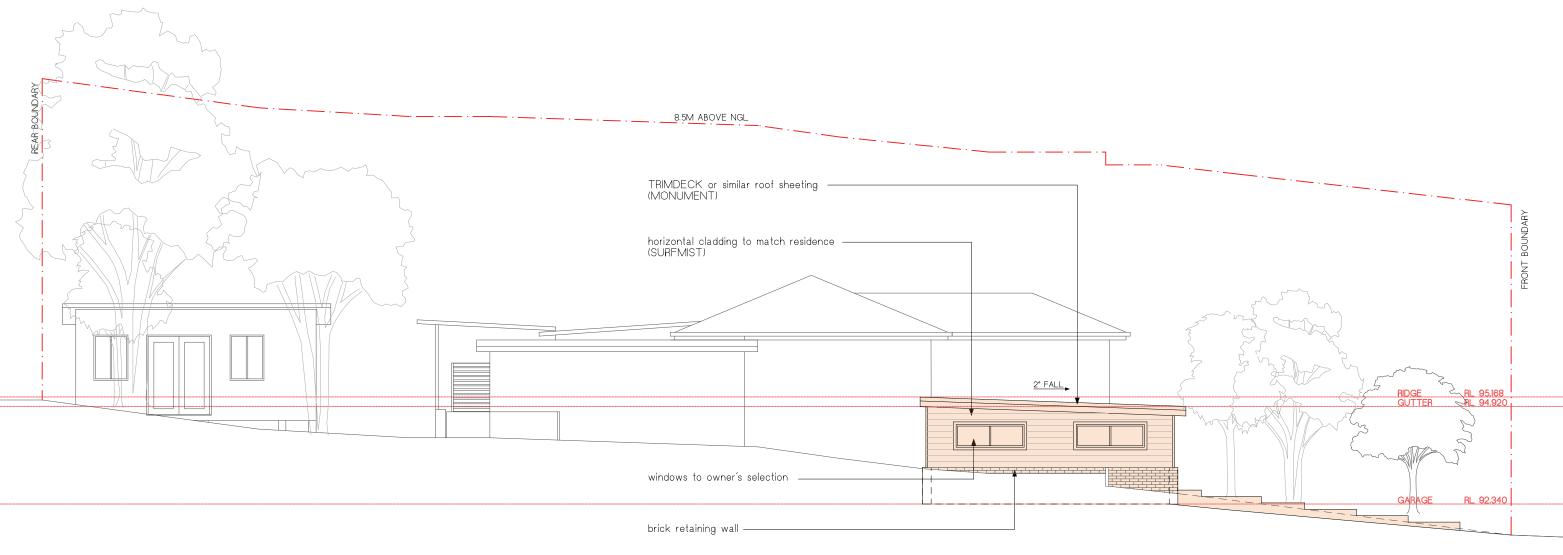


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ISSUE 1	23.11.20	DA ISSU

ADDRESS: LOT 18 IN D.P 36678 DATE SOUTH ELEVATION 23.11.20 14 GLOUCESTER STREET, NORTH BALGOWLAH PROJECT No: 1:100 @ A3 | 1918 H. KETLEY + B. de MARS DA-04 1



WEST ELEVATION
Scale 1:100

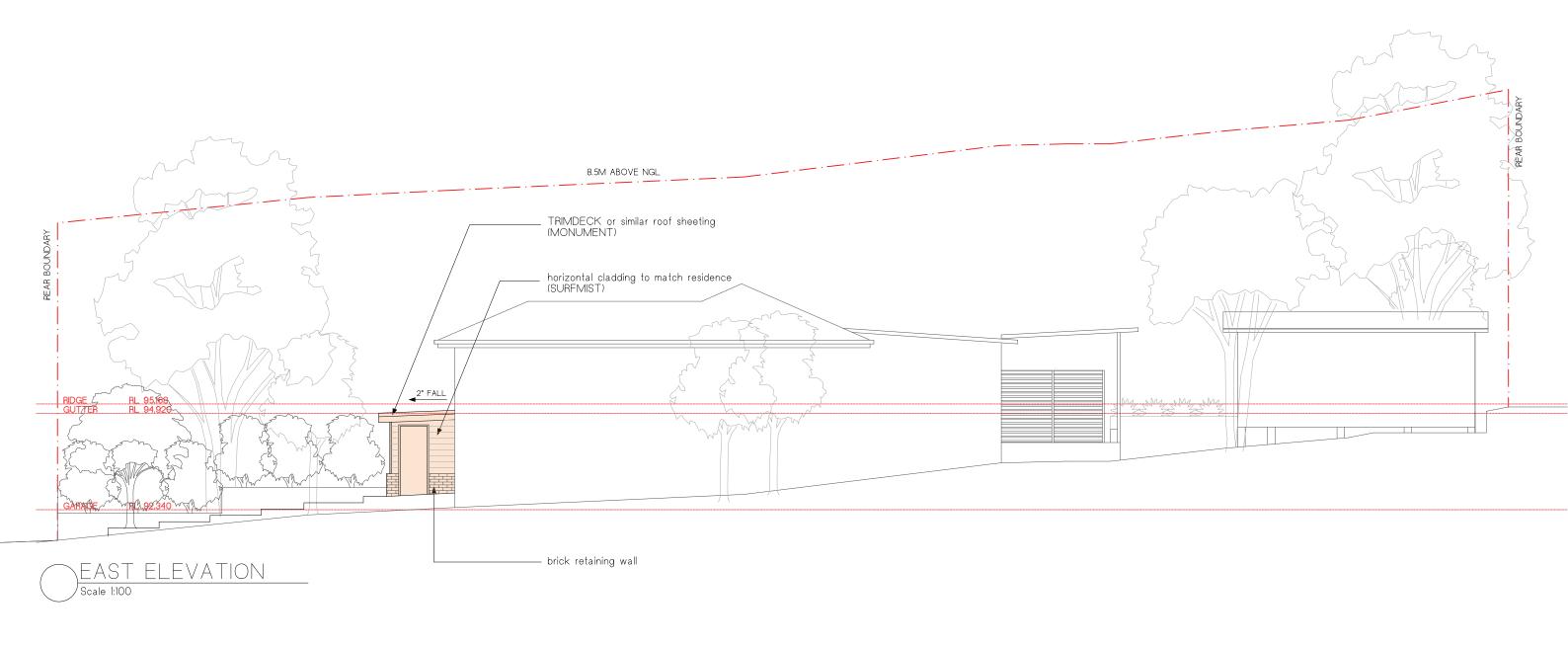
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1	23.11.20	DA ISSU

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CLIENT: H. KETLEY + B. de MARS	scale: 1:100 @ A3	PROJECT No: 1918	DWG No: DA-05	ISSUE 1	



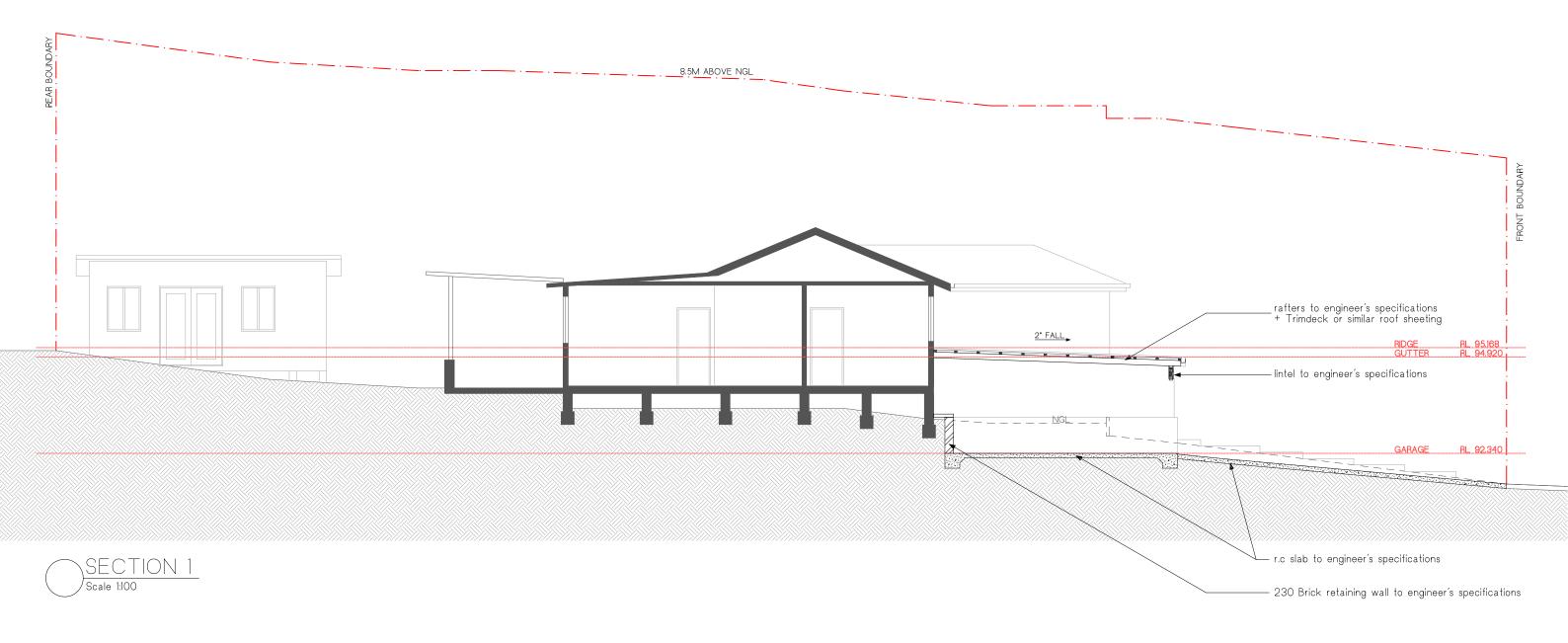




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DATE AMENDMENT 23.11.20 DA ISSUE

SHEET TITLE:
EAST ELEVATION ADDRESS: LOT 18 IN D.P 36678 DATE 23.11.20 14 GLOUCESTER STREET, NORTH BALGOWLAH SCALE: PROJECT No: 1:100 @ A3 1918 CLIENT: H. KETLEY + B. de MARS DA-06 1

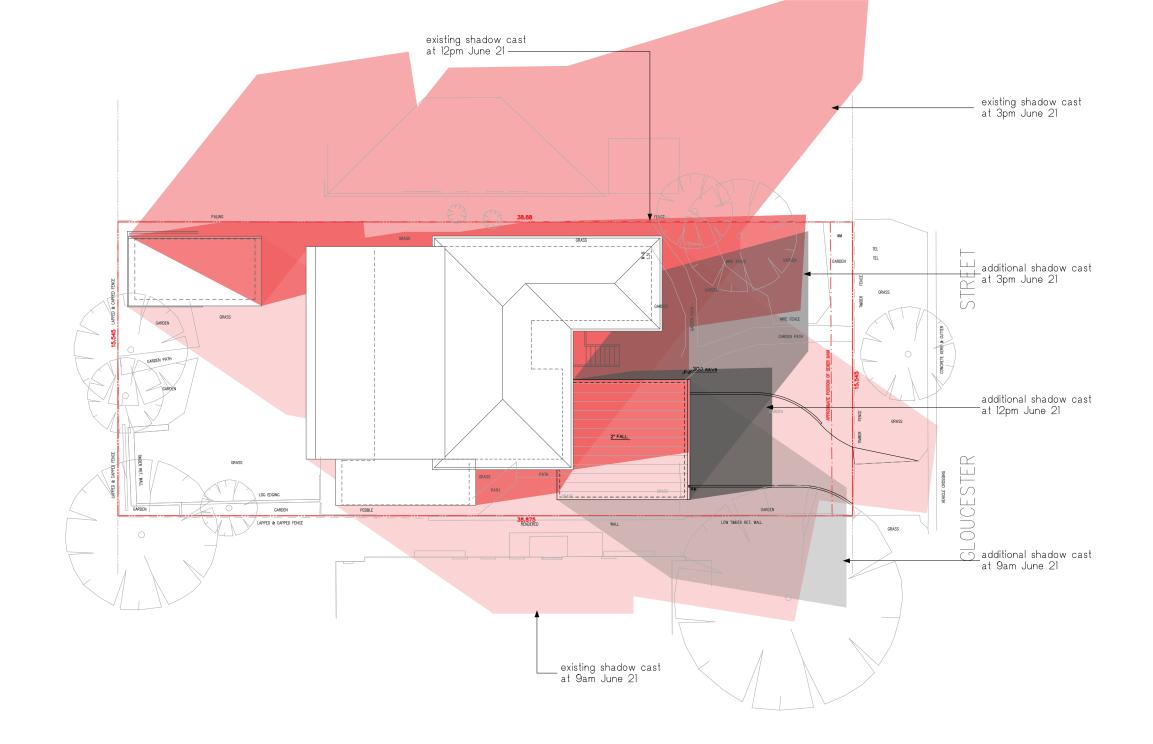


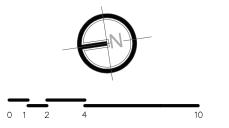


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ISSUE 1	DATE 23.11.20	AMENDMENT DA ISSUE

ADDRESS: LOT 18 IN D.P 36678 14 GLOUCESTER STREET, NORTH BALGOWLAH	SHEET TITLE: SECTION			23.11.20
CLIENT: H. KETLEY + B. de MARS	1:100 @ A3	PROJECT No: 1918	DWG No: DA-07	ISSUE 1





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SSUE 1	DATE 23.11.20	DA ISSU

ADDRESS: LOT 18 IN D.P 36678 14 GLOUCESTER STREET, NORTH BALGOWLAH	SHEET TITLE: SHADOW DIAGRAM			23.11.20	
CLIENT: H. KETLEY + B. de MARS	scale: 1:200 @ A3	PROJECT No: 1918	DWG No: DA-10	ISSUE 1	

Erosion & Sediment Control Plan (ESCP)

This drawing is in accordance with the requirements of the NSW Department of Land and Water Conservation's "Urban Erosion and Sediment Control" manual.

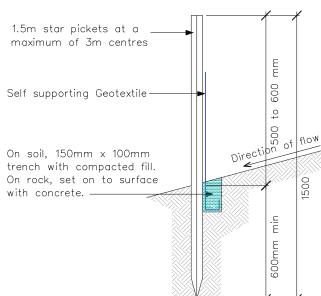
Any vehicle leaving the site must be washed down on the "Stabilised Site Entry" to remove any clay that may have become attached to the vehicle.

The road around the entry/exit site is to be swept at regular intervals to prevent sediment build up at the entry/exit point of the site.

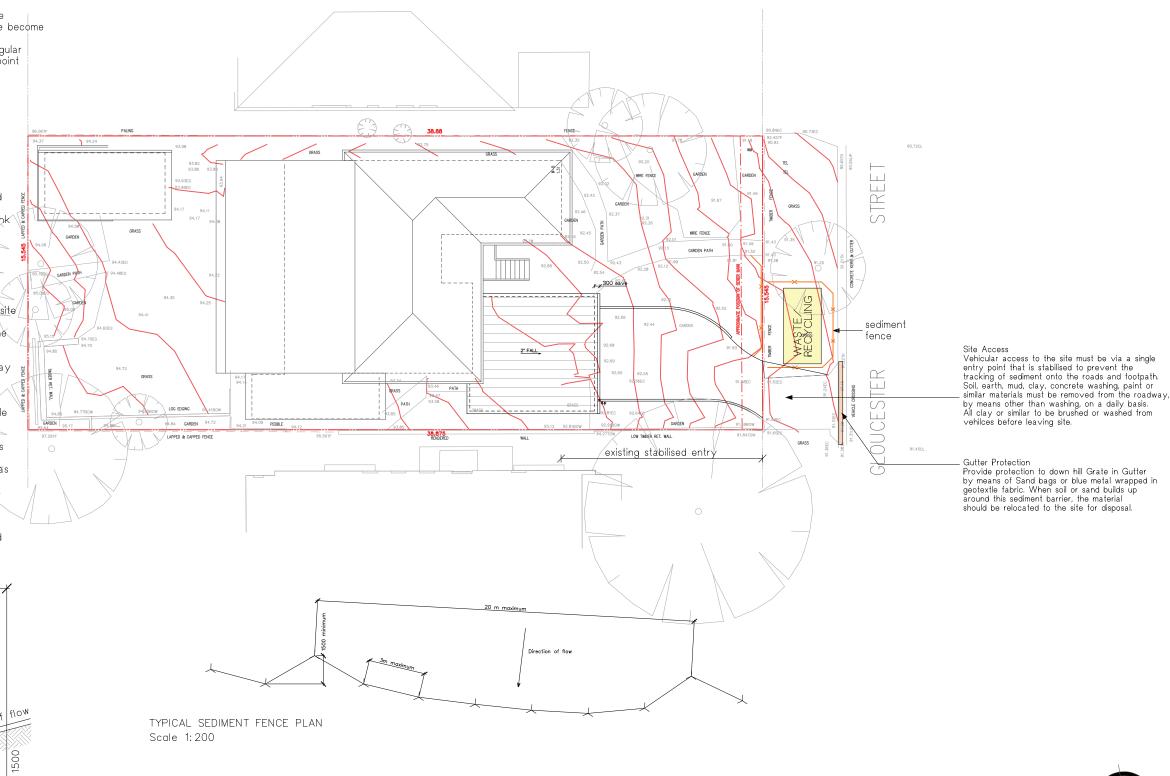
- 1. Site works will not start until the erosion and sediment control works outlined in clauses 2 to 5, below, are installed and functional.
- 2. Entry and exit to the site will be confirmed to one stabilised location. Fencing will be used to restrict all vehicular movements to stabilised entrance. Stabilisation achieved by either:
- * Contructing a concrete driveway to the street.
- * Constructing a concrete driveway to the street.

 * Constructing a stabilised site access, according to the Stabilised Site Access Detail drawing.

 3. Sediment control (see Typical Sediment Fence Plan and Sediment Fence Section Detail) and barrier fences will be installed as shown on the ESCP with low flow channel bank? (see Stabilised Site Entry).
- 4. Mesh and gravel sausage protection will be provided to protect gutter inlets near the allotment.
- Fopsoil will be stripped and stockpiled for later use in landscaping the site.
 6. All stockpiles will be placed in the location shown on
- the ESCP and at least 2 metres clear of all areas of concentrated water flow and the driveway protected by site
- 7. Lands to the rear and sides of the allotment and on the footpath will not be disturbed during works except where essential, e.g. drainage works across the footpath. Where work are necessary, they will be undertaken in such a way to leave the lands in a condition of high erosion hazards for as short a period as practicable. They will be rehabilitated as soon as possible. Stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.
- 8. Approved bins for concrete and mortar slurries, paints, acid washings and litter will be provided and arrangements made for collection and disposal.
- 9. Guttering will be connected to the stormwater system as soon as practicable.
- 10. Topsoil will be respread and all disturbed areas will be rehabilitated within 20 working days of the completion of works.
- 11. All erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.

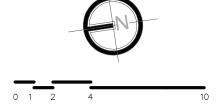


SEDIMENT FENCE SECTION DETAIL Scale 1:20

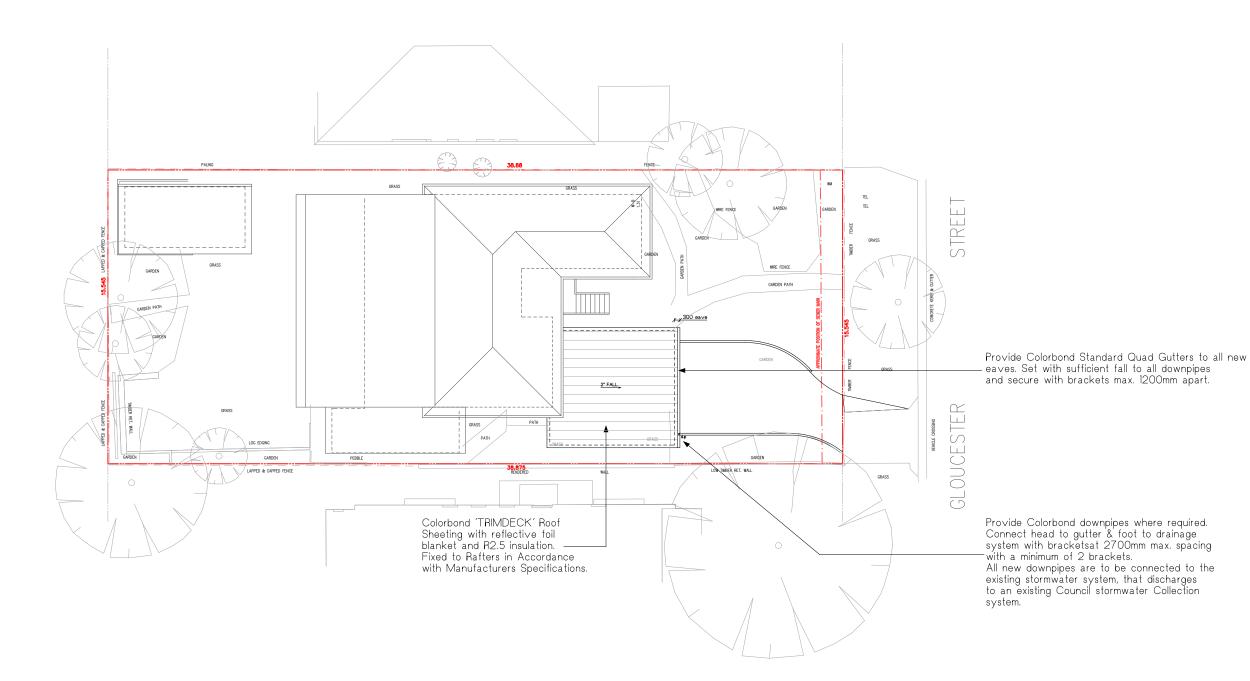


Construction Notes: -

- Construct sediment fence as close as possible to parallel to the contours of the site.
 Drive 1.5 m long star pickets into ground, 3m apart maximum.
- 3. Dig a 150mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
- 4. Backfill trench over base of fabric.
- 5. Fix self supporting geotextile to upslope side of post with wire ties or as recommended by geotextile manufacturer.
- 6. Join sections of fabric at a support post with a 150mm overlap.



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All pipes unless otherwise specified on the plan to be 100 dia. UPVC pipe.

Inspection openings will be required at even spacings not

than 30 metres apart and at any change of direction greater

45 degrees. HP - High Points in the guttering DP - Downpipes

Drainage Pipe Notes.

Slope of pipes to be a minimum of 1:100 i.e. 1% All levels and dimensions to be checked and confirmed on

All design work and works to be in accordance with AS/NZS 3500.5 (2000) and AS/NZS 3500.3.2 (1998) The Eaves Gutter minimum of 125mm D Gutter with a cross sectional area of 6300 sq. mm (as taken from Lysaght Pty Ltd), or similar. Downpipes attached to the eaves gutter to

have a minimum diameter of 90mm of similar. Downpipes can be connected to existing stormwater pipes.

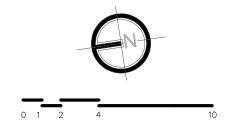
However, existing pipelines need to be checked and repaired in accordance to

Dimensions and slope of existing need to be checked in accordance with

AS3500 to ensure adequacy.

Tank dimensions shown in drawing is not to scale. Tanks sizes should be

determined with consideration on height limits.



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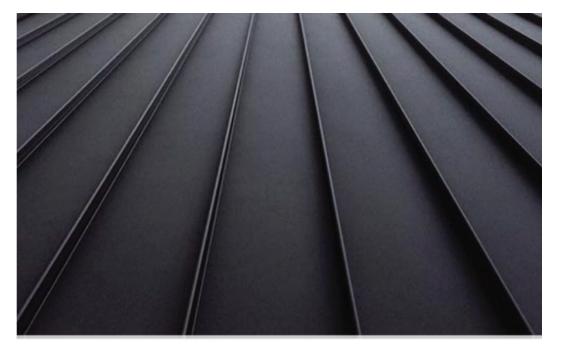
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CLIENT: H. KETLEY + B. de MARS	1:200 @ A3	PROJECT No:	DWG No: DA-10	ISSUE 1

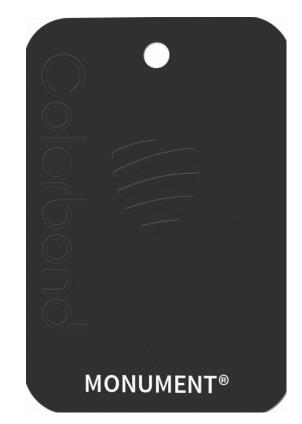


HORIZONTAL CLADDING TO MATCH **EXISTING RESIDENCE** - SURFMIST OR SIMILAR



TRIMDECK ROOF SHEETING - MONUMENT OR SIMILAR













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ADDRESS: LOT 18 IN D.P 36678 14 GLOUCESTER STREET, NORTH BALGOWLAH H. KETLEY + B. de MARS

SHEET TITLE:
EXAMPLE OF FINISHES DATE 23.11.20 SCALE: PROJECT No: DWG No: 1918 DA-11

1