

Statement of Environmental Effects



Proposed Lift Shaft
Within Internal Courtyard
for
Neydaub Pty Ltd.
March 2021

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INTRODUCTION

This statement of Environmental Effects accompanies a Development Application for the Construction of a lift shaft for a lift installation within an existing internal courtyard at 20 Sunrise rd Palm Beach.

The report relates the proposal to the relevant planning controls, and the Geotech and Basix certificate the accompanying the application

The report includes photographs of the relevant components of the existing residence and an isometric sketch of the current courtyard and one with the proposed lift shaft.

The proposal is minor in the overall context of the existing residence, being an increase of floor area of 3.8 m² or 1.25% of the current floor space.

The report concludes that being within an internal courtyard the proposal does not impact neighbouring properties in either views or solar issues or views from the public domain.

LOCALITY AND SITE

The property is within the Palm Beach locality and is zoned E4 Environment Living. The western boundary fronts Sunrise Rd. the site falling to the eastern boundary which fronts Ocean Rd.

The site contains an existing two storey split level residence fronting Sunrise rd. With a swimming pool and spa on the eastern lower side of the property.

The residence is of weatherboard, sandstone and masonry construction typical of the beach house architectural genre.



Street Frontage Sunrise Road

THE PROPOSAL

The proposal is for the construction of a lift shaft to house a double sided lift which will serve all 4 levels of the split level residence.

The shaft will sit on the southern face of the existing courtyard immediately adjacent the window wall to the existing stair shaft.

The North and South sides of the shaft are glazed in order to preserve the transparency which exists between the entry courtyard , stair well and northern internal courtyard . This is a fundamental component of the architectural design of the residence.

When not in use the lift car will sit in the lift pit at level 1 and as such maintains the outlook through the glazed walls or the shaft.

An eaves overhang and sun beams to the north are components of the design to ensure the glass facade is protected from the northern summer sun complying with the guidelines outlined in accompanying Basix certificate.

The shaft connects to the current flat garage roof with the lift overrun component projecting 500 mm above that roof ,set back 500 mm from the courtyard garage wall and 6350mm from the garage street frontage. A lower level eaves on the north side, the top of which is the same level as the garage top, lessens the scale and visual impact of the shaft from the courtyard. From the south's side the shaft is set back from the face of the entry courtyard and is visually reduced by the existing pitched stair roof .

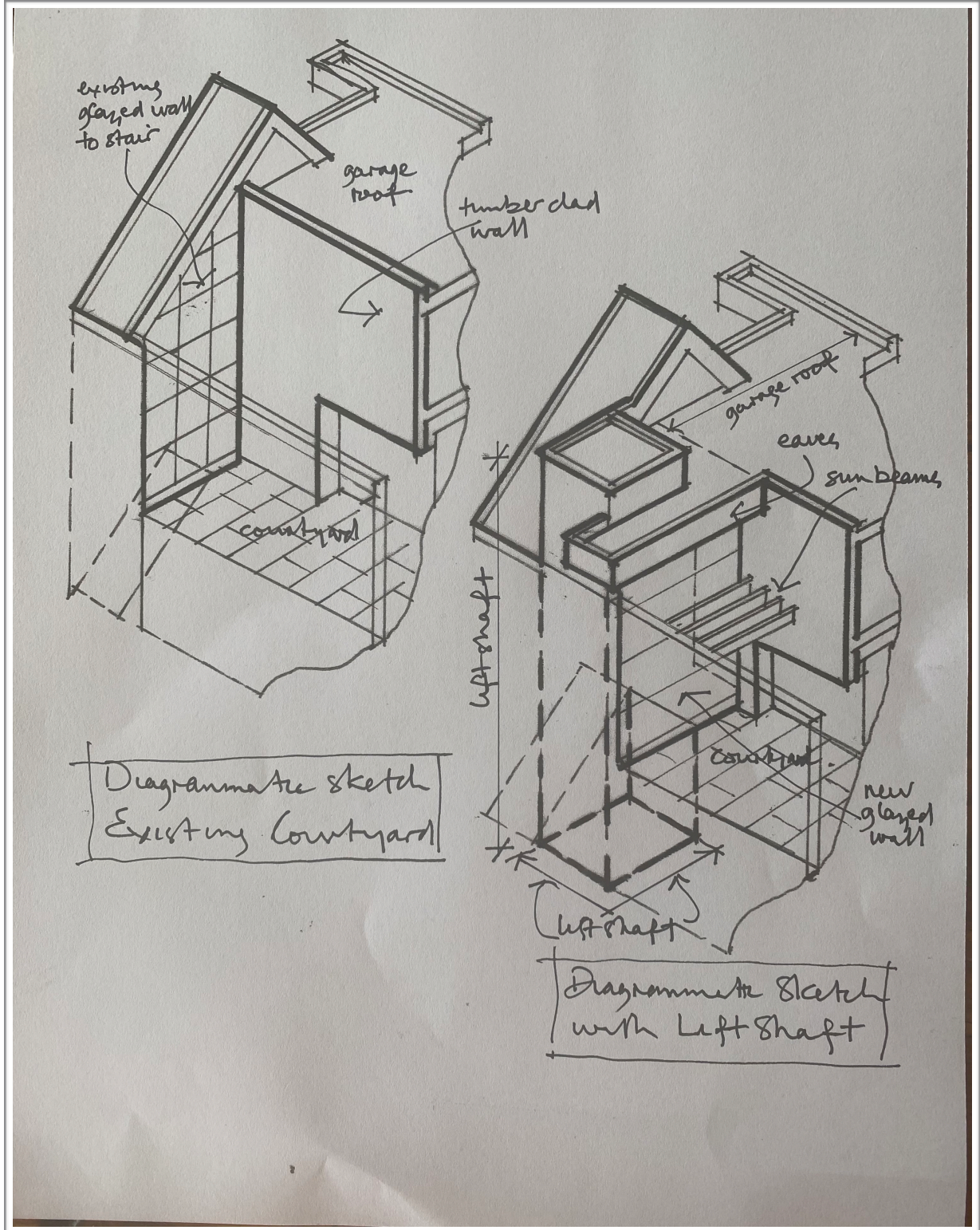
The shaft will be constructed of the same materials as the existing residence being dark grey painted timber boarding to the walls and a grey membrane flat roof covering with pebble overlay.

The new addition will read as part of the homogeneous whole.

The roof of the shaft is below the existing pitched roof components— 700 mm below the ridge of the adjacent stair roof and skylight and 1200 mm below the ridge of the living pavilion .

The shaft will not be seen from the adjacent properties 18 and 22 and whilst seen looking down from the much higher properties on the western side of Sunrise rd will not impact their views as it is well below the current roof ridge lines and within those view planes.

SKETCHES



EXISTING SOUTHERN ENTRY COURTYARD



EXISTING NORTHERN INTERNAL COURTYARD





DEVELOPMENT CONTROLS

PLEP 2014 and PDCP 21 are the relevant control and policy documents related to this proposal.

In the DCP the site falls within section D 12 - Palm Beach Locality.

This report responds to the clauses relevant to this application as follows:

LEP 2014

2.2 Zoning

The addition of the lift shaft is permissible within the E 4 zoning

4.3 Height of building

The proposal is well within the maximum building height of 8.5 metres

DCP 21

B.3.1 Landslip Hazard

The accompanying geotechnical report, prepared by White Geotechnical, confirms the suitability of the strata for the lift pit.

C 1.1 Landscaping

The proposed shaft does not impact or lessen the landscape of the site.

C1.3 View Sharing

Views are not impacted by this proposal.

The shaft is not seen from neighbouring properties to the South or North and the shaft is within the current overall view planes from the higher properties on the Western Side of Sunrise rd.

C1.4 Solar Access

There is no loss of solar access to neighbouring properties.

C1.5 Visual Privacy

There is no impact from this proposal.

C1.6 Acoustic Privacy

There is no acoustic impact

C23. Eaves

In order to provide sun protection to the north facing glazing of the lift shaft 1000 mm wide eaves are provided and at mid level 1000 mm width of 200 mm deep sun beams provide protection to the lower level glazing.

This is illustrated on the North South section on drawing number 8

This complies with the guidelines set out in the Basix report

C25 Lift Overrun

It is paramount for accessibility that the lift serves all 4 levels of the 2 storey split level residence which includes the garage at street level.

The lift overrun will therefore project 500 mm above the existing garage roof.

The overrun is setback from the courtyard garage wall 650 mm and as such is 6450 mm from the street front garage roof line. Refer drawings no.2 and 7.

The top of the overrun is 700 mm below the ridge of the existing adjacent stair skylight and 1200 mm below the ridge of the pitched roof of the eastern pavilion.

The eaves projection to the north face of the lift shaft is set at the level of the existing garage roof so as to read as part of that.

The intent is that this addition will become part of the existing roofscape. The roof will be as the existing garage roof - membrane finished with pebbles - and the cladding in dark painted timber to match existing.

The location and height of the overrun does not impact outlook or views from the properties on the high side of Sunrise Road nor the presentation of the property to the street frontage public domain.

D 12.1 Character as viewed from a Public Place

The new construction is consistent with the current architectural character of the residence with the shaft not seen from the street side or public domain.

D 12. Building Colours and Materials

The new proposal is consistent in materiality and colour with the existing residence.

THE CONCLUSION

The construction of the lift shaft and installation of a lift serving all levels of the residence is an essential addition for the continued ease of use by the properties owners and their guests. Many are ageing with resulting movement difficulties.

The proposed location in the existing internal courtyard not only appropriately serves all levels but maintains the essential visual openness and light penetration internally. Potential impact of summer northern sun has been addressed with eaves overhang and mid level sun beams.

The proposal has been designed so there is no impact on views or solar access to neighbouring properties and to ensure that the new construction integrates with the existing architectural characteristics.

Under these circumstances it is submitted that there is no impediment to Council granting consent to the application.