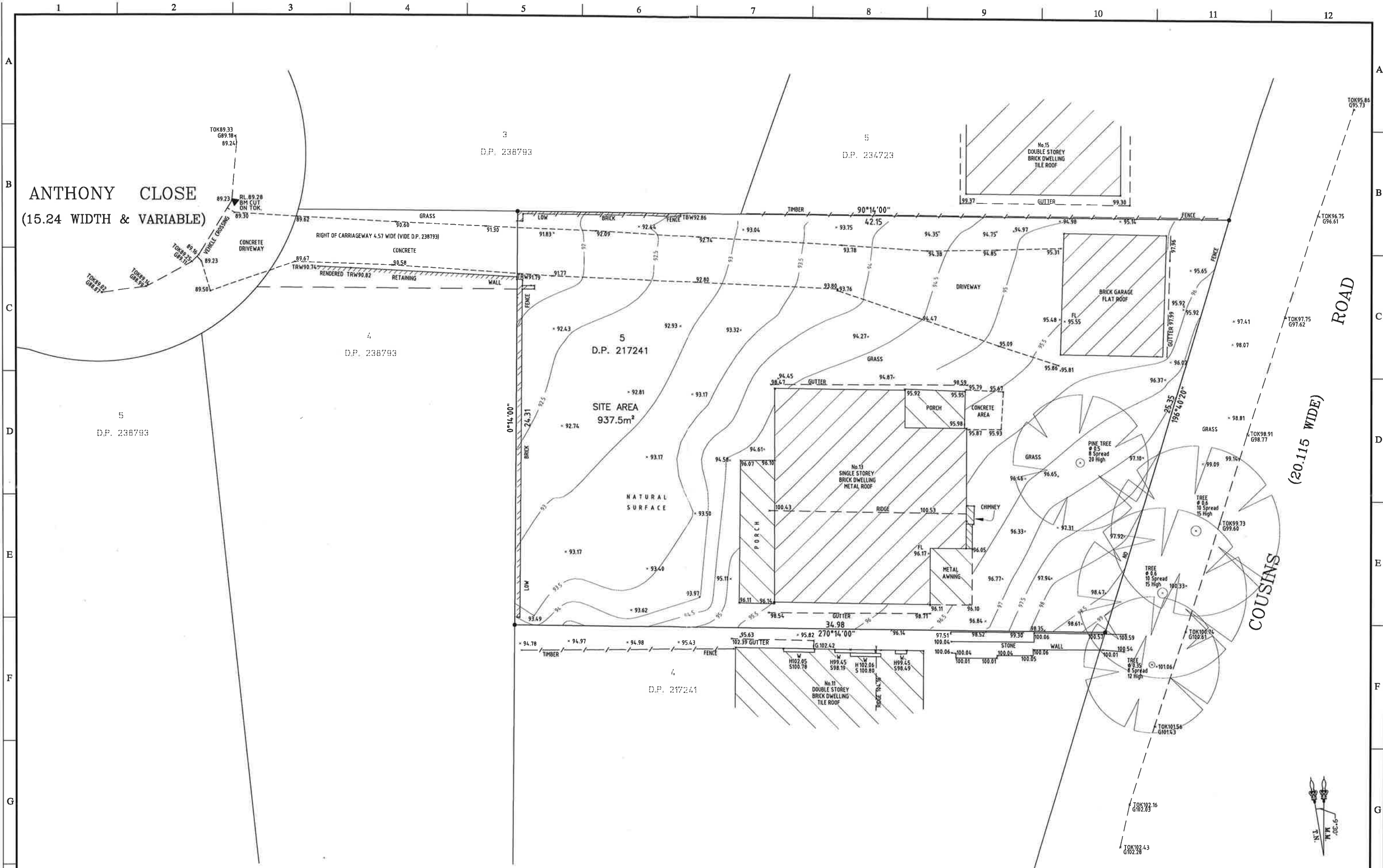




IMPORTANT NOTE:

This plan is prepared from a combination of field survey and existing record for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries shown hereon were not marked by the author at the time of survey and have been determined by plan dimensions only and not by field measurement.

Services shown hereon have been located where possible by field survey. If not able where possible by field survey, if not able to be so located, known services have been plotted from the records of relevant authorities where available and have been noted accordingly on this plan.

Where no services are shown hereon, it is considered inadequate, a notation has been made hereon.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note is an integral part of this plan.

LEGEND:

BM-BENCH MARK
RL- REDUCED LEVEL
FL- FLOOR LEVEL
G.- GUTTER
TOK-TOP OF KERB
Ø -DIAMETER OF TRUNK
W-WINDOW

TRW - TOP OF RETAINING WALL

[illegible]

SCALE: 1:100	
HORIZ. 1:	VERT. 1:
CONTOUR INTERVAL:	
MAJOR 1	MINOR 0.5
HORIZONTAL ORIGIN	
COORD. SYSTEM	MARK ADOPTE
M.M	COORDINATE
	E
	N
VERTICAL DATUM	
DATUM:	BM ADOPTE
AHD	RT. 104.575

A1

**ATS LAND & ENGINEERING
SURVEYORS PTY. LTD.**

A. C. N. 003 402 426
Suite 3, 75 Ryedale Road, WEST RYDE 2114
(P.O. Box 331 GLADESVILLE 1675)
Phone: (02) 9808 6854 Fax: (02) 9808 6853
E-Mail: ats1@atssurveyors.com.au

PROJECT:

**TOPOGRAPHICAL SURVEY PLAN
OF No.13 COUSINS ROAD,
BEACON HILL,
BEING LOT 5 IN D.P.217241**

CLIENT: RAM CONSTRUCTION CORP PTY LTD



DATE _____

04 - 05 - 2018

SHEET 1 OF 1

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