

BASIX[®] commitments

Assessor	Mr. Daniel Warda
Date	23 / 02 / 2021
BASIX Certificate No.	1148811S_02
NatHERS Certificate No.	0005330162

project details

Site Address	Lot 18, 22 Baz Retreat, Warriewood NSW 2102
Municipality	Northern Beaches
Reference	29914556

thermal comfort

Floors	300mm Waffle Pod Slab as per job number 29914556		
Cantilevered Floors	R2.0 Bulk Insulation to Bed 1, Ensuite & Bed 2 Suspended Floor Overhang		
External Walls	R2.0 Bulk Insulation to all external walls I Medium		
Internal Walls	Same value as external wall applied to Garage internal walls only		
Ceilings	R4.0 Bulk Insulation to all trussed ceilings over living areas (R2.0 Bulk Insulation to Garage Ceiling Joists)		
Roof	Concrete Roof Tiles I Medium		
Roof Insulation	Sarking		
Stegbar Windows (Aluminium Framed - Standard 3mm Clear)	U - Value:	6.5	SHGC: 0.65
• To all awning & fixed windows excluding any mentioned below			
Stegbar Windows (Aluminium Framed - Standard 3mm Clear)	U - Value:	6.3	SHGC: 0.73
• To all sliding windows excluding any mentioned below			
Stegbar Bi-Fold Door (Aluminium Framed - Standard 3mm Clear)	U - Value:	6.1	SHGC: 0.52
• To all bi-fold doors excluding any mentioned below			
Note: U-Value may be lower but not higher than the nominated values			
Note: SHGC may have a tolerance of +/- 10% of the nominated values in NSW only			
Skylights	N/A		

water

Landscape Area	56m ²
W.C's	4 Star
Kitchen Taps	4 Star
Shower Heads	3 Star (>7.5 but <=9L/min)
Basin Taps	4 Star
Alternative Water	1000L Rain Water Tank
Min. Roof Area To Tank	100m ²
Alt. Water Uses	W.C, Garden & Laundry

energy

Hot Water System	Gas Instantaneous 6 Stars
Cooling System	3-Phase Ducted Air-Con EER 3.0-3.5
Heating System	3-Phase Ducted Air-Con EER 3.0-3.5
Ventilation	As Per Basix Assessment
PV System	N/A
Cooking	Gas Cooktop & Electric Oven
Drying	Outdoor Clothesline
Lighting	As Per BASIX Certificate

swimming pool

Pool / Spa	N/A
Shading / Timer	N/A
Cover	N/A



0005321823 22 Oct 2020
Assessor Daniel.Warda
Accreditation No. 101182
Address Barrett Street , Barden Ridge , NSW , 2234
www.nathers.gov.au

AREAS	
SITE:	333.80 m ²
GROUND FLOOR:	92.51 m ²
FIRST FLOOR:	112.21 m ²
GARAGE:	37.39 m ²
PORCH:	2.90 m ²
BALCONY:	N/A m ²
ALFRESCO:	14.94 m ²
	m ²
TOTAL:	259.95 m ²

QUOTE	DATE	QUOTE NUMBER	REV					
KITCHEN			-					
ZURCORP ELECTRICAL			-					
TILES			-					
CARPET			-					
ZURCORP SECURITY			-					
EH1			-					
AIR CONDITIONING			-					
STAIRS			-	F	24.02.21	AMENDED BASIX		M.H.
LANDSCAPE				E	05.01.20	EXTERNAL COLOURS		PG.
HYDRAULICS				D	15.12.20	DA DRAWINGS, HYDRAULICS CO-ORDINATED		PG.
ENGINEER				C	19.10.20	PCV1		PJ
PEG OUT				B	01.10.20	CONTRACT DRAWINGS		PG./AK
				A	31.08.20	TENDER SITING		PJ
CLIENT'S SIGNATURE: _____ DATE: _____				REV	DATE	AMENDMENTS	BY	

SHEET	DESCRIPTION
2.5	SITE COVERAGE & LANDSCAPE
2.4	NEIGHBOUR NOTIFICATION PLAN
2.3	SHADOW DIAGRAM
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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PRODUCT:
GREENWICH 28
Classic
R/H Garage

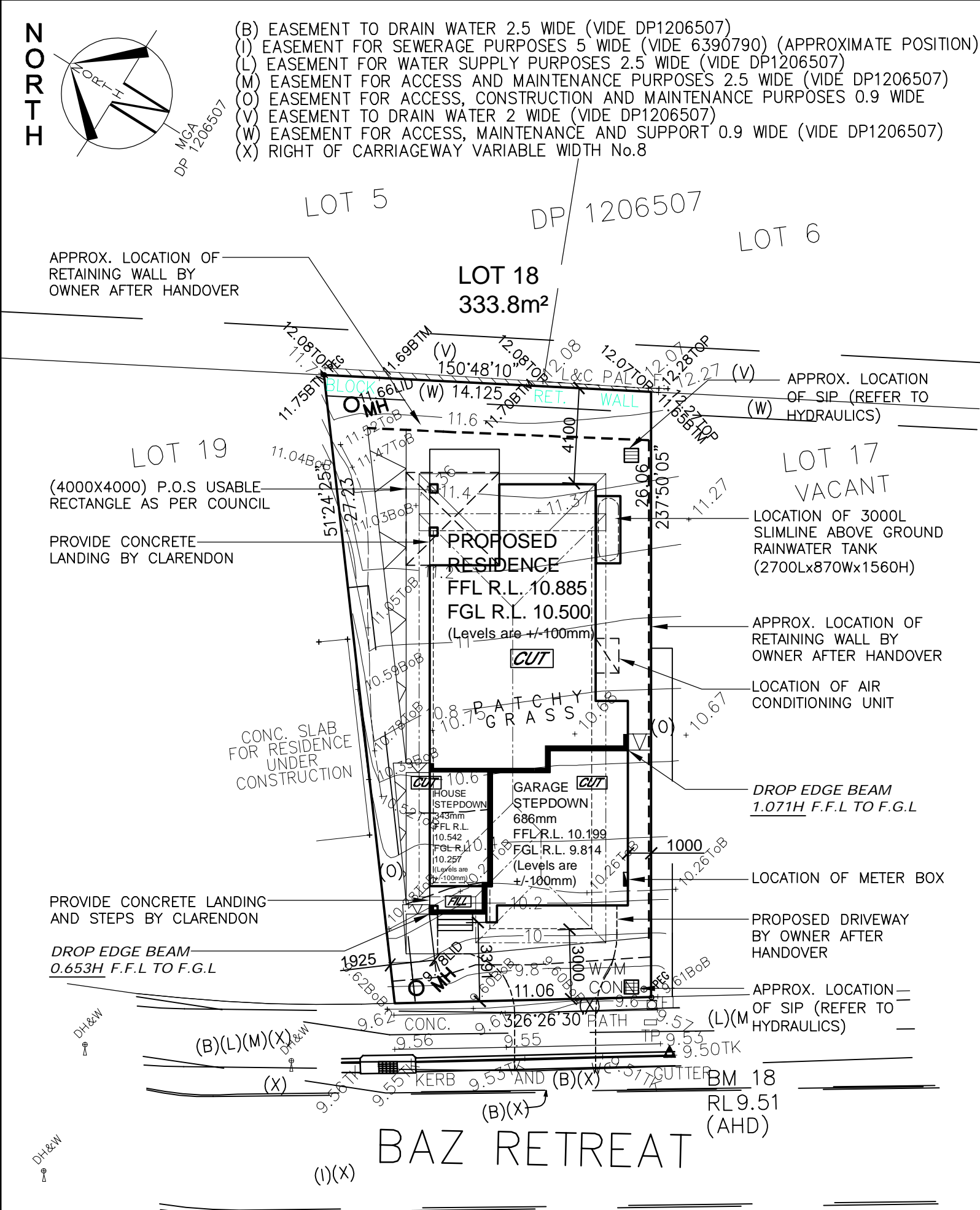
Sapphire Specification
Master Issued: 13.04.18 Revision: A

CLIENT:
Mrs. SAHAKIAN

SITE ADDRESS:
Lot 18, No. 22 D.P:270907
Baz Retreat
WARRIEWOOD, 2102

DA DRAWINGS

DRAWN: PG.	DATE: 01.10.20	Rev: F
RATIO @ A3: N/A	CHECKED: AK	
SHEET: 1	JOB No: 29914556	NSW



LOT 18
D.P: 270907
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16**

SITE AREA	333.8 m²
ROOF AREA	167.4 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 4.0m)	55.6 m² 16.7 %
MIN. REQUIRED BY COUNCIL:	35 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 3.0m)	83.8 m²
MIN. REQUIRED BY COUNCIL:	80 m²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT (F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	10.5 m

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "H1"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

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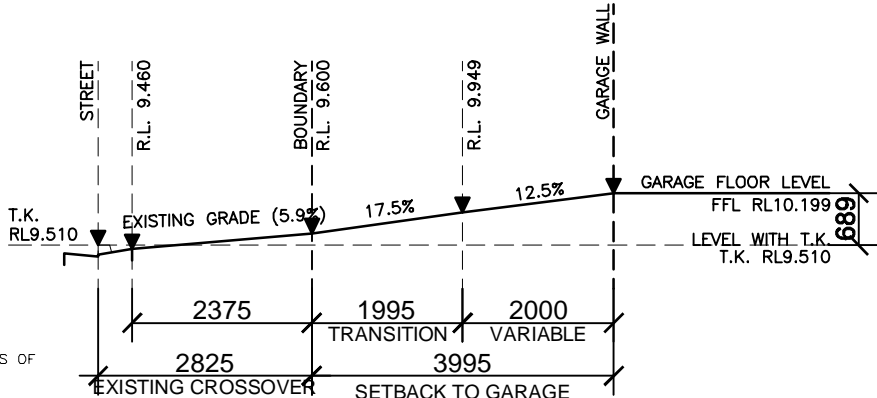
Assessor Daniel Warda
Accreditation No. 101182
Address Barrett Street, Bardon Ridge, NSW, 2234

64.7 MJ/m²
www.nathers.gov.au

SITE PLAN

SCALE 1:200
GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



DRIVEWAY GRADIENT PROFILE

SCALE - 1:100

**PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD**

**STORMWATER TO
STREET VIA
RAINWATER TANK**
REFER TO HYDRAULIC DETAILS

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Sapphire Specification






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Baz Retreat
WARRIEWOOD, 2102

DA DRAWINGS			
DRAWN: PJ	DATE: 31.08.20		Rev:
RATIO @ A3: 1:200	CHECKED: AK		F
SHEET: 2	JOB No: 29914556		
			NSW

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

- DP ○ DOWN PIPE LOCATION
TAP  GARDEN TAP LOCATION
 LIFT OFF HINGES
SP  STEEL POST
TSP  TELESCOPIC STEEL POST
 EXHAUST FAN
- ARTICULATION JOINTS TO ENGINEERS DETAILS

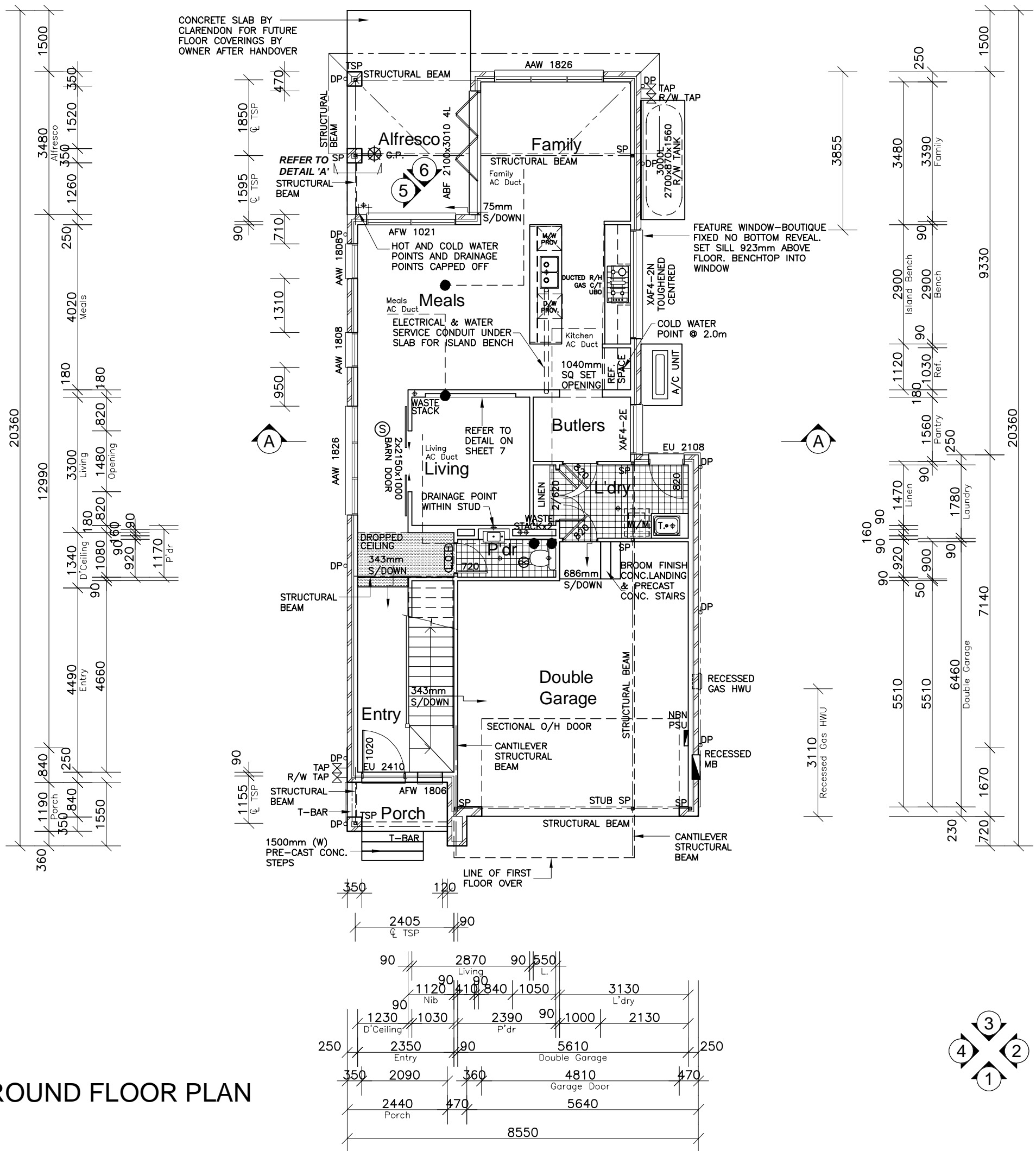
NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



5.1
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
64.7
Mj/m²
www.nathers.gov.au

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GROUND FLOOR PLAN

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GREENWICH 28
Classic
R/H Garage
Sapphire Specification

CLIENT:
Mrs. SAHAKIAN
SITE ADDRESS:
Lot 18, No. 22 D.P:270907
Baz Retreat
WARRIEWOOD, 2102

DA DRAWINGS

DRAWN: PG.	DATE: 01.10.20	Rev: F
RATIO @ A3: 1:100	CHECKED: AK	
SHEET: 3	JOB No: 29914556	NSW

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



NOTE:
PROVIDE THE FOLLOWING DUE TO
PROXIMITY TO COASTAL WATERS:
* EXPOSURE GRADE BRICKS,
* STAINLESS STEEL WALL TIES,
* LINTELS AND EXPOSED
STRUCTURAL STEEL IN
ACCORDANCE WITH THE B.C.A.,
* COLORBOND VALLEY GUTTERS,
* EXPOSURE GRADE MORTAR

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

5.1

NATIONWIDE
HOUSE

64.7

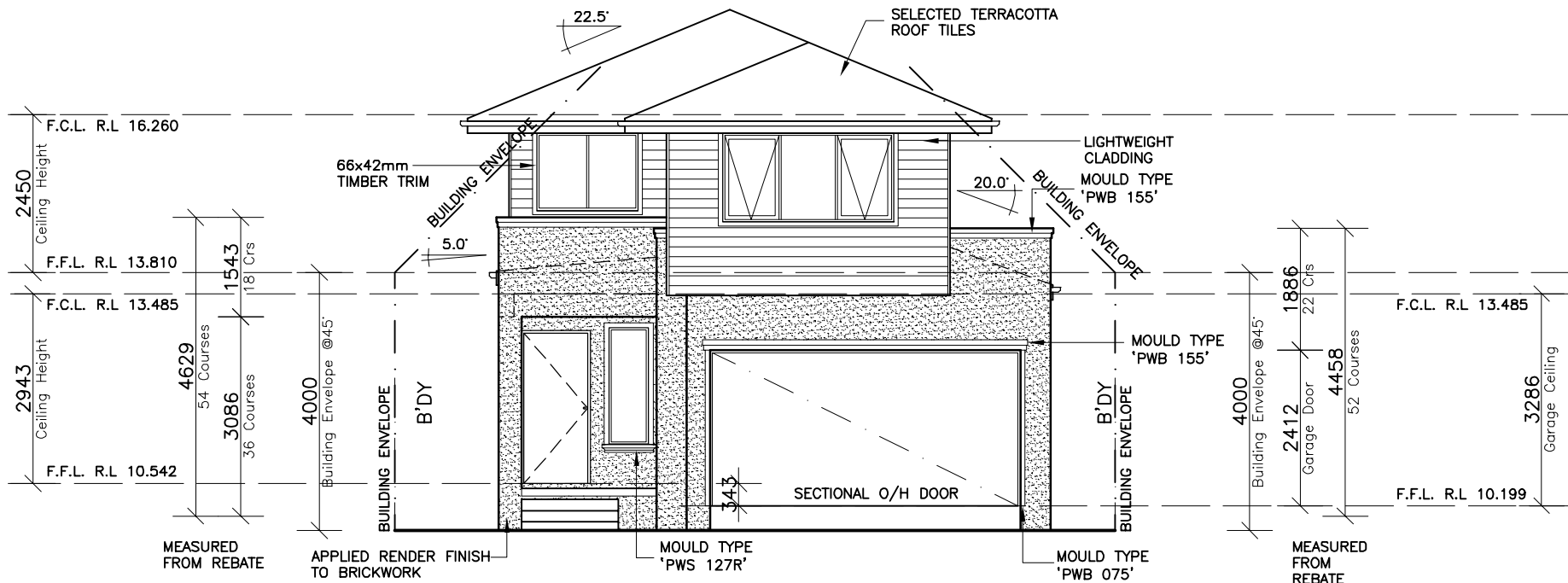
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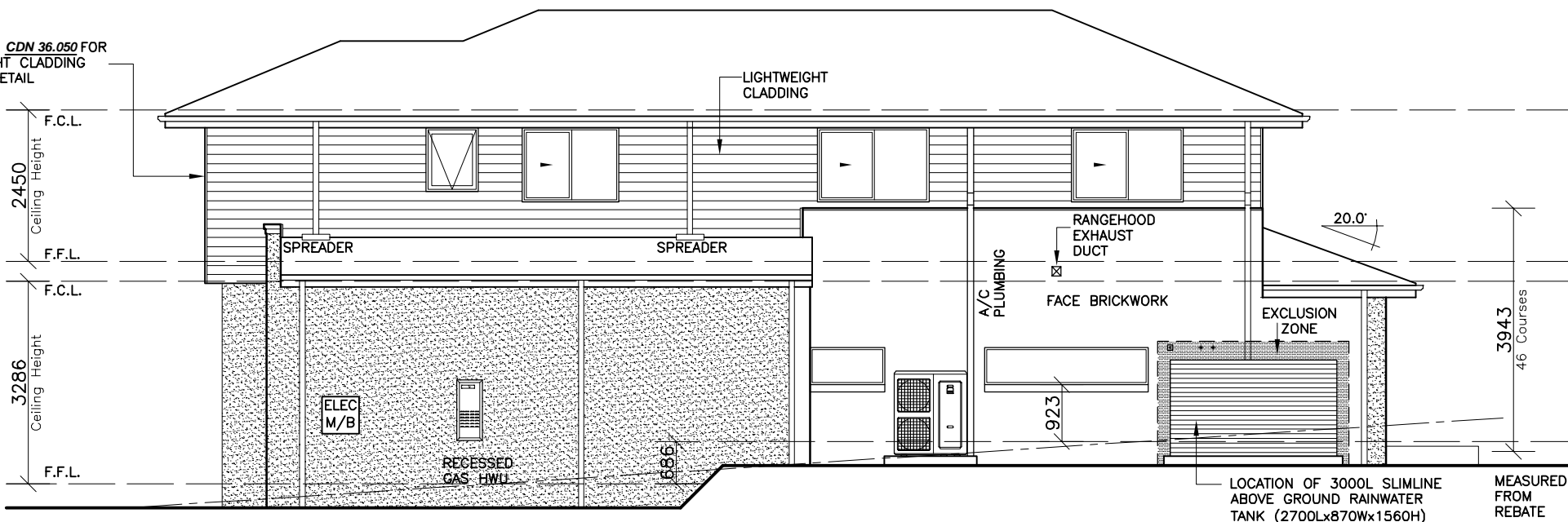
03 9321 0000
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Daniel Warda
101182



ELEVATION 1
-WEST-

REFER TO **CDN 36.050** FOR
LIGHTWEIGHT CLADDING
CORNER DETAIL



ELEVATION 2
-SOUTH-

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SHEET: 5	JOB No: 29914556	NSW

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5.1

NATIONWIDE
HOUSE

64.7

Mum

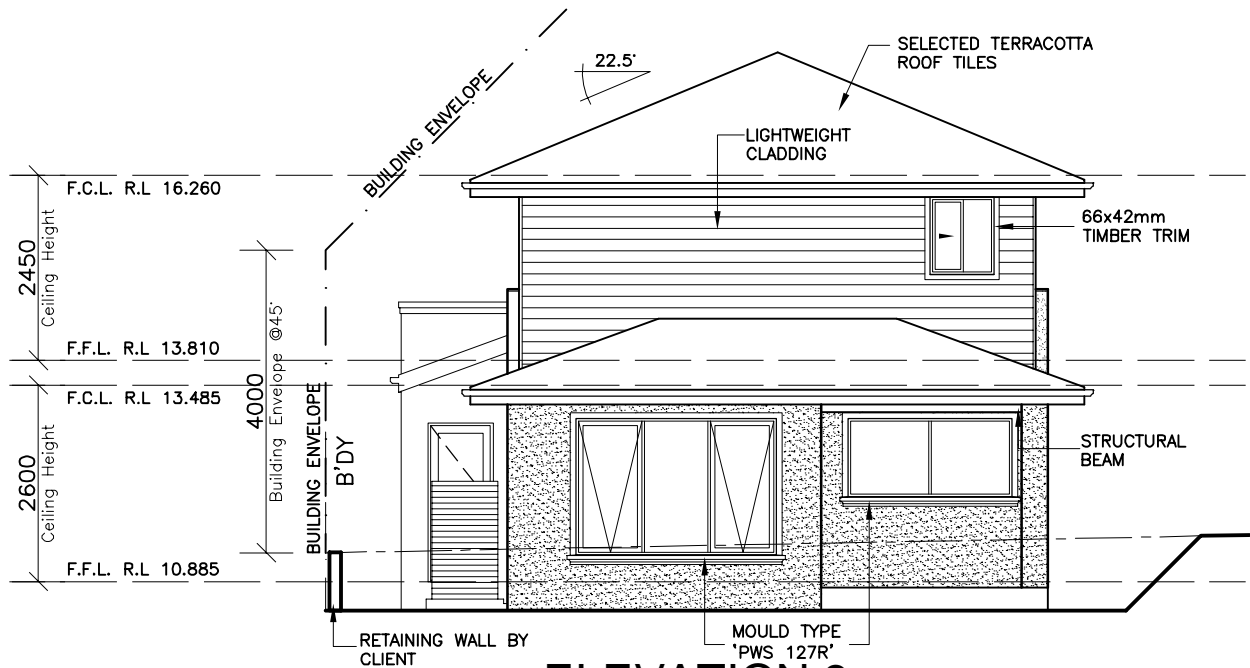
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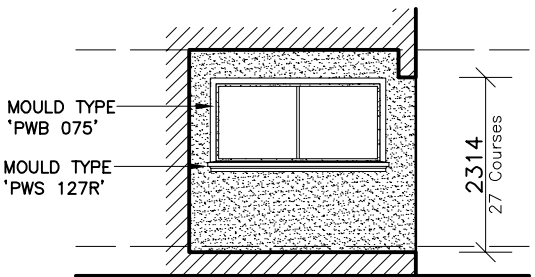
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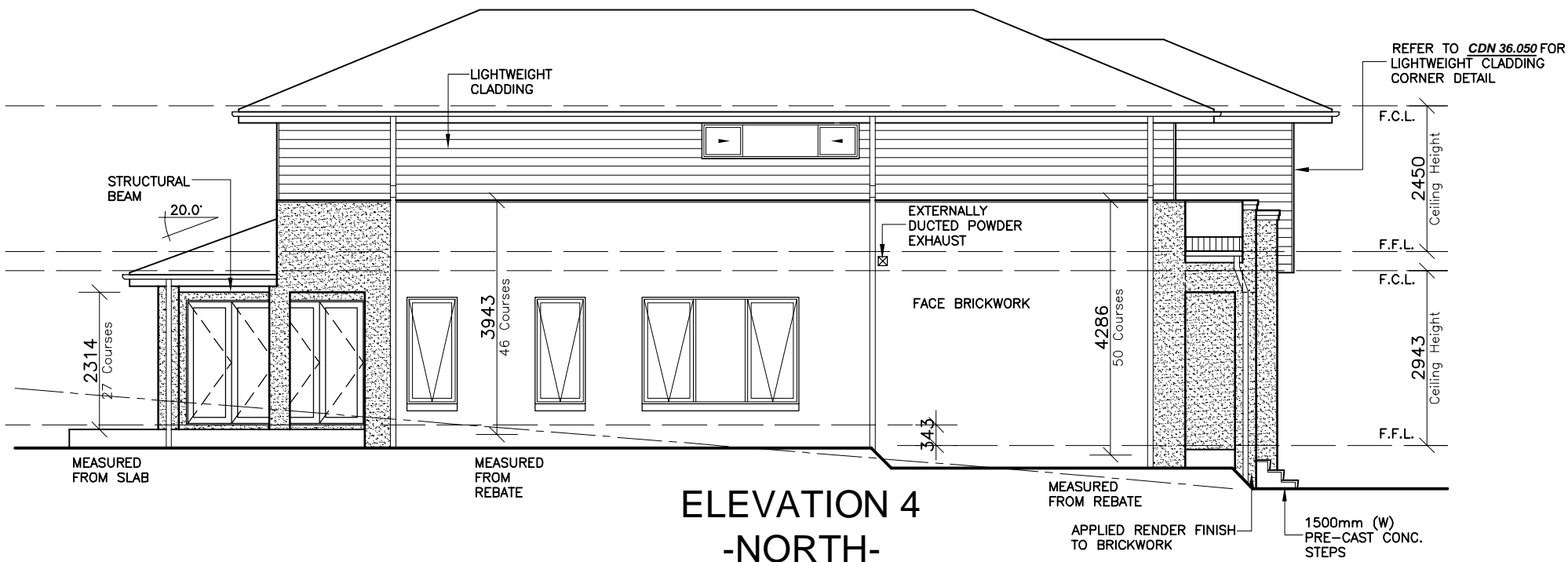
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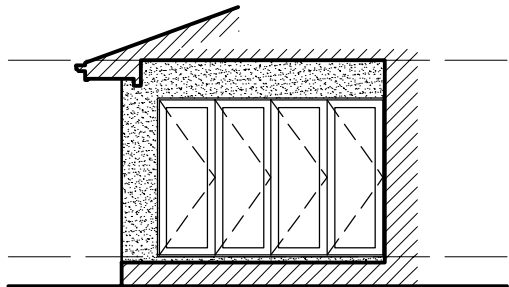
ELEVATION 3
-EAST-



ELEVATION 6
MEASURED FROM SLAB



ELEVATION 4
-NORTH-



ELEVATION 5

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DRAWN: PG.	DATE: 01.10.20	Rev: F
RATIO @ A3: 1:100	CHECKED: AK	
SHEET: 6	JOB No: 29914556	NSW

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

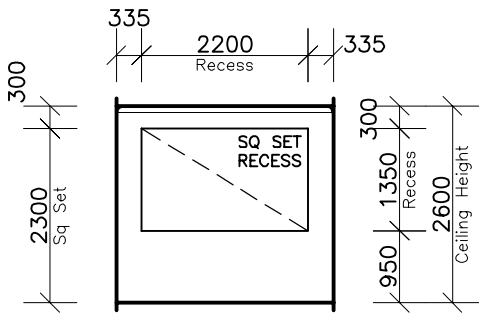
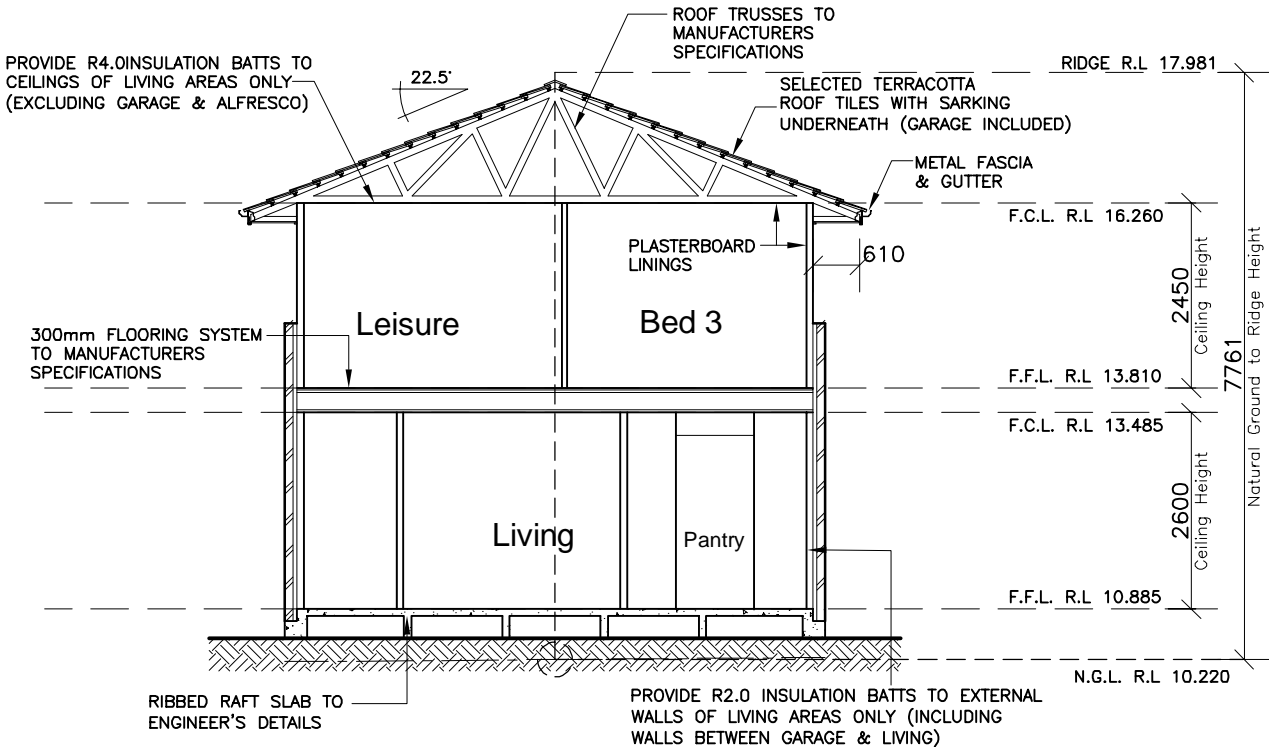


NOTE:
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* EXPOSURE GRADE BRICKS,
* STAINLESS STEEL WALL TIES,
* LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,
* COLORBOND VALLEY GUTTERS,
* EXPOSURE GRADE MORTAR

PROVIDE R2.0 INSULATION BATTS TO CEILING JOISTS BETWEEN GARAGE & FIRST FLOOR

PROVIDE R2.0 INSULATION BATTS TO CEILING JOISTS BETWEEN PORCH & FIRST FLOOR and ALFRESCO & FIRST FLOOR (R3.5 INSULATION INSTALLED AS PART OF CONSTRUCTION METHOD)

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Accreditation No. 101182
Address Barrett Street, Bardon Ridge, NSW, 2234
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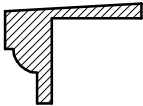
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SCALE 1:10



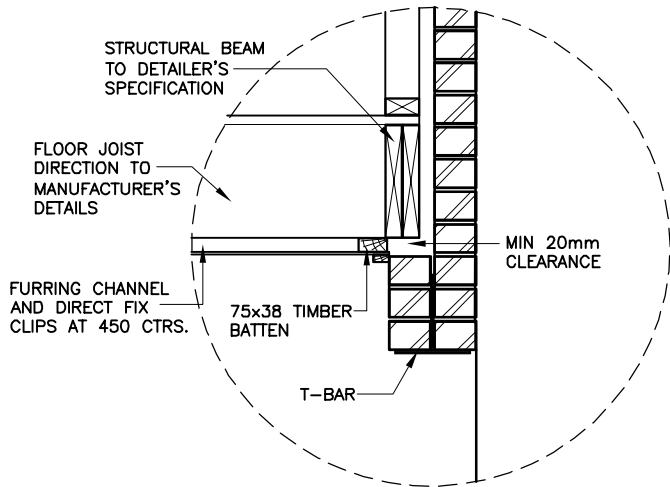
'PWB 155'
SCALE 1:10



'PWS 127R'
SCALE 1:10



HAMPTONS MOULDING PROFILES



SCALE: 1:20

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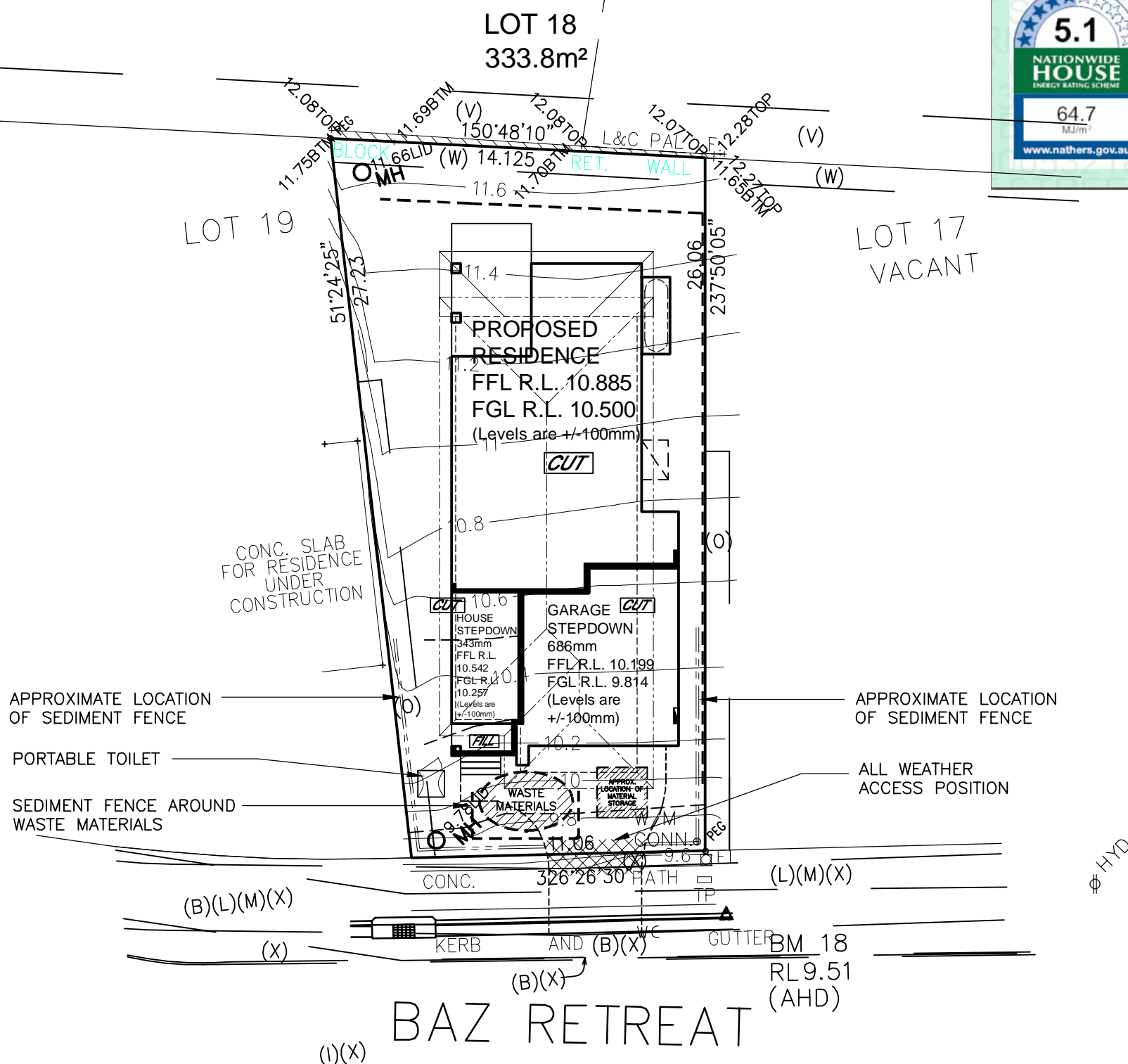
Sapphire Specification

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SHEET: 7	JOB No: 29914556	NSW	

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTSWATER DCP 21 - D16



NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

(B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
 (I) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790) (APPROXIMATE POSITION)
 (L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE DP1206507)
 (M) EASEMENT FOR ACCESS AND MAINTENANCE PURPOSES 2.5 WIDE (VIDE DP1206507)
 (O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE PURPOSES 0.9 WIDE
 (V) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP1206507)
 (W) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DP1206507)
 (X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No.8

CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.

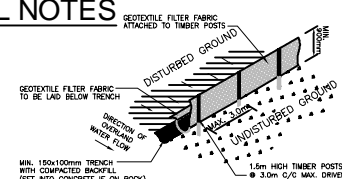
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGETATED

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM ANY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE MAINTAINED.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED

8. DUST PREVENTION MEASURES TO BE MAINTAINED



SEDIMENT FENCE
NOT TO SCALE

RELEVANT WORKS ARE COMPLETED.

DRAINAGE LINES AND AREA WHERE WATER MAY

C /PROXY OR APPROVED EQUIVALENT BETWEEN

ITS LOWER EDGE.

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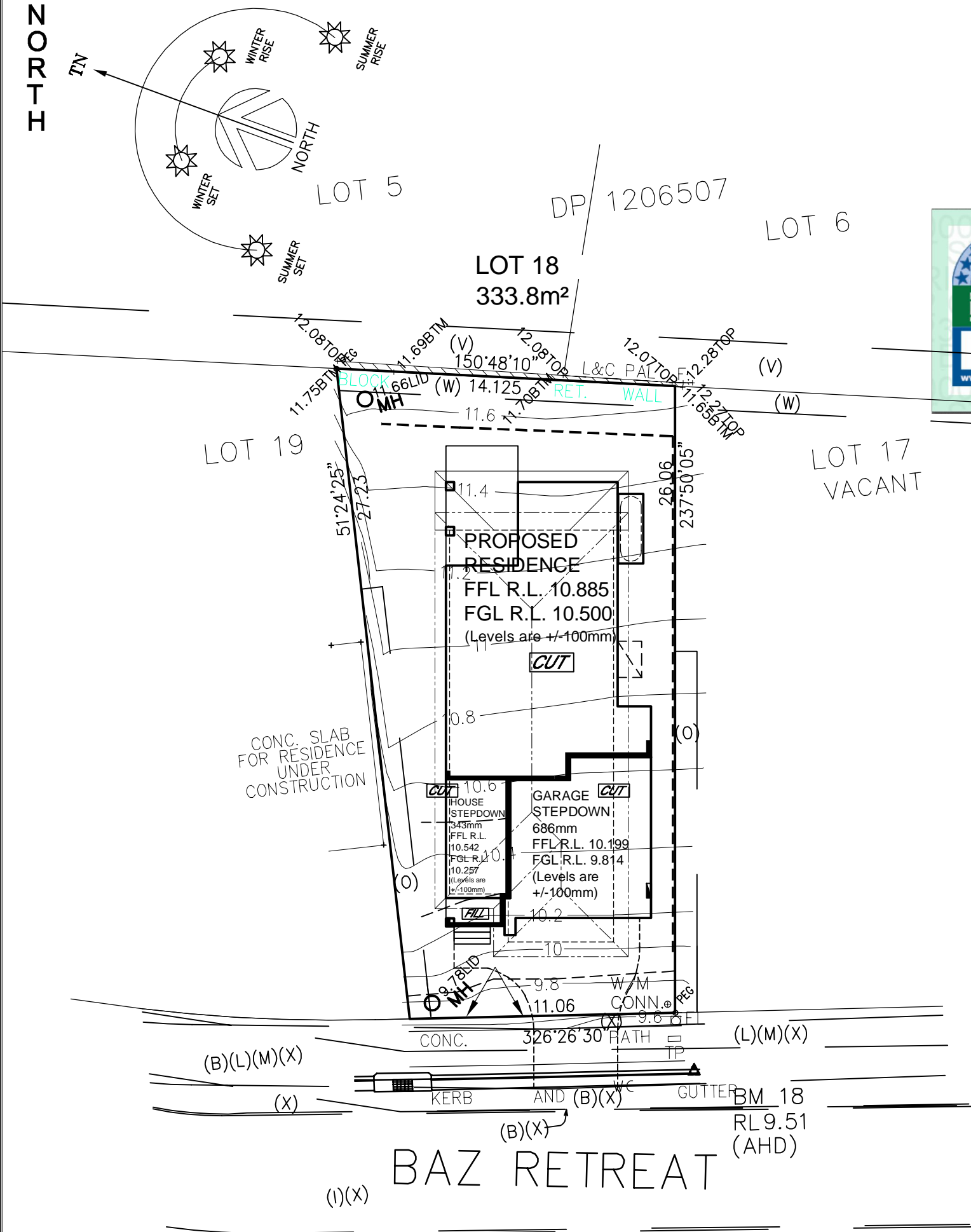
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R/H Garage

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SHEET: 2.1	JOB No: 29914556	NSW



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L.G.A: NORTHERN BEACHES

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PITTWATER DCP 21 - D16

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64.7 MJ/m²

www.nathers.gov.au

DENOTES EXISTING TREES TO BE RETAINED

1/2 NUMBER OF STOREYS

P PRINCIPAL PRIVATE OPEN SPACE

MAIN VIEWS

NOISE IMPACT

PREVAILING WINDS

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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GREENWICH 28
Classic
R/H Garage

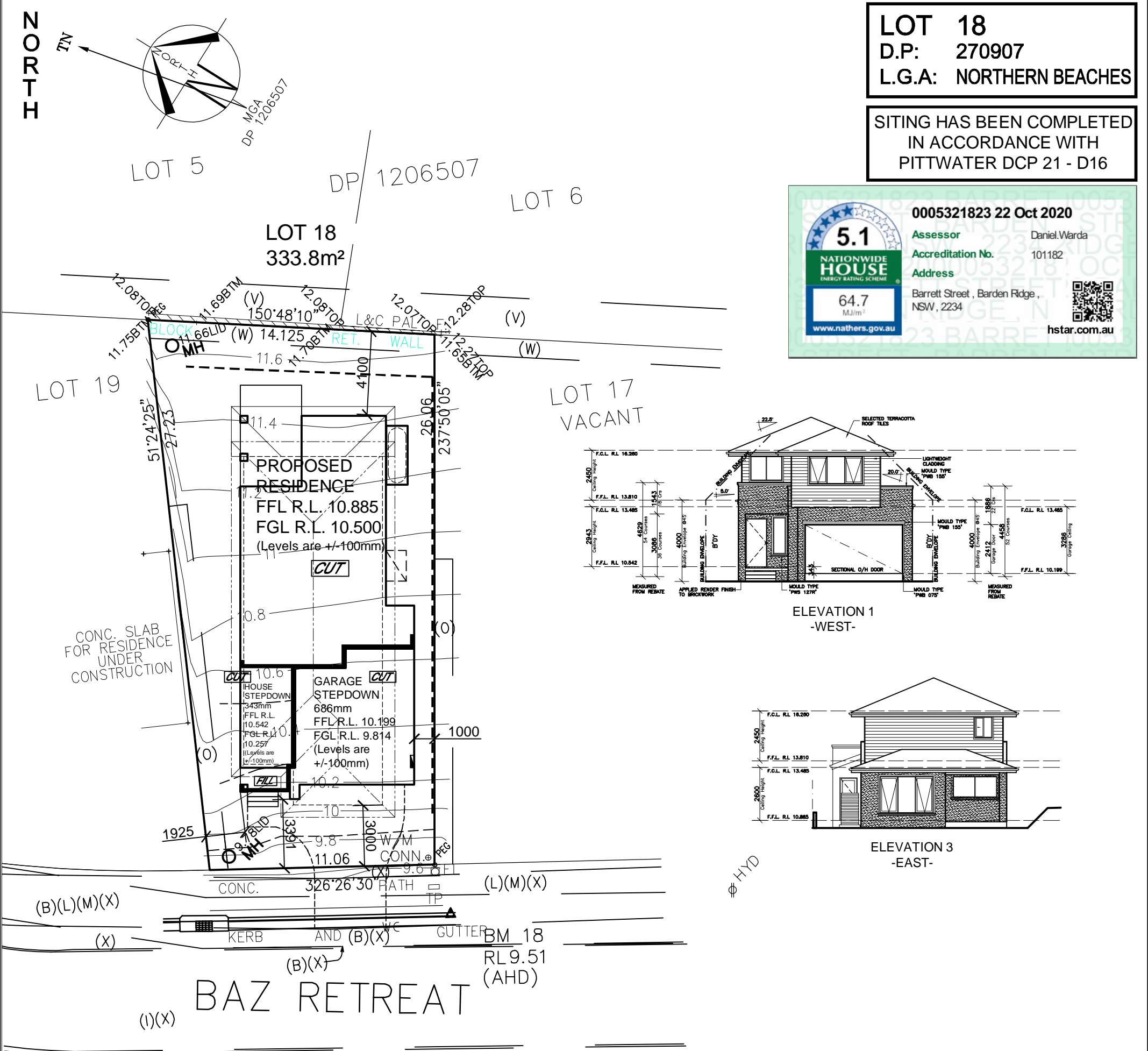
Sapphire Specification

CLIENT:
Mrs. SAHAKIAN

SITE ADDRESS:
Lot 18, No. 22 D.P:270907
Baz Retreat
WARRIEWOOD, 2102

DA DRAWINGS

DRAWN: PG.	DATE: 01.10.20	Rev: F
RATIO @ A3: 1:200	CHECKED: AK	
SHEET: 2.2	JOB No: 29914556	NSW



LOT 18
D.P: 270907
L.G.A: NORTHERN BEACHES

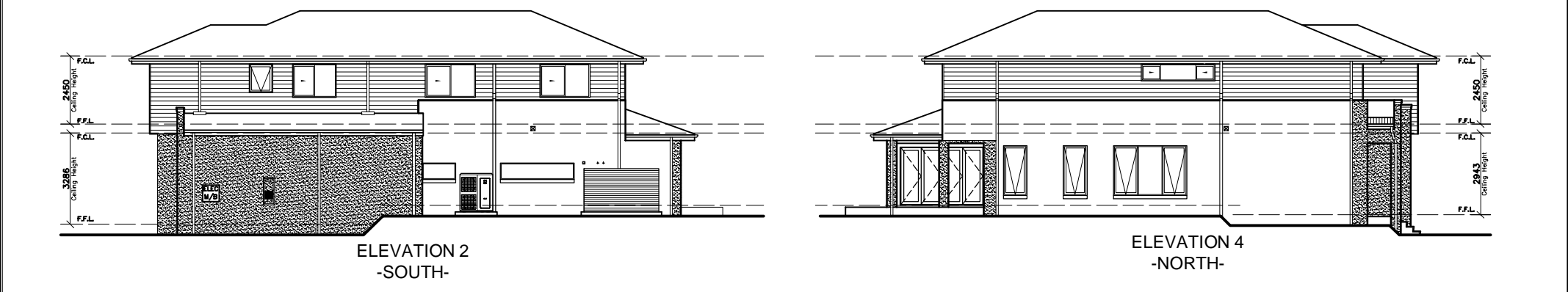
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16

0005321823 22 Oct 2020

Assessor Daniel Warda
Accreditation No. 101182
Address Barrett Street, Barden Ridge, NSW, 2234

5.1
NATIONWIDE HOUSE
ENERGY RATING SCHEME
64.7 MJ/m²
www.nathers.gov.au

hstar.com.au



NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

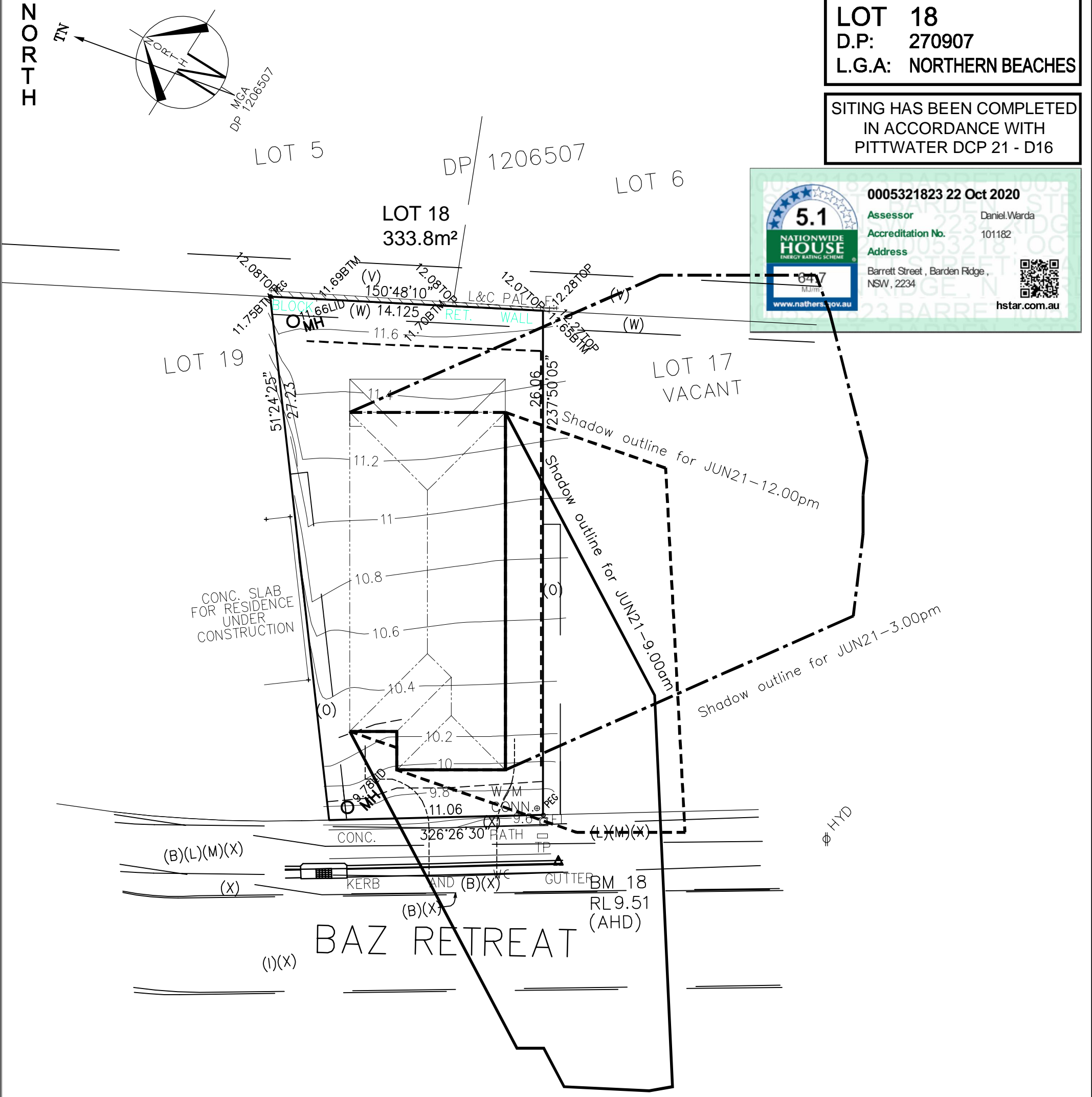
PRODUCT:
GREENWICH 28
Classic
R/H Garage
Sapphire Specification

CLIENT:
Mrs. SAHAKIAN

SITE ADDRESS:
Lot 18, No. 22 D.P:270907
Baz Retreat
WARRIEWOOD, 2102

DA DRAWINGS

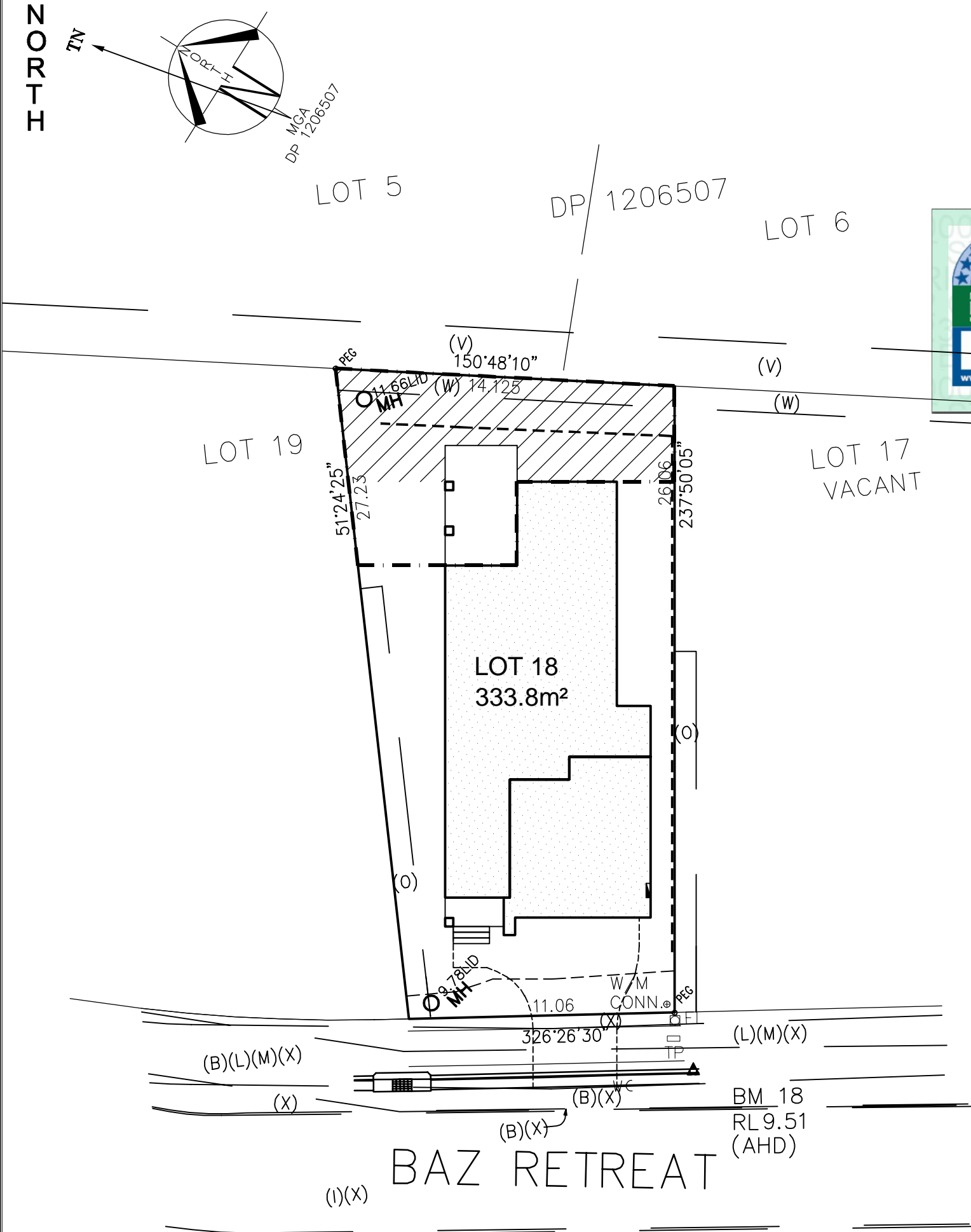
DRAWN: PG.	DATE: 01.10.20	Rev: F
RATIO @ A3: 1:200	CHECKED: AK	
SHEET: 2.3	JOB No: 29914556	NSW



SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: _____ DATE: _____

<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>	<div>© ALL RIGHTS RESERVED</div> <div>This plan is the property of CLARENDON HOMES (NSW) P/L</div> <div>Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</div> <div># ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>	<div>PRODUCT:</div> <div>GREENWICH 28</div> <div>Classic</div> <div>R/H Garage</div> <div>Sapphire Specification</div>	<div>CLIENT:</div> <div>Mrs. SAHAKIAN</div> <div>SITE ADDRESS:</div> <div>Lot 18, No. 22 D.P:270907</div> <div>Baz Retreat</div> <div>WARRIEWOOD, 2102</div>	DA DRAWINGS		
				DRAWN: PG.	DATE: 01.10.20	Rev: F
				RATIO @ A3: 1:200	CHECKED: AK	
				SHEET: 2.4	JOB No: 29914556	NSW



LOT 18
D.P: 270907
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16

0005321823 22 Oct 2020

Assessor Daniel Warda
Accreditation No. 101182
Address Barrett Street, Barden Ridge, NSW, 2234

www.nathers.gov.au

PRIVATE OPEN SPACE AREA = 83.83m²

LANDSCAPE AREA = 55.56m²

SITE COVERAGE AREA = 129.80m²

SITE COVERAGE & LANDSCAPE PLAN

CLIENT'S SIGNATURE: _____		DATE: _____					
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				SITE ADDRESS:		Lot 18, No. 22 D.P:270907	
				Baz Retreat		WARRIEWOOD, 2102	
				DA DRAWINGS			
				DRAWN: PG.	DATE: 01.10.20	Rev: F	
				RATIO @ A3: 1:200	CHECKED: AK		
				SHEET: 2.5	JOB No: 29914556	NSW	

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ABN 18 003 892 706

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