

SECTION 96 ISSUE

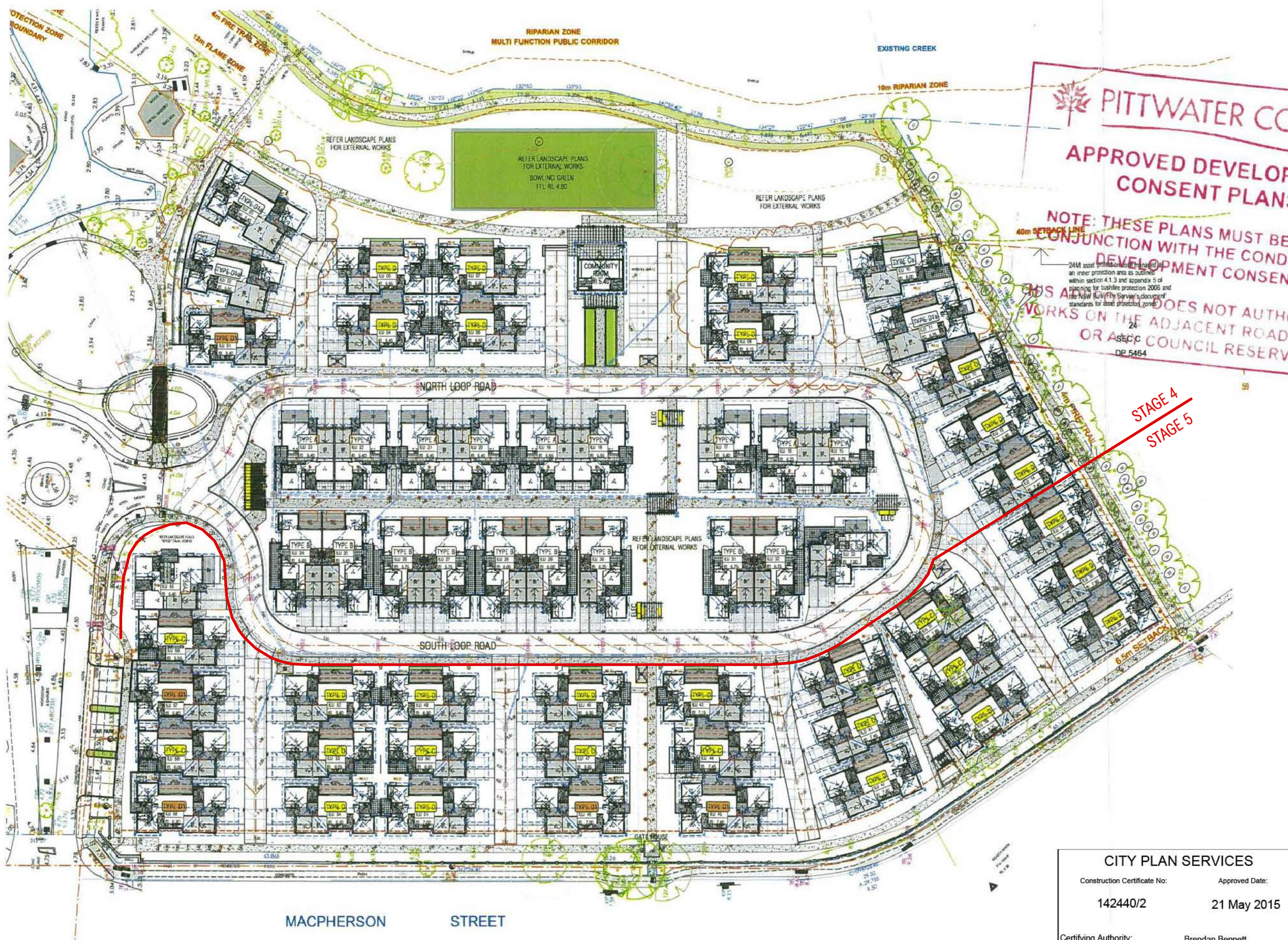
Project: **ARV WARRIEWOOD BROOK** 731
 Client: **ARV**
 Site: **MACPHERSON ST**
 Stage: **STAGE S96**
 Date: **29-Mar-16**



DWG	DRAWING TITLE	ISSUE
000	SITE CONSTRUCTION INFORMATION	
003	STAMPED CC -SITE PLAN-MASTERPLAN 1:750@A3	G
003	SITE PLAN- MASTERPLAN 1:750@A3	A
006	MATERIALS/FINISHES SCHEDULE	A
008	SITE PLAN-AREA CALCULATION 1:500@A1	A
	STAGE 4	
100	GENERAL ASSEMBLY PLANS	
A101	STAMPED CC -ILU TYPE A FLOOR PLAN 1:100	K
A102	STAMPED CC -ILU TYPE A ROOF PLAN 1:100	E
A103	STAMPED CC -ILU TYPE A ELEVATIONS 1:100	E
A101	ILU TYPE A FLOOR PLAN 1:100	A
A102	ILU TYPE A ROOF PLAN 1:100	A
A103	ILU TYPE A ELEVATIONS 1:100	A
A-s101	ILU TYPE A single FLOOR PLAN 1:100	A
A-s102	ILU TYPE A single ROOF PLAN 1:100	A
A-s103	ILU TYPE A single ELEVATIONS 1:100	A
B101	STAMPED CC -ILU TYPE B FLOOR PLAN 1:100	K
B102	STAMPED CC -ILU TYPE B ROOF PLAN 1:100	E
B103	STAMPED CC -ILU TYPE B ELEVATIONS 1:100	E
B101	ILU TYPE B FLOOR PLAN 1:100	A
B102	ILU TYPE B ROOF PLAN 1:100	A
B103	ILU TYPE B ELEVATIONS 1:100	A
B-s101	ILU TYPE B single FLOOR PLAN 1:100	A
B-s102	ILU TYPE B single ROOF PLAN 1:100	A
B-s103	ILU TYPE B single ELEVATIONS 1:100	A
C101	STAMPED CC -ILU TYPE C FLOOR PLAN 1:100	L
C102	STAMPED CC -ILU TYPE C ROOF PLAN 1:100	F
C103	STAMPED CC -ILU TYPE C ELEVATIONS 1:100	F
CR-ft 101	ILU TYPE C (reverse)-FT FLOOR PLAN 1:100	A
CR-ft 102	ILU TYPE C (reverse)-FT ROOF PLAN 1:100	A
CR-ft 103	ILU TYPE C (reverse)-FT ELEVATIONS 1:100	A
Ca101	STAMPED CC -ILU TYPE Ca FLOOR PLAN 1:100	G
Ca102	STAMPED CC -ILU TYPE Ca ROOF PLAN 1:100	E
Ca103	STAMPED CC -ILU TYPE Ca ELEVATIONS 1:100	E
Ca101	ILU TYPE Ca FLOOR PLAN 1:100	A
Ca102	ILU TYPE Ca ROOF PLAN 1:100	A
Ca103	ILU TYPE Ca ELEVATIONS 1:100	A
D101	STAMPED CC -ILU TYPE D FLOOR PLAN 1:100	L
D102	STAMPED CC -ILU TYPE D ROOF PLAN 1:100	F
D103	STAMPED CC -ILU TYPE D ELEVATIONS 1:100	F
D101	ILU TYPE D FLOOR PLAN 1:100	A
D102	ILU TYPE D ROOF PLAN 1:100	A
D103	ILU TYPE D ELEVATIONS 1:100	A
DR-ft 101	ILU TYPE D (reverse)-FT FLOOR PLAN 1:100	A
DR-ft 102	ILU TYPE D (reverse)-FT ROOF PLAN 1:100	A
DR-ft 103	ILU TYPE D (reverse)-FT ELEVATIONS 1:100	A
D-w 101	ILU TYPE D-w FLOOR PLAN 1:100	A
D-w 102	ILU TYPE D-w ROOF PLAN 1:100	A
D-w 103	ILU TYPE D-w ELEVATIONS 1:100	A
D1-101	STAMPED CC -ILU TYPE D1 FLOOR PLAN 1:100	L
D1-102	STAMPED CC -ILU TYPE D1 ROOF PLAN 1:100	F
D1-103	STAMPED CC -ILU TYPE D1 ELEVATIONS 1:100	F
D1-w 101	ILU TYPE D1-w FLOOR PLAN 1:100	A
D1-w 102	ILU TYPE D1-w ROOF PLAN 1:100	A
D1-w 103	ILU TYPE D1-w ELEVATIONS 1:100	A

STAGE 4		
DWG	DRAWING TITLE	ISSUE
D1a-101	STAMPED CC -ILU TYPE D1a FLOOR PLAN 1:100	G
D1a-102	STAMPED CC -ILU TYPE D1a ROOF PLAN 1:100	E
D1a-103	STAMPED CC -ILU TYPE D1a ELEVATIONS 1:100	E
D1a 101	ILU TYPE D1a FLOOR PLAN 1:100	A
D1a 102	ILU TYPE D1a ROOF PLAN 1:100	A
D1a 103	ILU TYPE D1a ELEVATIONS 1:100	A
D1a-ft 101	ILU TYPE D1a-ft FLOOR PLAN 1:100	A
D1a-ft 102	ILU TYPE D1a-ft ROOF PLAN 1:100	A
D1a-ft 103	ILU TYPE D1a-ft ELEVATIONS 1:100	A
S2 101	STAMPED CC -ILU TYPE S2 FLOOR PLAN 1:100	P
S2 102	STAMPED CC -ILU TYPE S2 ROOF PLAN 1:100	P
S2 103	STAMPED CC -ILU TYPE S2 ELEVATIONS 1:100	P
S2 101	ILU TYPE S2 FLOOR PLAN 1:100	A
S2 102	ILU TYPE S2 ROOF PLAN 1:100	A
S2 103	ILU TYPE S2 ELEVATIONS 1:100	A
CS 105	MDB/COMMS CBD / GARBAGE AREAS	E
CS 105	MDB/COMMS/GARBAGE AREAS/MAILBOX UNITS	A

STAGE 5		
DWG	DRAWING TITLE	ISSUE
A-sR101	ILU TYPE A single reverse FLOOR PLAN 1:100	A
A-sR102	ILU TYPE A single reverse ROOF PLAN 1:100	A
A-sR103	ILU TYPE A single reverse ELEVATIONS 1:100	A
C101	ILU TYPE C FLOOR PLAN 1:100	A
C102	ILU TYPE C ROOF PLAN 1:100	A
C103	ILU TYPE C ELEVATIONS 1:100	A
C*101	ILU TYPE C* FLOOR PLAN 1:100	A
C*102	ILU TYPE C* ROOF PLAN 1:100	A
C*103	ILU TYPE C* ELEVATIONS 1:100	A
D*101	ILU TYPE D* FLOOR PLAN 1:100	A
D*102	ILU TYPE D* ROOF PLAN 1:100	A
D*103	ILU TYPE D* ELEVATIONS 1:100	B
D*R101	ILU TYPE D* (reverse) FLOOR PLAN 1:100	A
D*R102	ILU TYPE D* (reverse) ROOF PLAN 1:100	A
D*R103	ILU TYPE D* (reverse) ELEVATIONS 1:100	A
DR-ft 101	ILU TYPE D (reverse)-FT FLOOR PLAN 1:100	A
DR-ft 102	ILU TYPE D (reverse)-FT ROOF PLAN 1:100	A
DR-ft 103	ILU TYPE D (reverse)-FT ELEVATIONS 1:100	A
D-wRft 101	ILU TYPE D-w (reverse)FT FLOOR PLAN 1:100	A
D-wRft 102	ILU TYPE D-w (reverse)FT ROOF PLAN 1:100	A
D-wRft 103	ILU TYPE D-w (reverse)FT ELEVATIONS 1:100	A
D1* 101	ILU TYPE D1* FLOOR PLAN 1:100	A
D1* 102	ILU TYPE D1* ROOF PLAN 1:100	A
D1* 103	ILU TYPE D1* ELEVATIONS 1:100	A
D1-w* 101	ILU TYPE D1-w* FLOOR PLAN 1:100	A
D1-w* 102	ILU TYPE D1-w* ROOF PLAN 1:100	A
D1-w* 103	ILU TYPE D1-w* ELEVATIONS 1:100	B
E 101	ILU TYPE E FLOOR PLAN 1:100	A
E 102	ILU TYPE E ROOF PLAN 1:100	A
E 103	ILU TYPE E ELEVATIONS 1:100	A
ER 101	ILU TYPE E (reverse) FLOOR PLAN 1:100	A
ER 102	ILU TYPE E (reverse) ROOF PLAN 1:100	A
ER 103	ILU TYPE E (reverse) ELEVATIONS 1:100	A
F 101	ILU TYPE F FLOOR PLAN 1:100	A
F 102	ILU TYPE F ROOF PLAN 1:100	A
F 103	ILU TYPE F ELEVATIONS 1:100	A
FR 101	ILU TYPE F (reverse) FLOOR PLAN 1:100	A
FR 102	ILU TYPE F (reverse) ROOF PLAN 1:100	A
FR 103	ILU TYPE F (reverse) ELEVATIONS 1:100	B
G 101	ILU TYPE G FLOOR PLAN 1:100	A
G 102	ILU TYPE G ROOF PLAN 1:100	A
G 103	ILU TYPE G ELEVATIONS 1:100	A
GR 101	ILU TYPE G (reverse) FLOOR PLAN 1:100	A
GR 102	ILU TYPE G (reverse) ROOF PLAN 1:100	A
GR 103	ILU TYPE G (reverse) ELEVATIONS 1:100	A
G i 101	ILU TYPE G i FLOOR PLAN 1:100	A
G i 102	ILU TYPE G i ROOF PLAN 1:100	A
G i 103	ILU TYPE G i ELEVATIONS 1:100	A



notes

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rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: refer to Ca.D1a amended for access, garage requirements. ILLU 8/9/10/11 moved 410mm west.
F	11.12.14	CONTRACT ISSUE

PITTWATER COUNCIL

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

NOTE:

1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE A SHEETS 210, 211
2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920
3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

STAGE 4

STAGE 5

project management
MORGAN MOORE
 ph: 02 9957 6188

planner
DON FOX PLANNING
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landscape architect
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 ph: 02 9969 9866

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environa studio

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 e: info@environastudio.com.au
 architects registration : 6239

project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
SITE PLAN STAGE 4,5

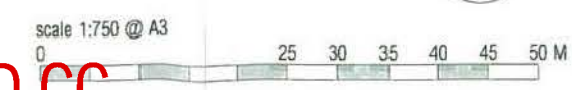
stage	project no.	dwg no.	
CC	731	003	
chkd	drwn	date	issue
TW	CK	19/12/14	G

CITY PLAN SERVICES

Construction Certificate No: **142440/2** Approved Date: **21 May 2015**

Certifying Authority: **Brendan Bennett**
 Accreditation No: **BPB 0027**

MASTERPLAN
 1:750 @ A3



APPROVED CC

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIEWOOD BROOK

for/client


location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
SITE PLAN STAGE 4,5

stage	project no.	dwg no.	
CC / S96	731	003	
chkd	dwn	date	issue
TW	CK	29/03/16	A



MINOR AMENDMENTS TO TYPE Ca, Da, C, D

AMENDMENT TO GARBAGE ENCLOSURES

MINOR AMENDMENTS TO TYPE D (fire trail)

24m asset protection zone managed as an inner protection area as outlined within section 4.1.3 and appendix 5 of planning for bushfire protection 2006 and the NSW Rural Fire Service's document 'standards for asset protection zones'

INNER CREEKLINE RIPARIAN LINE (site boundary)

OUTER RIPARIAN LINE (25m from site boundary)

24 SEC C DP 5464

STAGE 4
STAGE 5

NEW ILU TYPES E, F AND G CLOUDED

REFER TO LANDSCAPE / HARDSCAPE PLANS FOR FENCE LOCATIONS

✕ SKYLIGHTS TO REPLACE POLYCARBONATE SHEET FOR SPECIFIED ILU'S 800x800 translucent glazing to meet bushfire requirements

AMENDMENT TO MAILBOX UNITS

AMENDMENTS TO REFLECT LANDSCAPE CC DRAWINGS

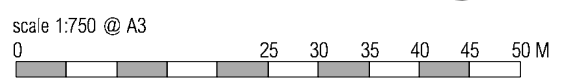
MINOR AMENDMENTS TO TYPE C

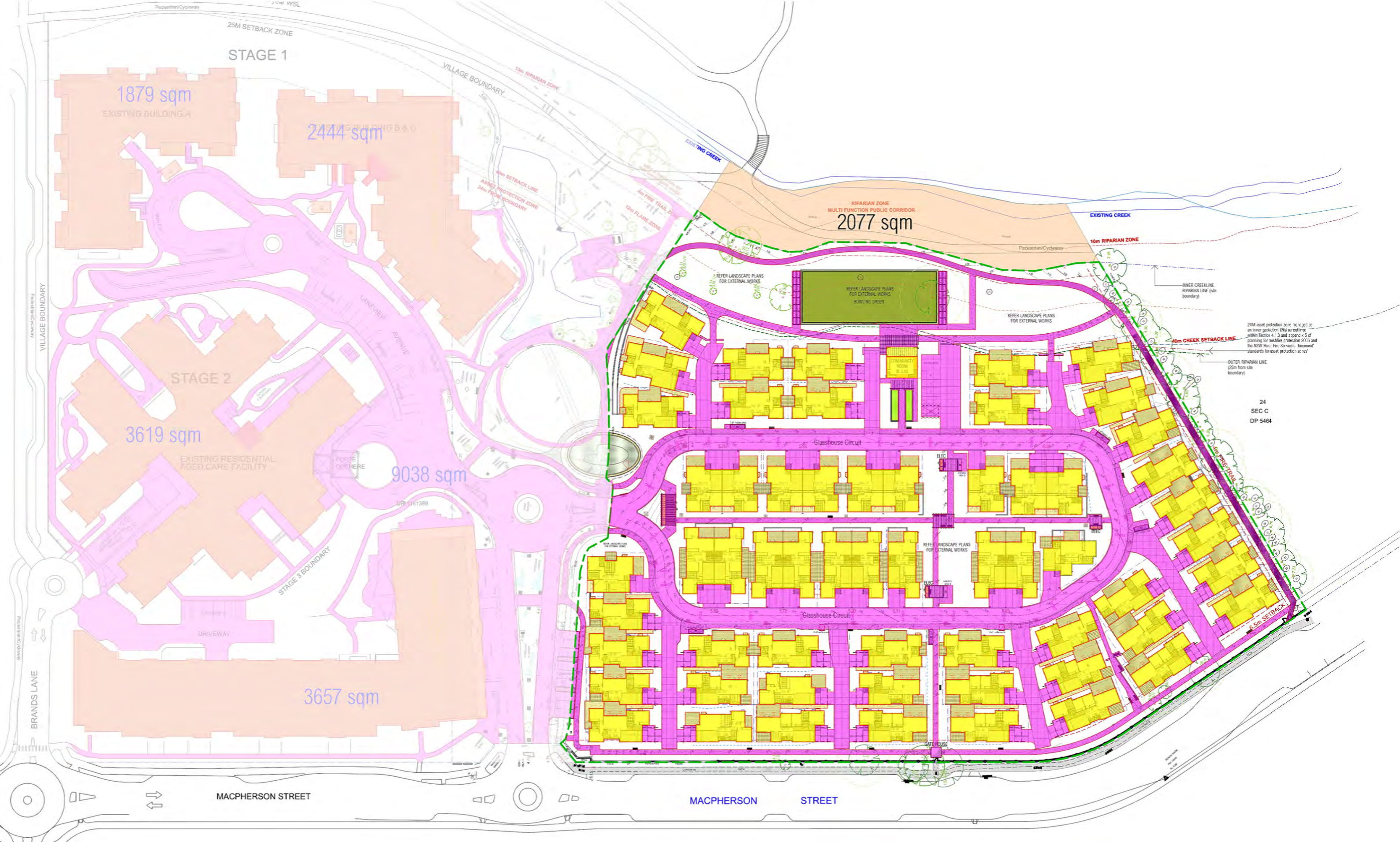
MINOR AMENDMENTS TO TYPE D1

MINOR AMENDMENTS TO TYPE C

MINOR AMENDMENTS TO TYPE D1

MASTERPLAN
1:750 @ A3





20M asset protection zone managed as an inner guideline area as outlined within Section 4.1.3 and appendix 5 of planning for bushfire protection 2006 and the NSW Rural Fire Services' document standards for asset protection zones

24 SEC C DP 5464

MASTERPLAN
1:500 @ A1

scale 1:500 @ A1
0 50 60 70 80 90 100 M

roads / pathways (impervious)
 ILL's + alfresco's + service courts
 stage 1/2/3 built form

NO CHANGE : EXISTING

STAGE 1, 2, 3	
roads/roading	9037 sq m
buildings footprint	11592 sq m
TOTAL Impervious area	20634 sq m
GFA excl. parking	45239.4 sq m

DA calculations : 008(b)

STAGE 4, 5	
site area	26772 sq m
roads/roading	7301.6 sq m
buildings footprint	9455.5 sq m
TOTAL Impervious area	16757.1 sq m
landscape area	9814.9 sq m
% landscaped area	36.661 %

Current calculations :

STAGE 4, 5	
site area	26772 sq m
roads/roading	7272 sq m
buildings footprint	13470 sq m
TOTAL Impervious area	17742 sq m
landscape area	9030 sq m
% landscaped area	33.729 %

no.	date	description	no.	date	description	no.	date	description
A	20/11/16	SR ISSUE						

NOTE:
1. FOR ALL BASIC/SECTION J REQUIREMENTS REFER TO SCHEDULE - SHEETS 210, 211
2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 202
3. FOR BSL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 201

environa studio		project	location	drawing	stage	project no.	day no.
157 Newland St Sydney NSW 2010 T: 61 2 9333 1211 F: 61 2 9332 1335 E: info@environastudio.com.au www.environastudio.com.au		ARV AT WARWOOD BROOK	MACPHERSON STREET WARWOOD BROOK	AREA CALCULATION	77	731	008
author	check	location	drawing	stage	task	date	issue
				TW	CK	23/3/16	A

	1. ROOF SHEET	2. FACE BRICKWORK	3. WALLS (moroka)	4. CLADDING	5. WINDOWS	6. GUTTERS DOWNPIPES + FASCIA / FLASHING / POSTS	7. GARAGE DOOR	8. FRONT DOOR
ILU SCHEME 1	colorbond custom-orb "gully" [colorbond]	face brickwork escura smooth face - "pearl grey" [boral bricks]	acrylic moroka finish "army issue" [dulux] P15.B5	hardies 'linea' "apparition" [dulux] P16.B2	aluminium. powdercoat "dune" [AWS windows]	colorbond "gully" [colorbond]	colorbond "gully" [colorbond]	timber framed #1: "drive time" PG1.A6 #2: "army issue" [dulux] P15.B5
ILU SCHEME 2	colorbond custom-orb roof "jasper" [colorbond]	escura smooth face- "mineral" [boral bricks]	"buff hide" [dulux] p15.C4	"apparition" [dulux] P16.B2	"dune" [AWS windows]	"jasper" [colorbond]	"jasper" [colorbond]	#1: "katmandu" P16.D6 #2: "buff hide" P15.C4 [dulux]
ILU SCHEME 3	colorbond custom-orb roof "wallaby" [colorbond]	escura smooth face- "jute" [boral bricks]	"paving stone" [dulux] P15.A3	"apparition" [dulux] P16.B2	"dune" [AWS windows]	"wallaby" [colorbond]	"wallaby" [colorbond]	#1: "viridis" P62.D4 [dulux] #2: "paving stone" [dulux] P15.A3
COMMUNITY ROOM + GATEHOUSES / mdb cupboards gatehouse / ILU mailboxes	colorbond custom-orb roof "gully" [colorbond]	escura smooth face- "jute" [boral bricks]	"army issue" [dulux] P15.B5	"apparition" [dulux] P16.B2	"dune" [AWS windows]	"gully" [colorbond]		

PREVIOUS COLOUR 'BUSHLAND' DISCONTINUED BY BLUESCOPE STEEL


colorbond custom-orb roof "wallaby" [colorbond]

PREVIOUS COLOUR 'BUSHLAND' DISCONTINUED BY BLUESCOPE STEEL

COMMON ILU FINISHES

TILES (internal) "deep taupe" [SKEME] matt	TILES (external) "deep taupe" [SKEME] textured	coloured concrete CCS COLOUR "grasshopper" grey cement	keystone retaining walls "almond" flush face	PICKET FENCES (all types) "gully" [colorbond]
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MATERIAL BOARD

<p>notes</p> <p>all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.</p>			
rev	date	amendment	
A	29.03.16	S96 ISSUE	
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<p>project management</p> <p>MORGAN MOORE ph: 02 9957 6188</p>			
<p>planner</p> <p>DON FOX PLANNING ph: 02 9980 6933</p>			
<p>landscape architect</p> <p>JOHN LOCK & ASSOCIATES ph: 02 9969 9866</p>			
<p>engineer (civil / hydraulic)</p> <p>HENRY & HYMAS ph: 02 9417 8400</p>			
<p>environa studio</p> <p>19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>			
<p>project</p> <p>ARV AT WARRIWOOD BROOK</p>			
<p>for/client</p> 			
<p>location</p> <p>MACPHERSON STREET</p>			
<p>at</p> <p>WARRIWOOD BROOK</p>			
<p>drawing</p> <p>MATERIALS / FINISHES SCHEDULE</p>			
stage	project no.	dwg no.	
CC / S96	731	006	
chkd	drwn	date	issue
TW	CK	29/03/16	A

CITY PLAN SERVICES

Construction Certificate No: 142440/1
 Approved Date: 25 Mar 2015
 Certifying Authority: Brendan Bennett
 Accreditation No: BPB 0027

notes
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B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
K	13.03.15	ISSUE FOR CERTIFIER

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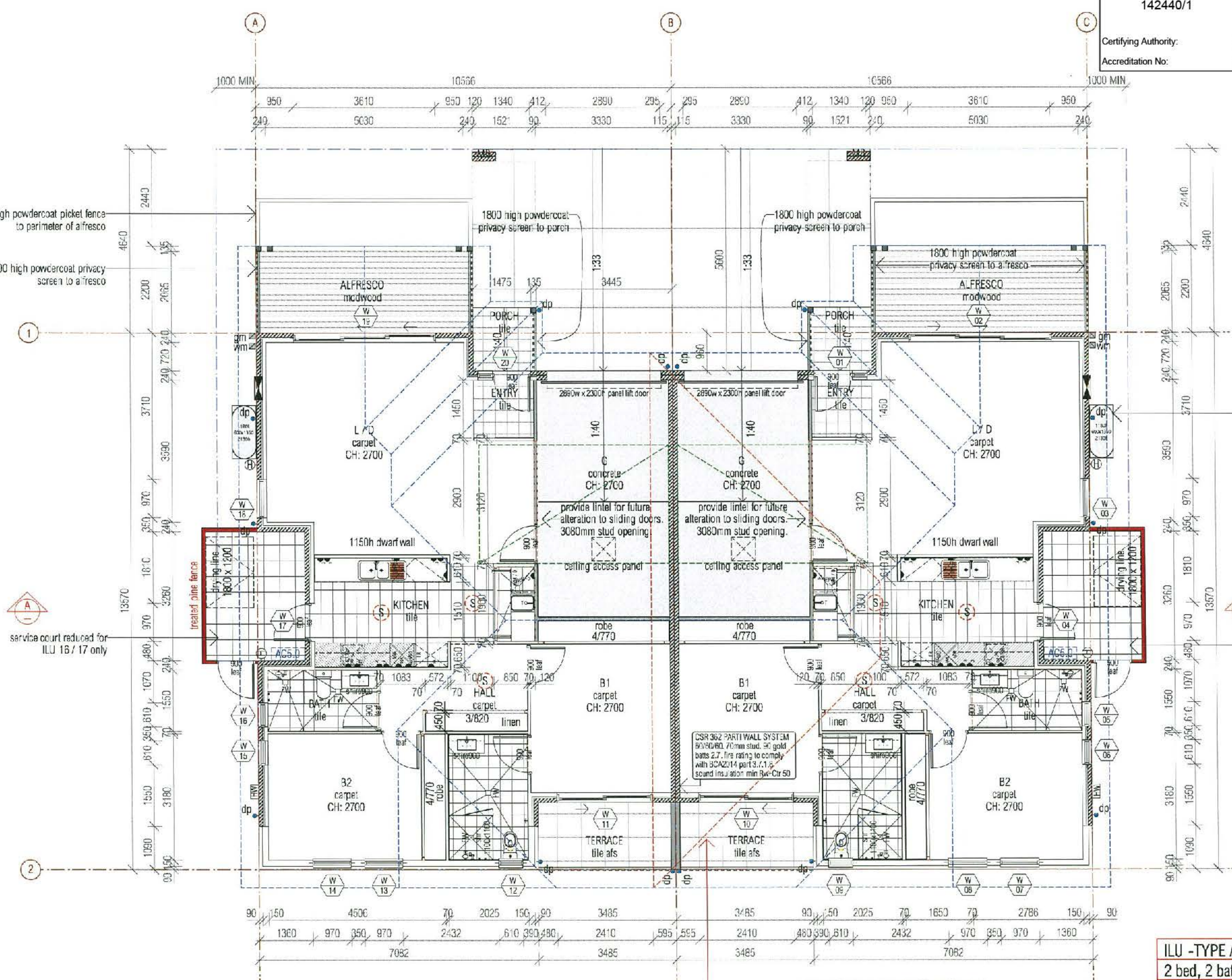


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE A

stage	project no.	dwg no.	
CC	731	A101	
chkd	drawn	date	issue
TW	CK	13/3/15	K



note: roof option shown dotted in red for single (non duplex) ILU.

- NOTES:
 • TYPE A ILU #. 15. 16. 17. 18. 19. 20. 21. 22. 23. 55
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU -TYPE A	
2 bed, 2 bath	
site area	213 sqm approx
house area gfa (ext)	106.8 sqm
house area rfa (int)	97.7 sqm
Alfresco / deck	12.0 sqm
garage	21.9sqm
GFA + Alf	140.7 sqm

01 ILU TYPE A FLOOR PLAN
 1:100 @ A3

CITY PLAN SERVICES

Construction Certificate No: 142440/1 Approved Date: 25 Mar 2015

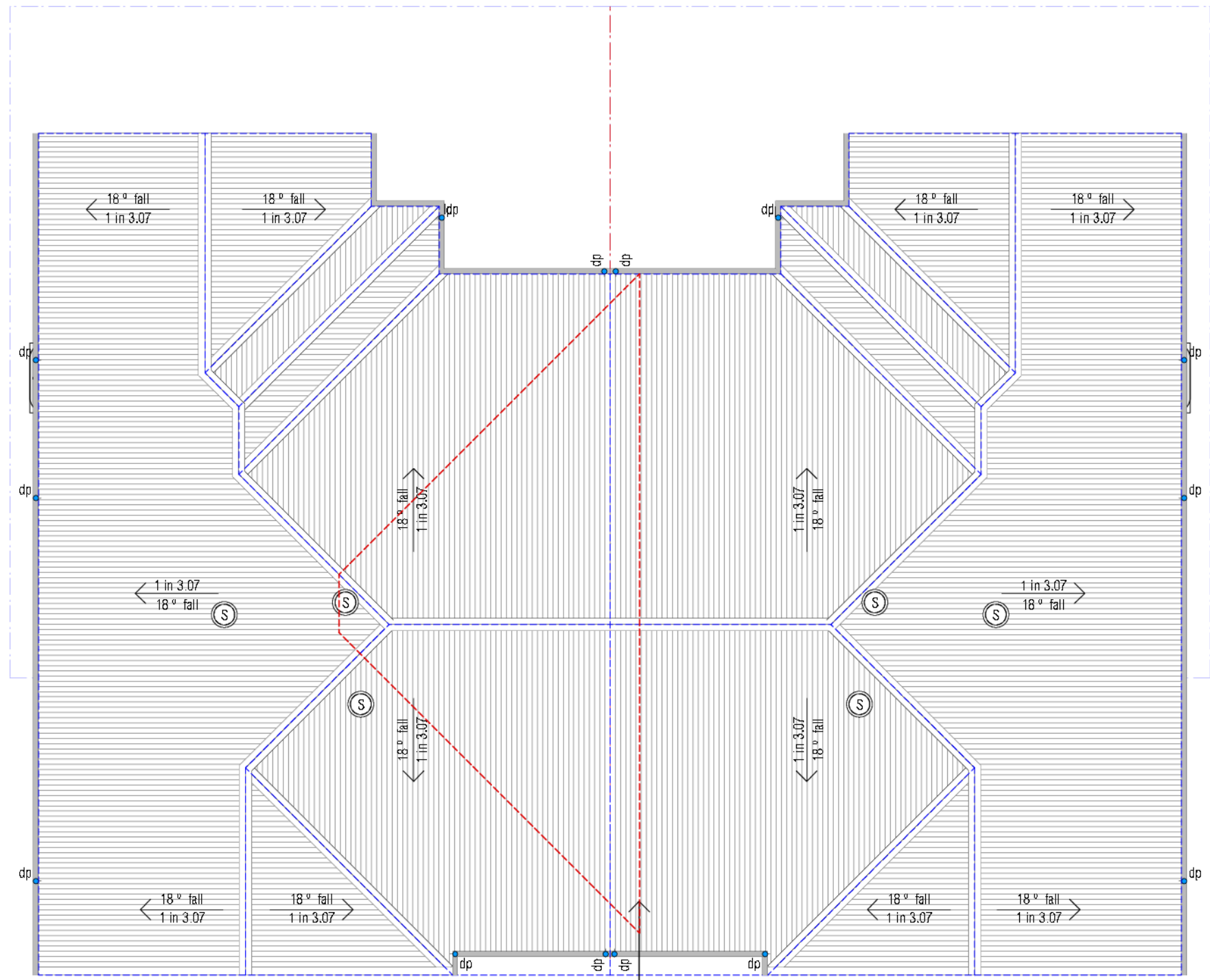
Certifying Authority: Brendan Bennett

Accreditation No: BPB 0027

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E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type Ca.D1a amended for access, garage requirements. ILU 8/9/10/11 moved 410mm west.



note: roof option shown dotted for single (non duplex) ILU.

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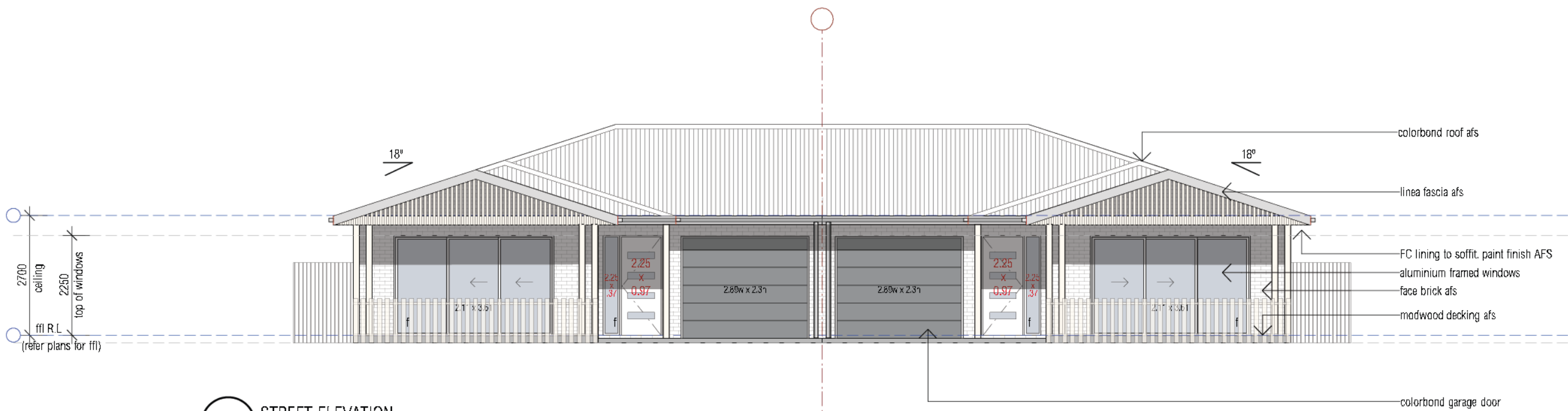
location
MACPHERSON STREET

at
WARRIEWOOD BROOK

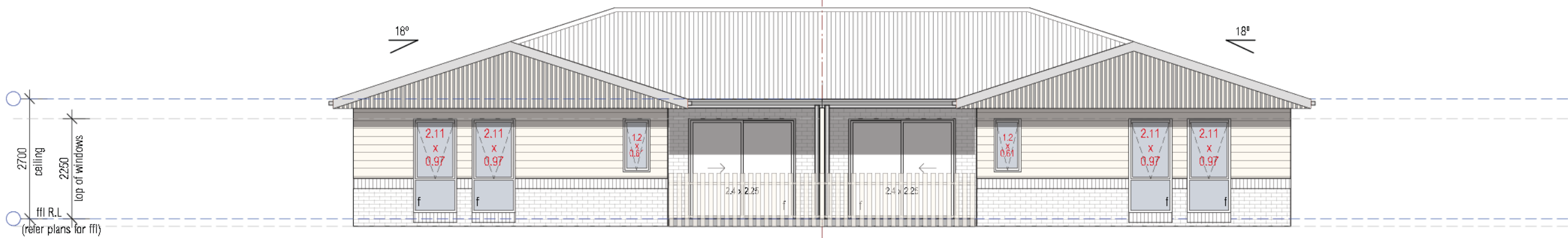
drawing
ROOF PLAN - TYPE A

stage	project no.	dwg no.	
CC	731	A102	
chkd	drwn	date	issue
TW	CK	29/10/14	E

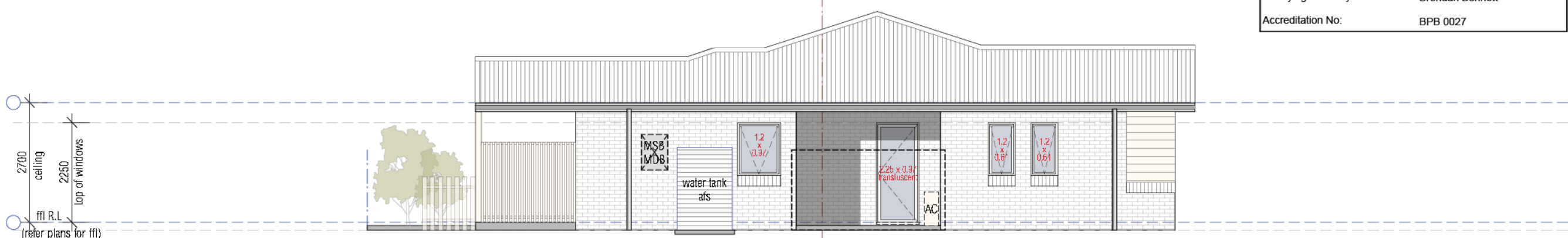
01 ILU TYPE A ROOF PLAN
1:100 @ A3



• STREET ELEVATION
• 1:100 @ A3



• REAR ELEVATION
• 1:100 @ A3



• SIDE ELEVATION
• 1:100 @ A3

notes
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rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILLI type Ca.D1a amended for access. garage requirements. ILLI 8/9/10/11 moved 410mm west.

- NOTE:
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2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920
3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

project management
MORGAN MOORE
ph: 02 9957 6188

planner
DON FOX PLANNING
ph: 02 9980 6933

landscape architect
JOHN LOCK & ASSOCIATES
ph: 02 9969 9866

engineer (civil / hydraulic)
HENRY & HYMAS
ph: 02 9417 8400

CITY PLAN SERVICES

Construction Certificate No: 142440/1 Approved Date: 25 Mar 2015

Certifying Authority: Brendan Bennett Accreditation No: BPB 0027

environa studio

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surry hills 2010
t: 02 9332 1211 f: 02 9332 1355
e: info@environastudio.com.au
architects registration : 6239

project
ARV AT WARRIEWOOD BROOK

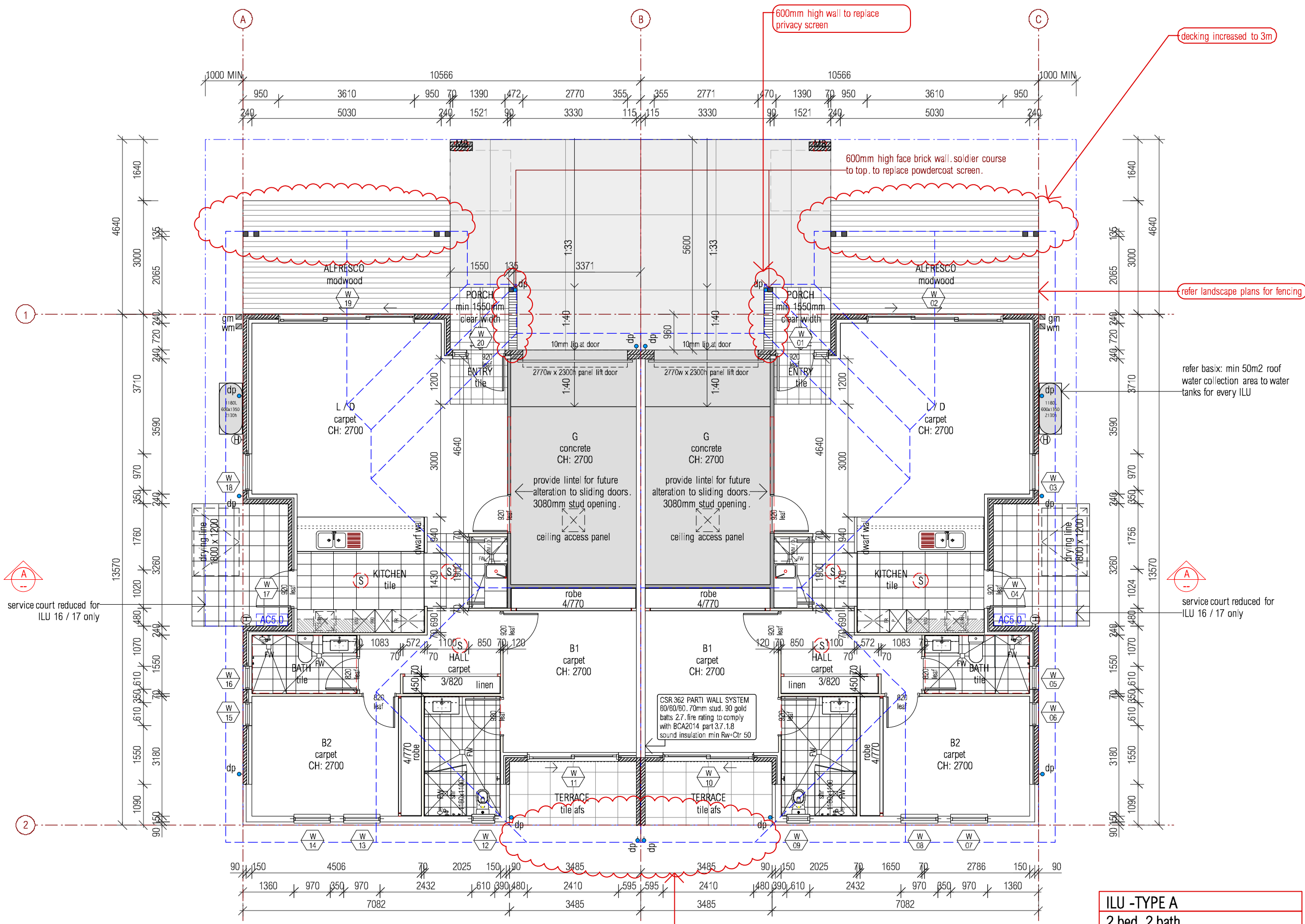


location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
ELEVATIONS - TYPE A

stage	project no.	dwg no.	
CC	731	A103	
chkd	drwn	date	issue
TW	CK	29/10/14	E



notes

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rev	date	amendment
A	29.03.16	S96 ISSUE

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 architects registration : 6239

project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE A

stage	project no.	dwg no.	
CC / S96	731	A101	
chkd	dwn	date	issue
TW	CK	29/03/16	A

ILU -TYPE A	
2 bed, 2 bath	
site area	213 sqm approx
house area gfa (ext)	106.8 sqm
house area nfa (int)	97.7 sqm
Alfresco / deck	12.0 sqm
garage	21.9sqm
GFA + Alf	140.7 sqm

01 ILU TYPE A FLOOR PLAN
 -- 1:100 @ A3

- NOTES:
- TYPE A ILU #: 15. 16. 18. 19. 20. 21. 22. 23. 55
 - REFER MASTERPLAN FOR FFL RL'S OF ILU'S
- REFER LANDSCAPE PLANS FOR FENCE LOCATIONS**

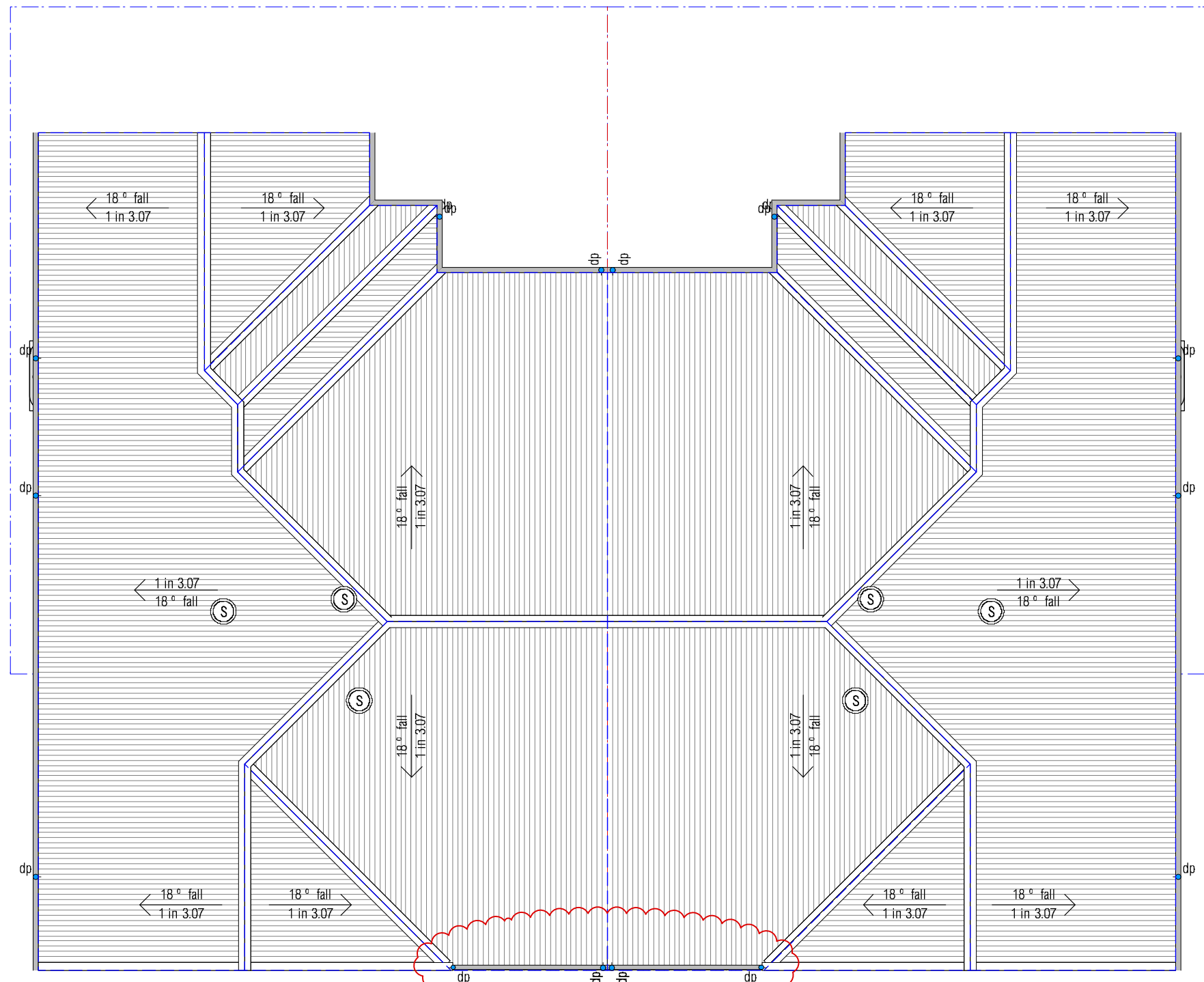
decking increased to 3m

refer landscape plans for fencing

service court reduced for ILU 16 / 17 only


service court reduced for ILU 16 / 17 only

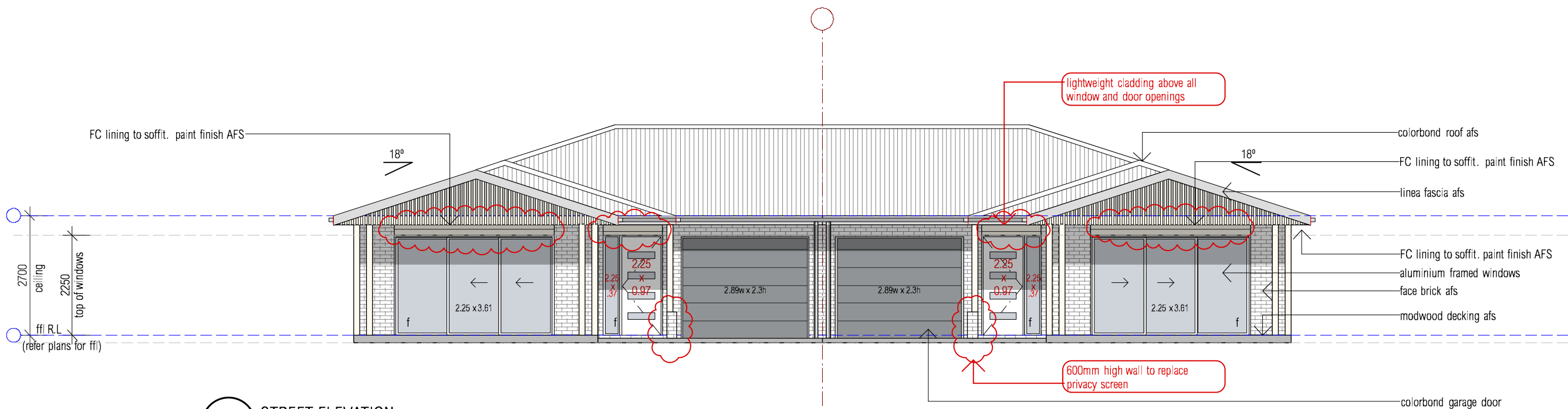
small recess removed from gutter line



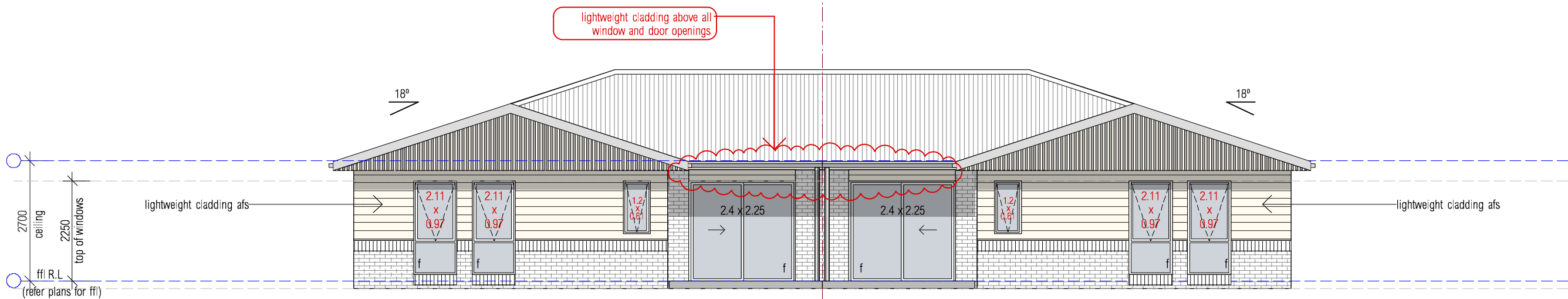
small recess removed from gutter line

01 ILU TYPE A ROOF PLAN
-- 1:100 @ A3

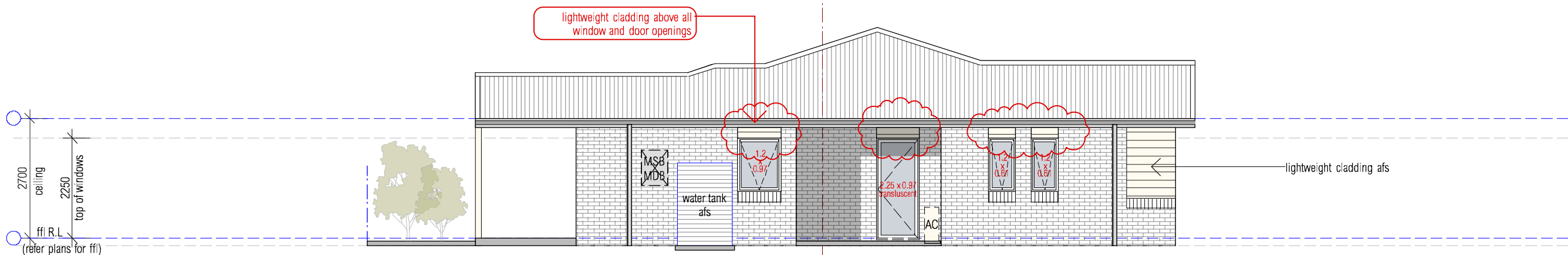
notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.		
rev A	date 29.03.16	amendment S96 ISSUE
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project management MORGAN MOORE ph: 02 9957 6188		
planner DON FOX PLANNING ph: 02 9980 6933		
landscape architect JOHN LOCK & ASSOCIATES ph: 02 9969 9866		
engineer (civil / hydraulic) HENRY & HYMAS ph: 02 9417 8400		
environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239		
project ARV AT WARRIWOOD BROOK		
for/client 		
location MACPHERSON STREET		
at WARRIWOOD BROOK		
drawing ROOF PLAN - TYPE A		
stage CC / S96	project no. 731	dwg no. A102
chkd TW	drwn CK	date 29/03/16
		issue A



• STREET ELEVATION
• 1:100 @ A3



• REAR ELEVATION
• 1:100 @ A3



• SIDE ELEVATION
• 1:100 @ A3

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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architects registration : 6239

project
ARV AT WARRIWOOD BROOK

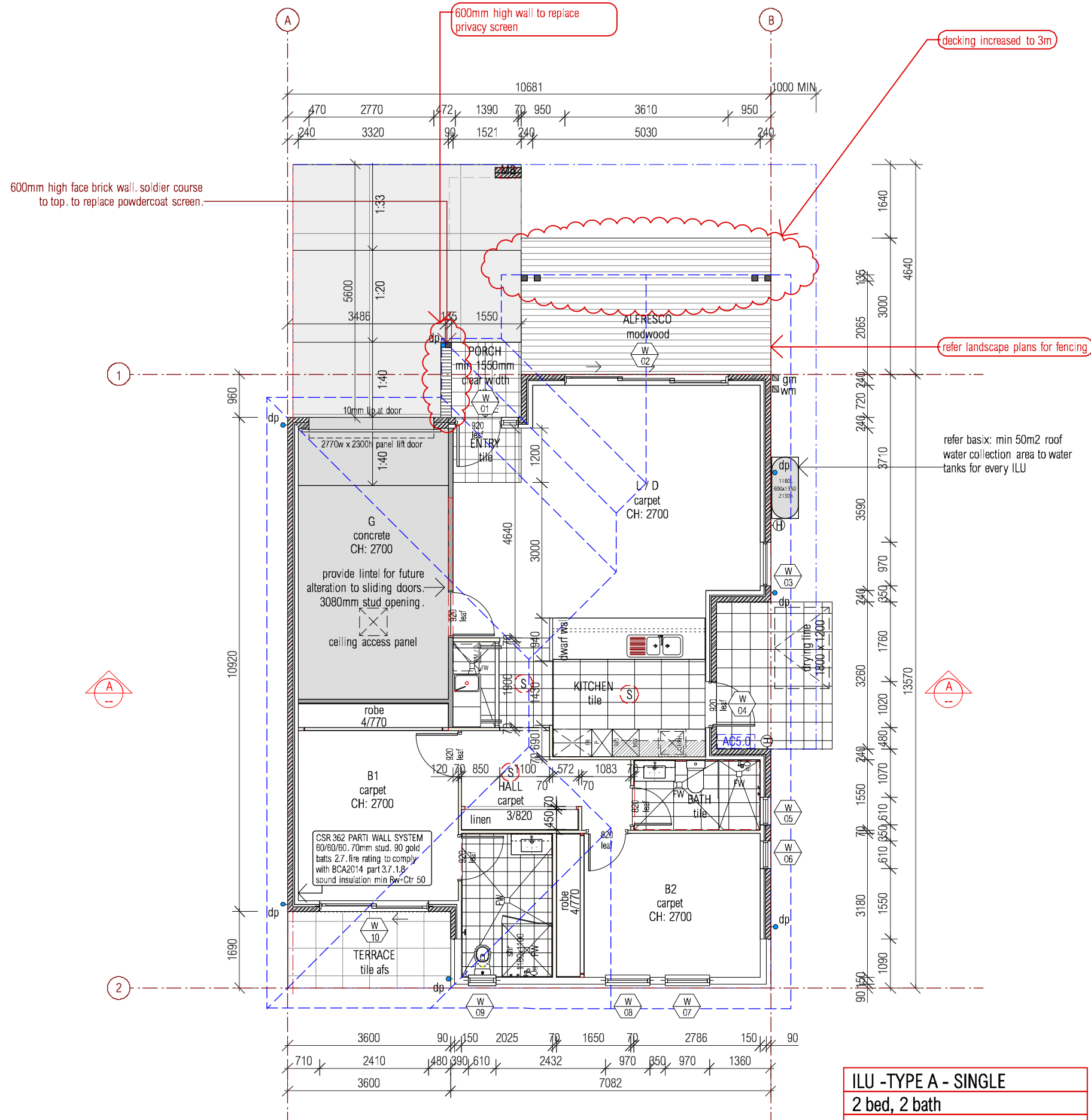


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
ELEVATIONS - TYPE A


stage CC / S96	project no. 731	dwg no. A103
chkd TW	drwn CK	date 29/03/16
		issue A

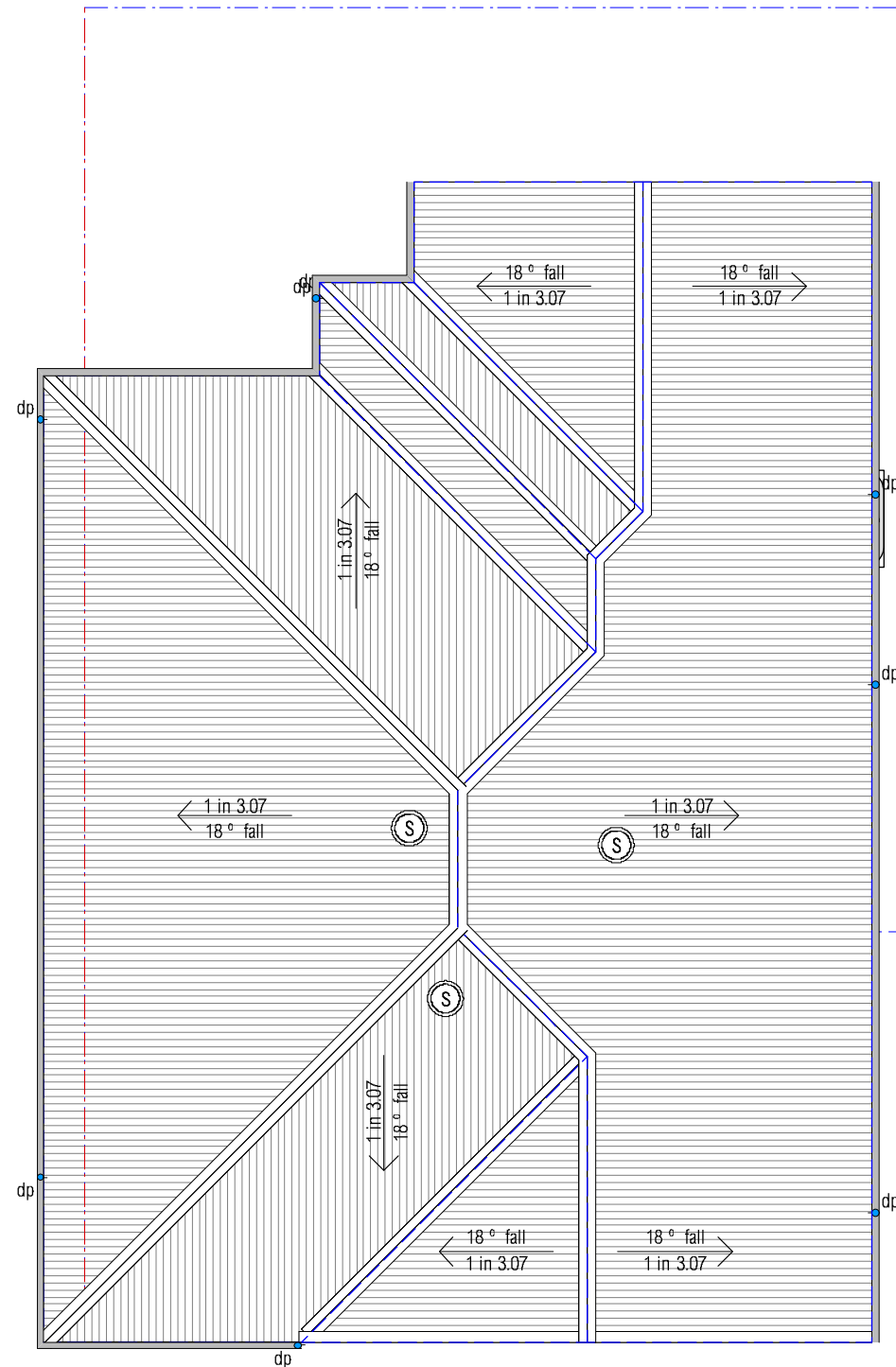


01 ILU TYPE A - SINGLE FLOOR PLAN
1:100 @ A3

NOTES:
 • TYPEA-SINGLE ILU # 17
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S
 REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

ILU -TYPE A - SINGLE	
2 bed, 2 bath	
site area	213 sqm approx
house area gfa (ext)	106.8 sqm
house area nfa (int)	97.7 sqm
Alfresco / deck	12.0 sqm
garage	21.9sqm
GFA + Alf	140.7 sqm

notes			
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rev	date	amendment	
A	29.03.16	S96 ISSUE	
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project management MORGAN MOORE ph: 02 9957 6188			
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engineer (civil / hydraulic) HENRY & HYMAS ph: 02 9417 8400			
<p>environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>			
project ARV AT WARRIWOOD BROOK			
for/client 			
location MACPHERSON STREET			
at WARRIWOOD BROOK			
drawing PLAN: ILU TYPE A - SINGLE			
stage	project no.	dwg no.	
CC / S96	731	A-s101	
chkd	dwn	date	issue
TW	CK	29/03/16	A



01 ILU TYPE A ROOF PLAN
 -- 1:100 @ A3

NOTES:
 • TYPE A-SINGLE ILU # 17
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIWOOD BROOK



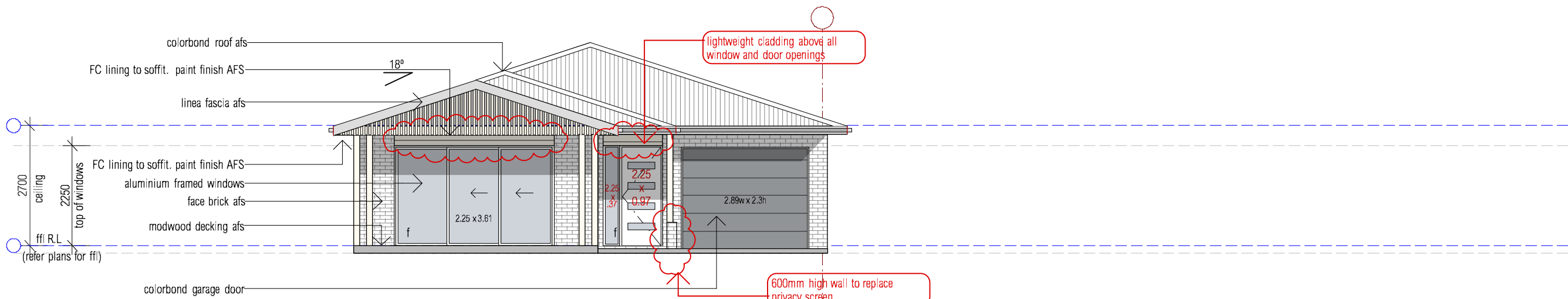
location
MACPHERSON STREET

at
WARRIWOOD BROOK

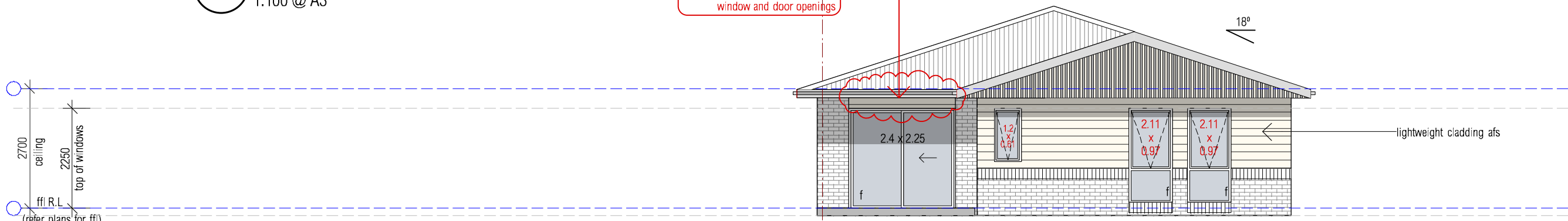
drawing
**ROOF PLAN:
 ILU TYPE A - SINGLE**

stage	project no.	dwg no.
CC / S96	731	A-s102

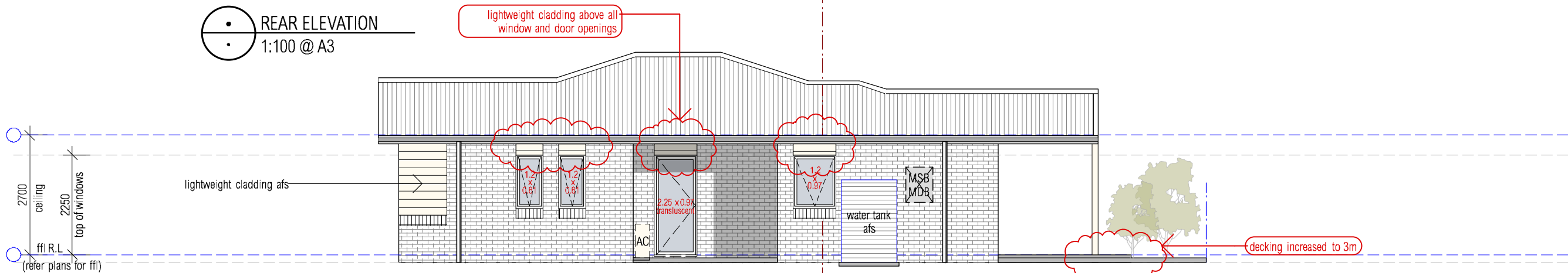
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TW	CK	29/03/16	A



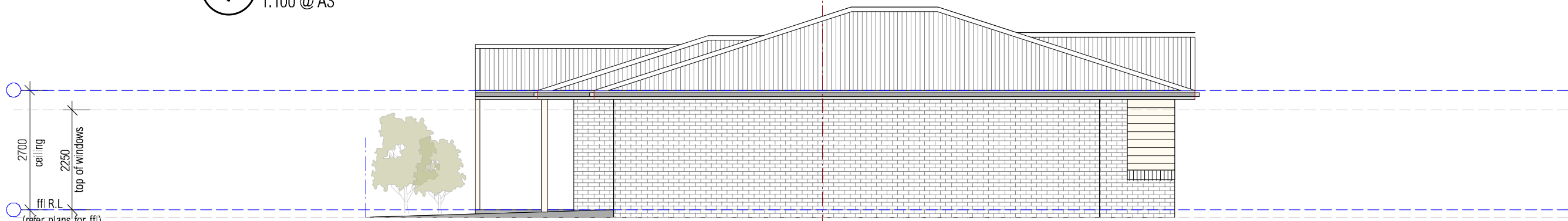
● STREET ELEVATION
● 1:100 @ A3



● REAR ELEVATION
● 1:100 @ A3



● SIDE ELEVATION
● 1:100 @ A3



● SIDE ELEVATION
● 1:100 @ A3

NOTES:
 • TYPE A-SINGLE ILU # 17
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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 architects registration : 6239

project
 ARV AT WARRIEWOOD BROOK



location
 MACPHERSON STREET

at
 WARRIEWOOD BROOK

drawing
 ELEVATIONS:
 ILU TYPE A - SINGLE

stage	project no.	dwg no.
CC / S96	731	A-s103

chkd	drwn	date	issue
TW	CK	29/03/16	A

CITY PLAN SERVICES

Construction Certificate No: 142440/1 Approved Date: 25 Mar 2015

Certifying Authority: Brendan Bennett

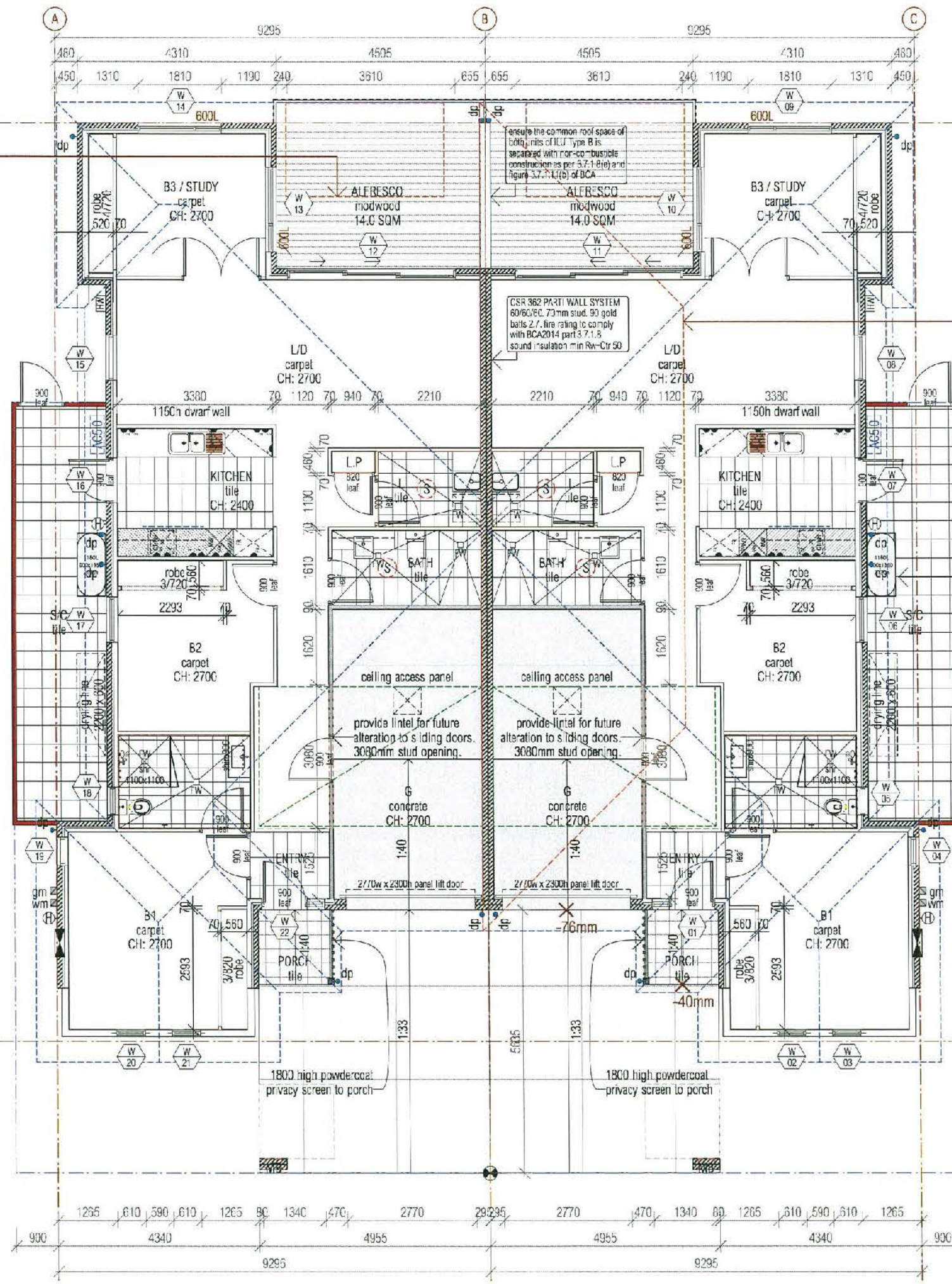
Accreditation No: BPB 0027

NOTES

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C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
K	13.03.15	ISSUE FOR CERTIFIER

tinted polycarbonate roof sheet for solar access to pos and living spaces. 2m depth refer DA conditions



NOTE: STANDALONE TYPE B ILU NO. 30: roof option shown dotted for single (non duplex) ILU no. 30. note: zero eave for ILU: 30 NW EXTERNAL WALL ILU no. 30. to be fire rated to 60/60/90 (as per 3.7.1.5 of the BCA).

refer basis: min 5cm2 roof water collection area to water tanks for every ILU

NOTES:

- TYPE B ILU #: 24, 25, 26, 27, 28, 29, 30, 31, 32
- REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE B	
3 bed, 2 bath	
site area	
house area gfa (ext)	119.3 sqm
house area rfa (int)	108.5 sqm
Alfresco / deck	13.9 sqm
garage	22.0 sqm
GFA + Alf	155.2 sqm

- NOTE:
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project:
ARV AT WARRIEWOOD BROOK

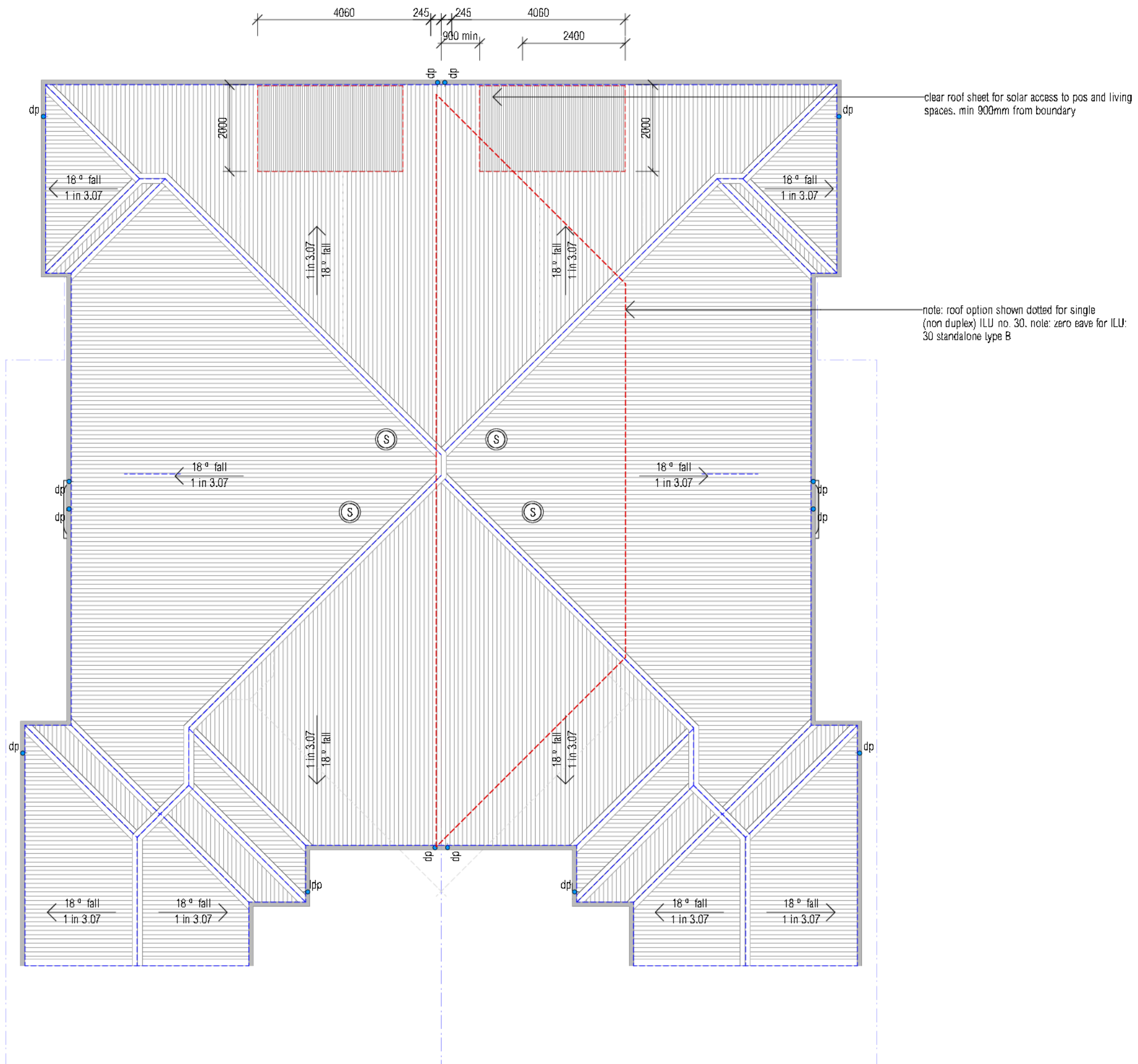


location:
MACPHERSON STREET

at:
WARRIEWOOD BROOK

drawing:
PLAN: ILU TYPE B

stage	project no.	dwg no.	
CC	731	B101	
chk'd	drwn	date	issue
TW	CK	13/3/15	K



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E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILLU type Ca.D1a amended for access. garage requirements. ILLU 8/9/10/11 moved 410mm west.

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architects registration : 6239

project
ARV AT WARRIEWOOD BROOK



location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
ROOF PLAN - TYPE B

stage	project no.	dwg no.	
CC	731	B102	
chkd	drwn	date	issue
TW	CK	29/10/14	E

01 ROOF PLAN

CITY PLAN SERVICES
Construction Certificate No: 142440/1
Approved Date: 25 Mar 2015
Certifying Authority: Brendan Bennett
Accreditation No: BPB 0027

CITY PLAN SERVICES

Construction Certificate No: **142440/1** Approved Date: **25 Mar 2015**

colorbond roof afs

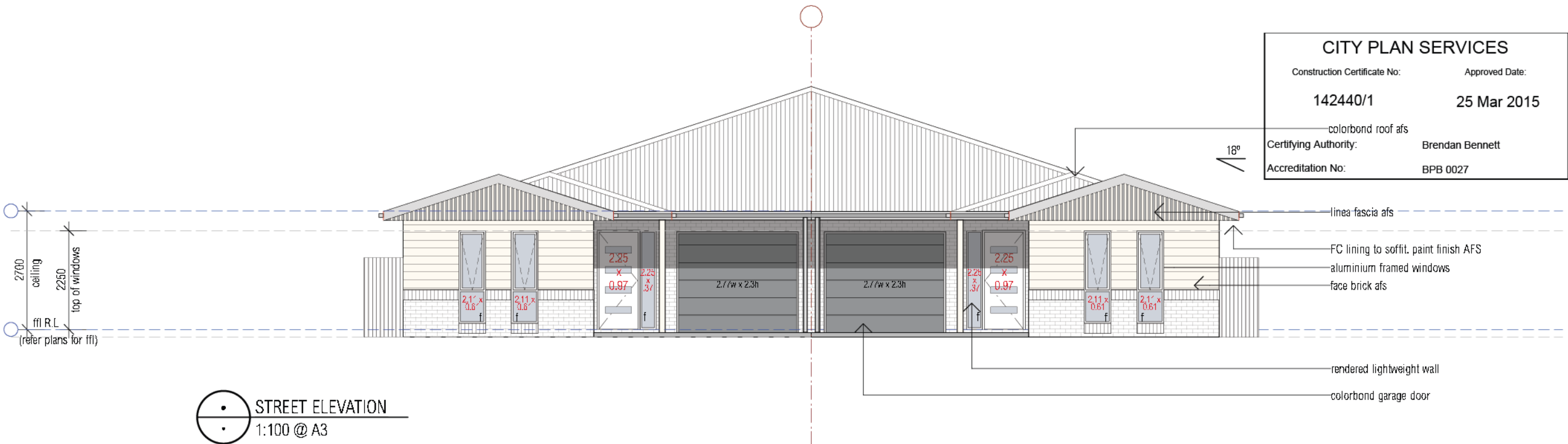
Certifying Authority: **Brendan Bennett**

Accreditation No: **BPB 0027**

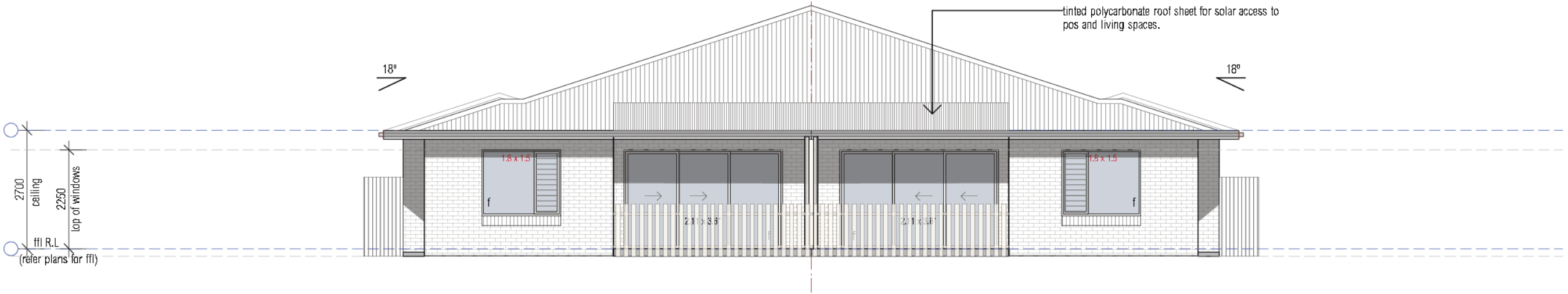
notes

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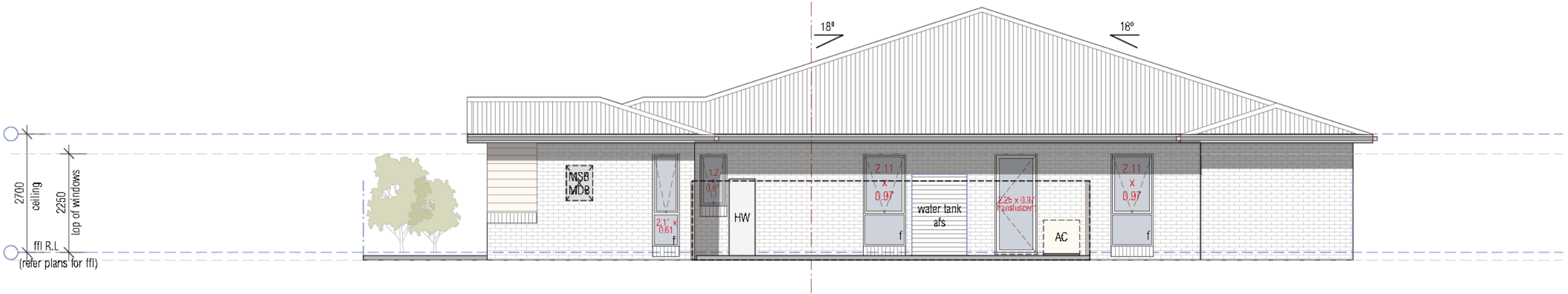
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• **STREET ELEVATION**
• 1:100 @ A3



• **REAR ELEVATION**
• 1:100 @ A3



• **SIDE ELEVATION**
• 1:100 @ A3

NOTE:

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architects registration : 6239

project
ARV AT WARRIEWOOD BROOK

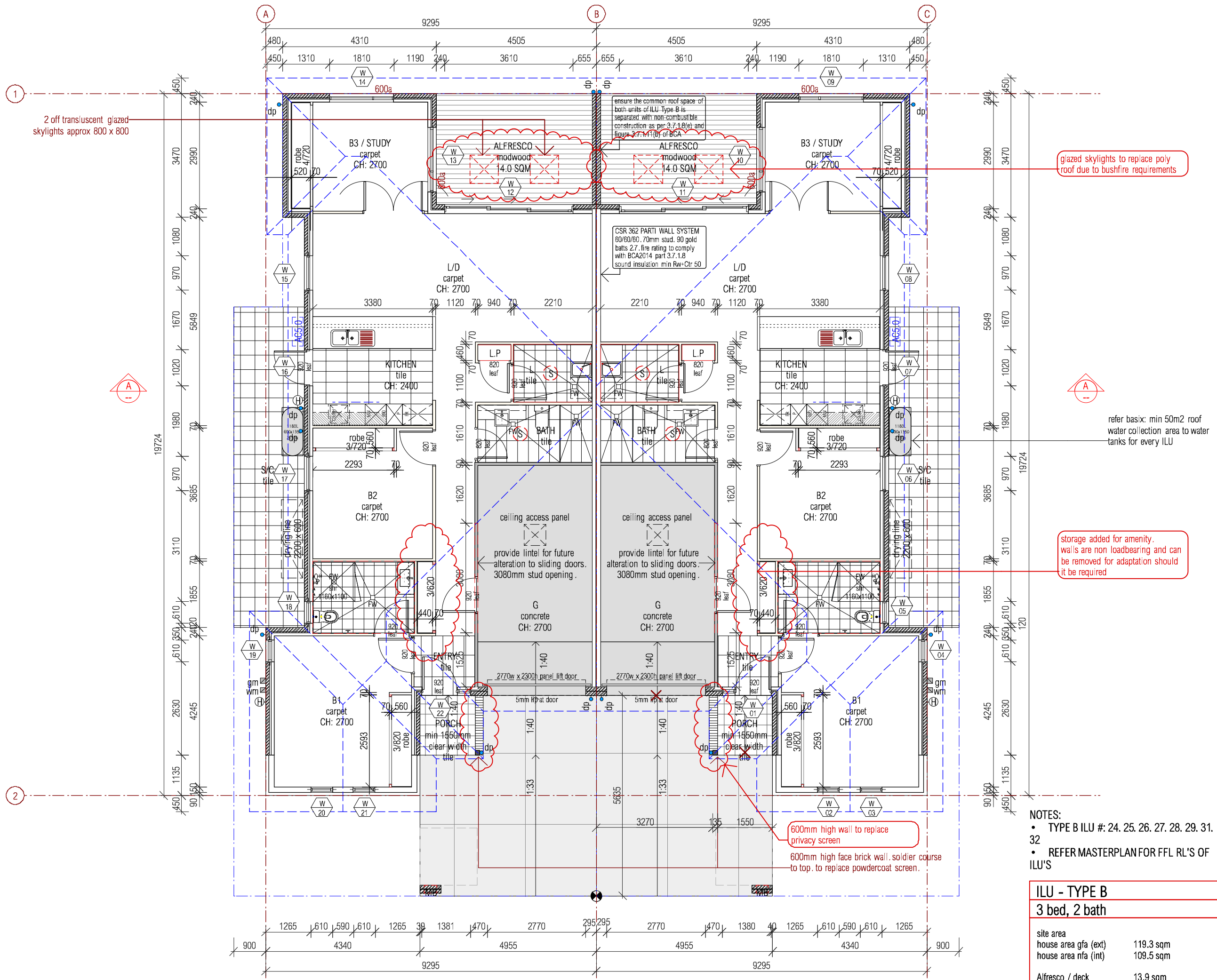


location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
ELEVATIONS - TYPE B

stage	project no.	dwg no.	
CC	731	B103	
chkd	drwn	date	issue
TW	CK	29/10/14	E



notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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architects registration : 6239

project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

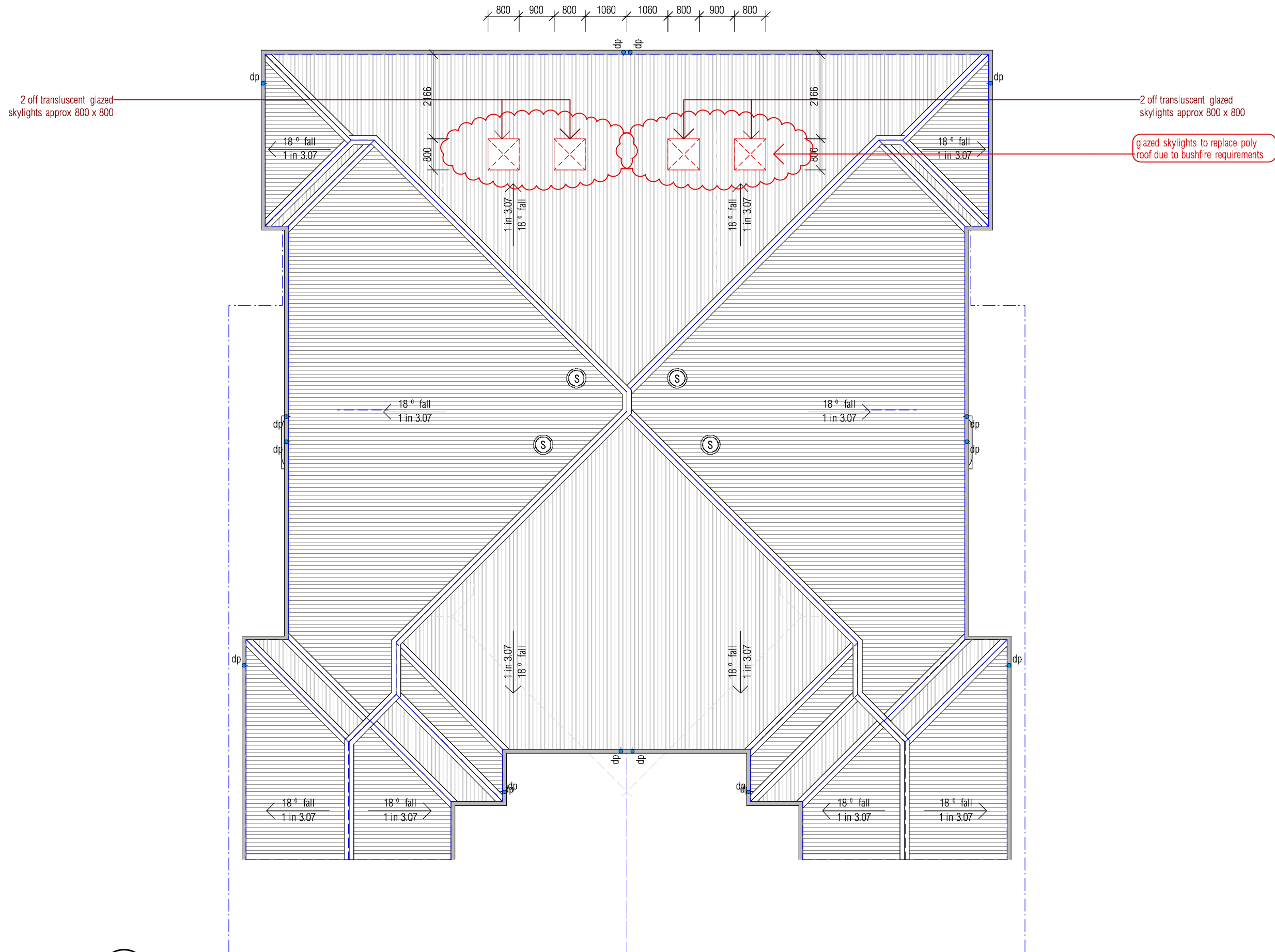
drawing
PLAN: ILU TYPE B

stage	project no.	dwg no.	
CC / S96	731	B101	
chkd	dwn	date	issue
TW	CK	29/03/16	A


NOTES:
• TYPE B ILU #: 24. 25. 26. 27. 28. 29. 31. 32
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S

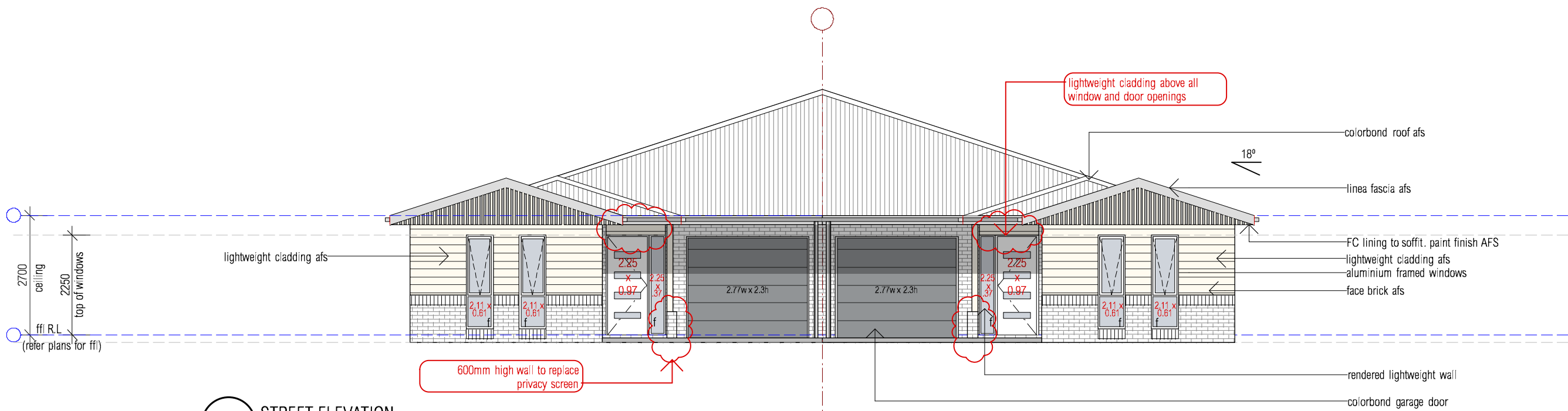
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site area	
house area gfa (ext)	119.3 sqm
house area nfa (int)	109.5 sqm
Alfresco / deck	13.9 sqm
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GFA + Alf	156.2 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

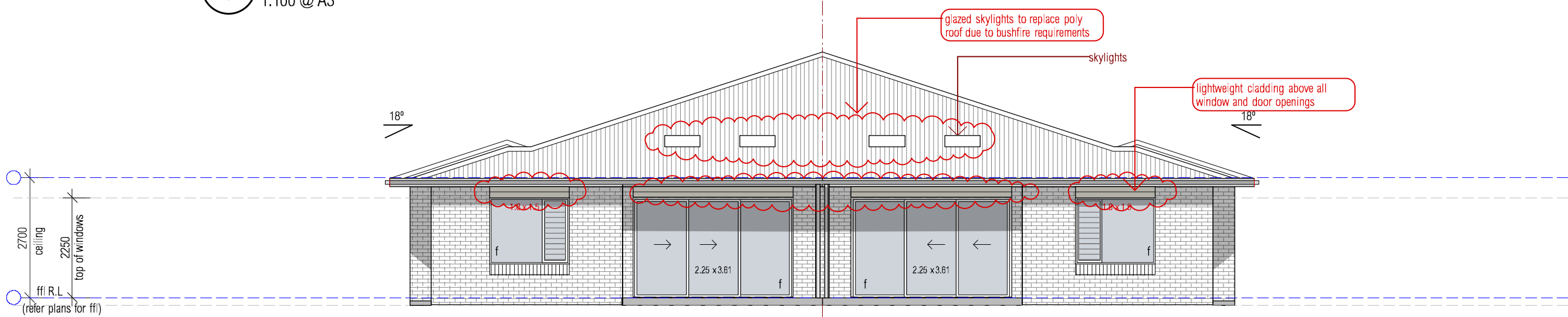


01 ROOF PLAN

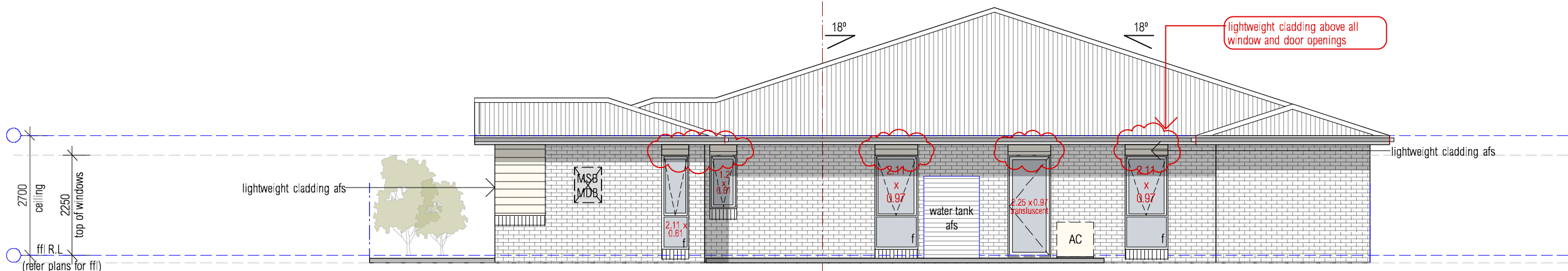
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rev	date	amendment	
A	29.03.16	S96 ISSUE	
<p>NOTE:</p> <ol style="list-style-type: none"> FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211 FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920 FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921 			
<p>project management</p> <p>MORGAN MOORE ph: 02 9957 6188</p>			
<p>planner</p> <p>DON FOX PLANNING ph: 02 9980 6933</p>			
<p>landscape architect</p> <p>JOHN LOCK & ASSOCIATES ph: 02 9969 9866</p>			
<p>engineer (civil / hydraulic)</p> <p>HENRY & HYMAS ph: 02 9417 8400</p>			
<p>environa studio</p> <p>19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>			
<p>project</p> <p>ARV AT WARRIWOOD BROOK</p>			
<p>for/client</p> 			
<p>location</p> <p>MACPHERSON STREET</p>			
<p>at</p> <p>WARRIWOOD BROOK</p>			
<p>drawing</p> <p>ROOF PLAN - TYPE B</p>			
stage	project no.	dwg no.	
CC / S96	731	B102	
chkd	drwn	date	issue
TW	CK	29/03/16	A




STREET ELEVATION
1:100 @ A3

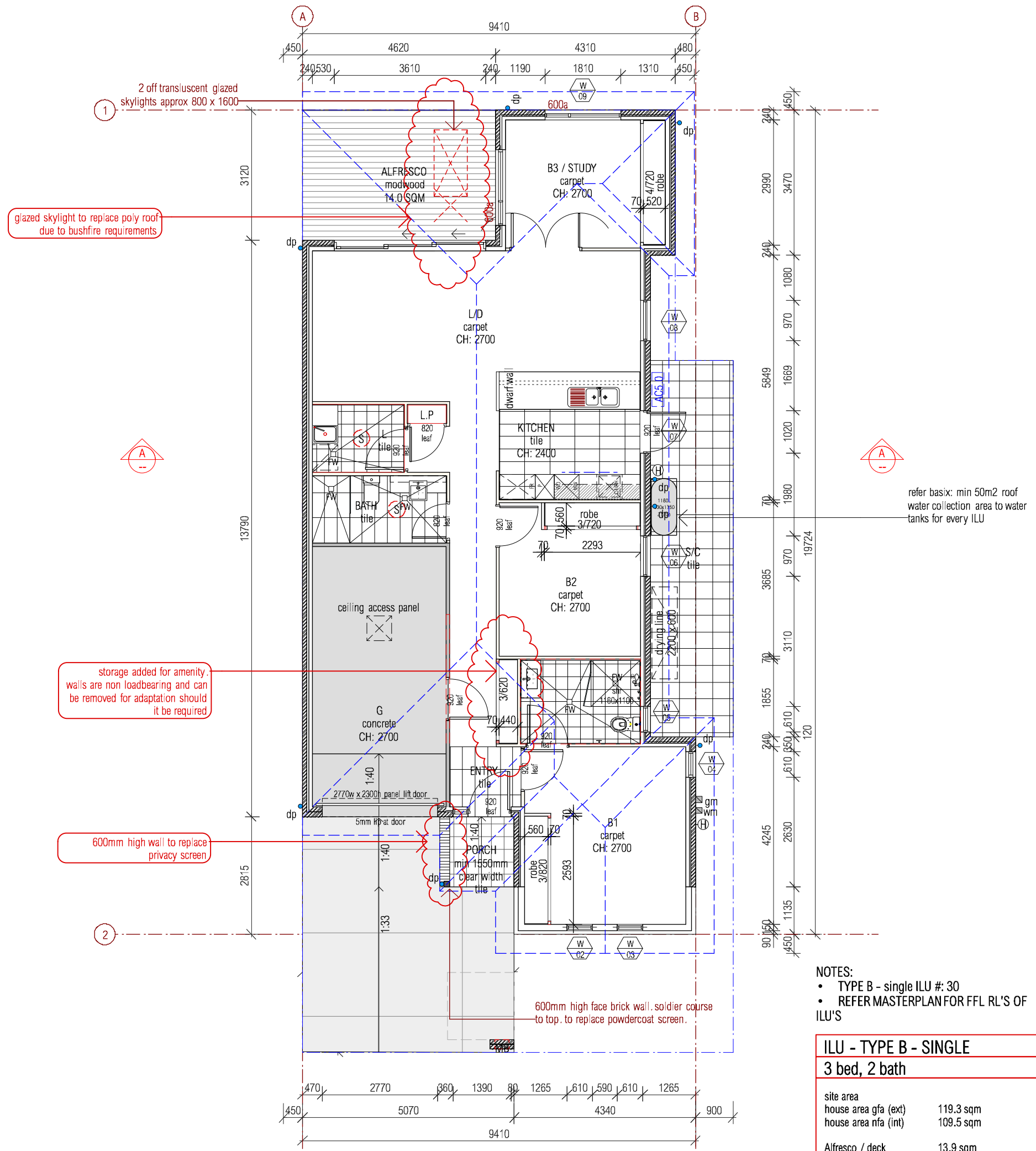


REAR ELEVATION
1:100 @ A3



SIDE ELEVATION
1:100 @ A3

notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.		
rev	date	amendment
A	29.03.16	S96 ISSUE
NOTE: 1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211 2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921		
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engineer (civil / hydraulic) HENRY & HYMAS ph: 02 9417 8400		
environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239		
project ARV AT WARRIEWOOD BROOK		
for/client 		
location MACPHERSON STREET		
at WARRIEWOOD BROOK		
drawing ELEVATIONS - TYPE B		
stage	project no.	dwg no.
CC / S96	731	B103
chkd	drwn	date
TW	CK	29/03/16
		issue
		A



notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project management
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planner
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surry hills 2010
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e: info@environastudio.com.au
architects registration : 6239

project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

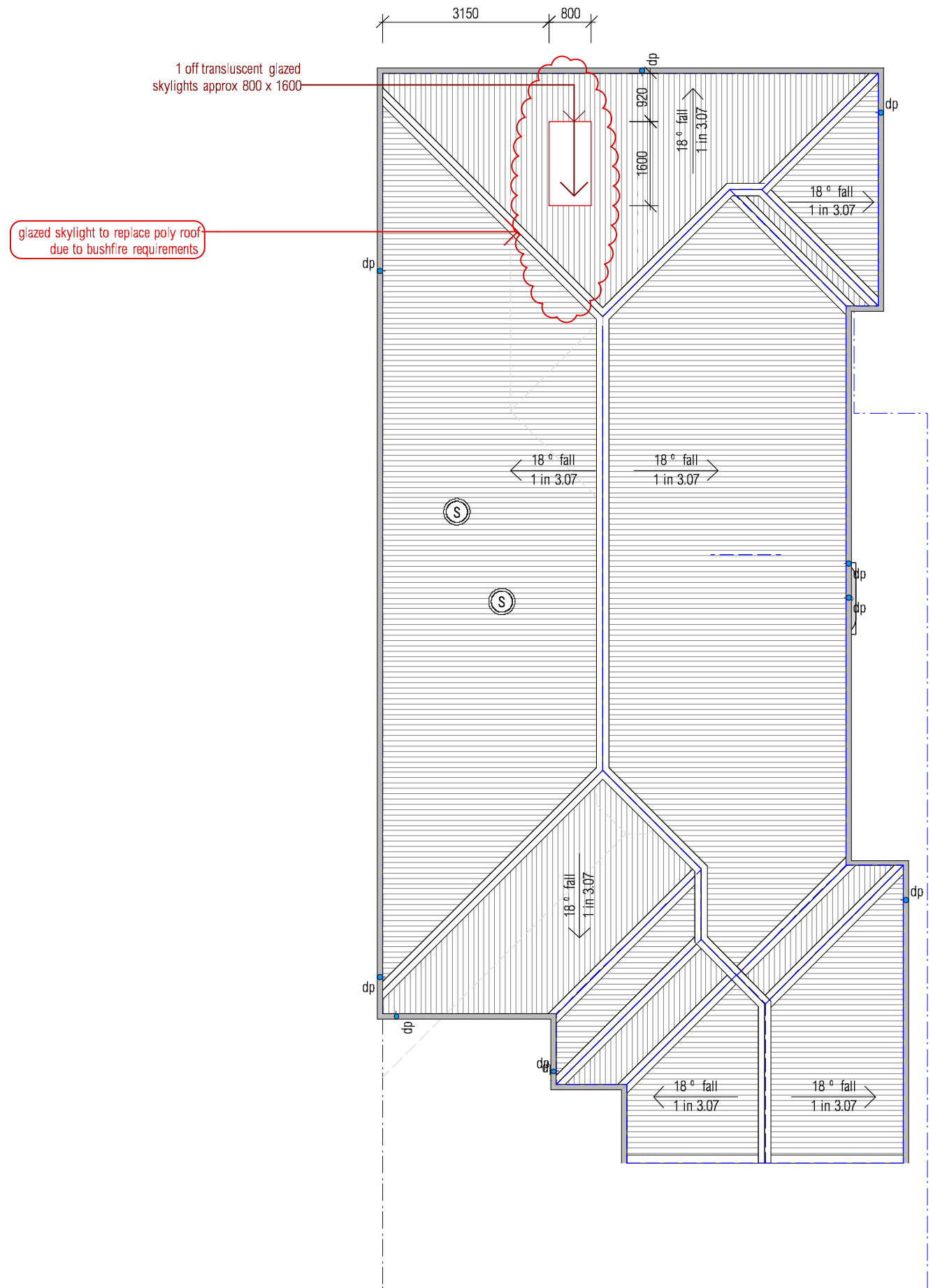
drawing
PLAN:
ILU TYPE B - SINGLE

stage	project no.	dwg no.	
CC / S96	731	B-s101	
chkd	dwn	date	issue
TW	CK	29/03/16	A


NOTES:
• TYPE B - single ILU # 30
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S

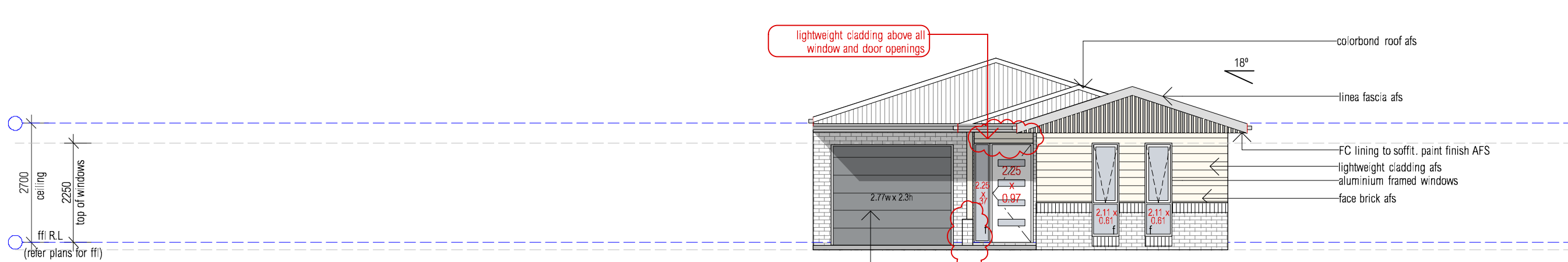
ILU - TYPE B - SINGLE	
3 bed, 2 bath	
site area	
house area gfa (ext)	119.3 sqm
house area nfa (int)	109.5 sqm
Alfresco / deck	13.9 sqm
garage	22.0 sqm
GFA + Alf	156.2 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

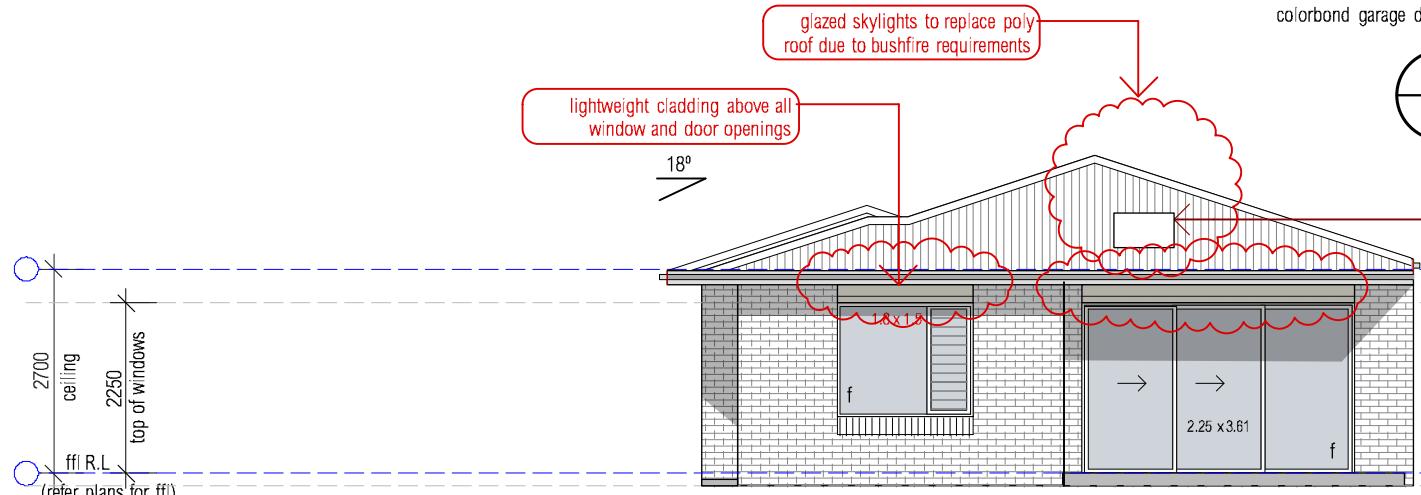


01 ROOF PLAN
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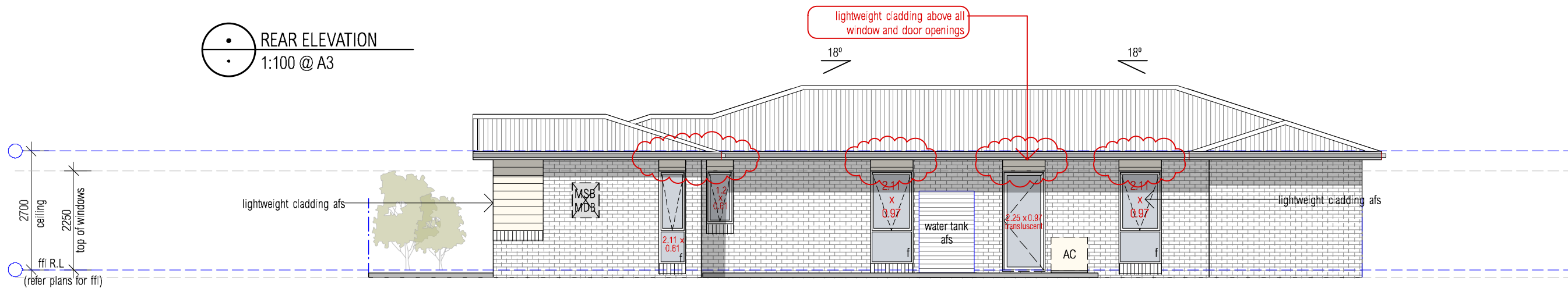
notes			
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rev	date	amendment	
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<p>project management</p> <p>MORGAN MOORE ph: 02 9957 6188</p>			
<p>planner</p> <p>DON FOX PLANNING ph: 02 9980 6933</p>			
<p>landscape architect</p> <p>JOHN LOCK & ASSOCIATES ph: 02 9969 9866</p>			
<p>engineer (civil / hydraulic)</p> <p>HENRY & HYMAS ph: 02 9417 8400</p>			
<p>environa studio</p> <p>19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>			
<p>project</p> <p>ARV AT WARRIWOOD BROOK</p>			
<p>for/client</p> 			
<p>location</p> <p>MACPHERSON STREET</p>			
<p>at</p> <p>WARRIWOOD BROOK</p>			
<p>drawing</p> <p>ROOF PLAN: ILU TYPE B - SINGLE</p>			
stage	project no.	dwg no.	
CC / S96	731	B-s102	
chkd	drwn	date	issue
TW	CK	29/03/16	A



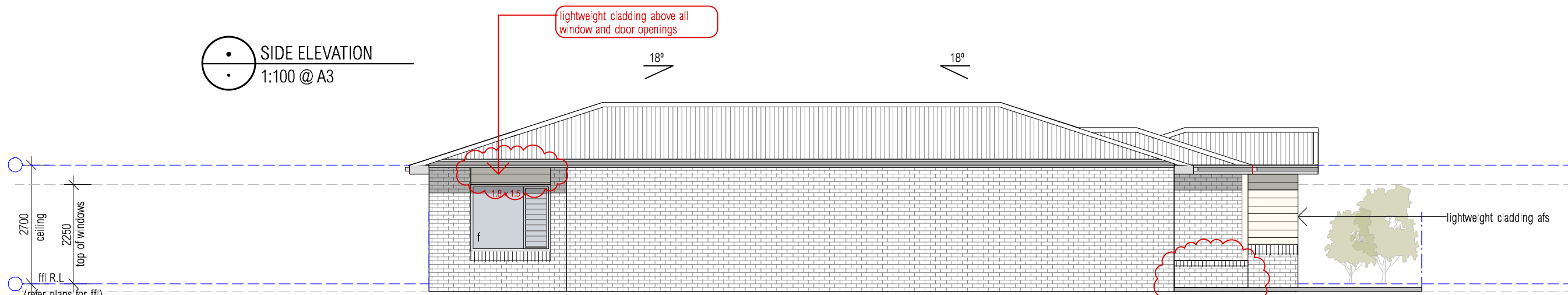
● STREET ELEVATION
● 1:100 @ A3



● REAR ELEVATION
● 1:100 @ A3



● SIDE ELEVATION
● 1:100 @ A3



● SIDE ELEVATION
● 1:100 @ A3

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

NOTE:
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3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

project management
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planner
DON FOX PLANNING
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landscape architect
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engineer (civil / hydraulic)
HENRY & HYMAS
ph: 02 9417 8400

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surry hills 2010
t: 02 9332 1211 f: 02 9332 1355
e: info@environastudio.com.au
architects registration : 6239

project
ARV AT WARRIWOOD BROOK

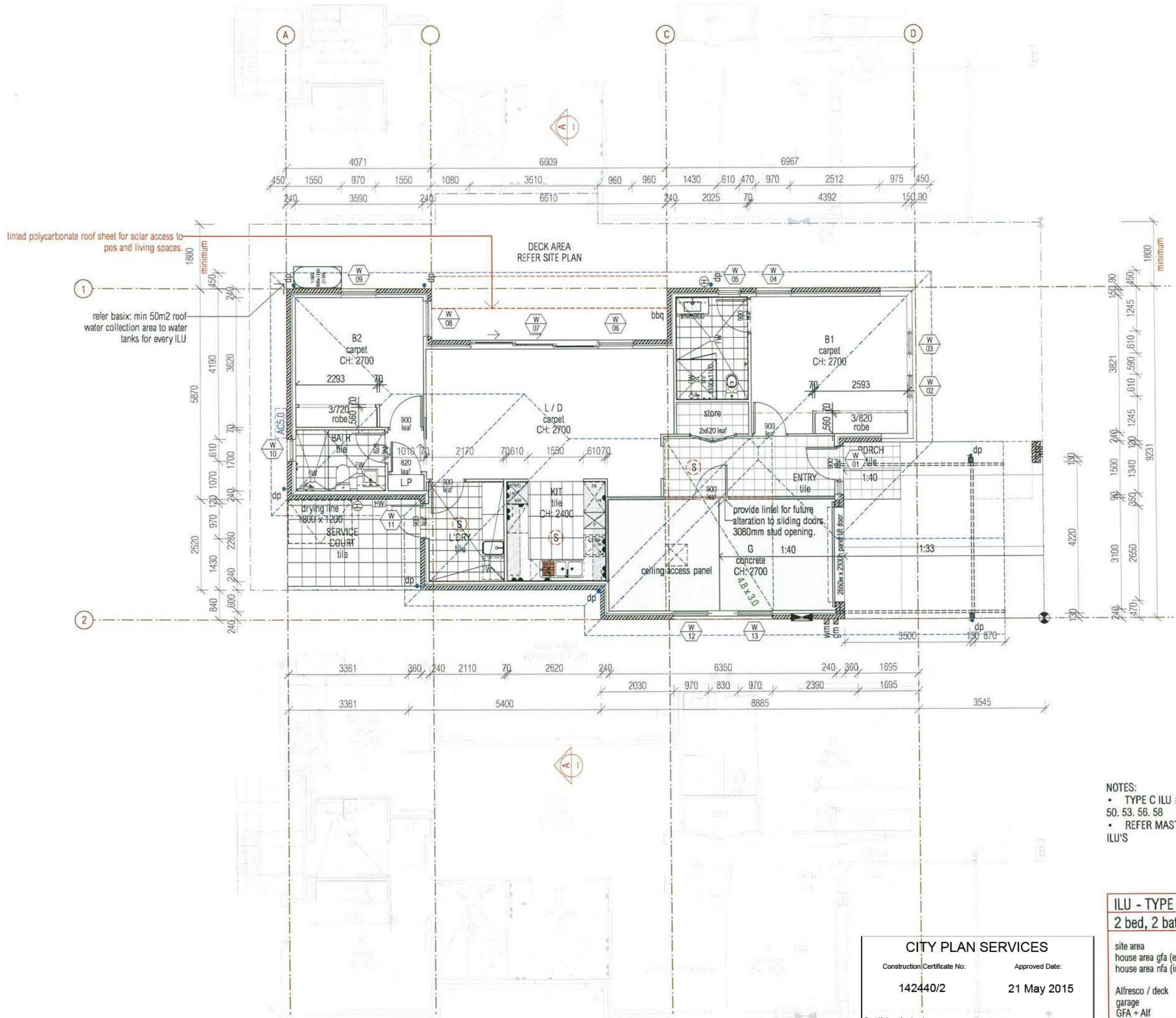


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
ELEVATIONS:
ILU TYPE B - SINGLE

stage CC / S96	project no. 731	dwg no. B-s103
chkd TW	drwn CK	date 29/03/16
	issue A	



rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type CaD1a amended for access. garage requirements. ILU 8/9/10/11 moved 410mm west.
F	18.12.14	S96 issue
G	09.03.15	clarification: 4.8m by 3m clear space in garage for accessibility shown
L	16.03.15	clarification: swing door and 3080mm lintel shown for adaptation

NOTES:
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 ph: 02 9417 8400

environa studio
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 surry hills 2010
 t: 02 9332 1211 f: 02 9332 1355
 e: info@environastudio.com.au
 architects registration : 6239

project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE C

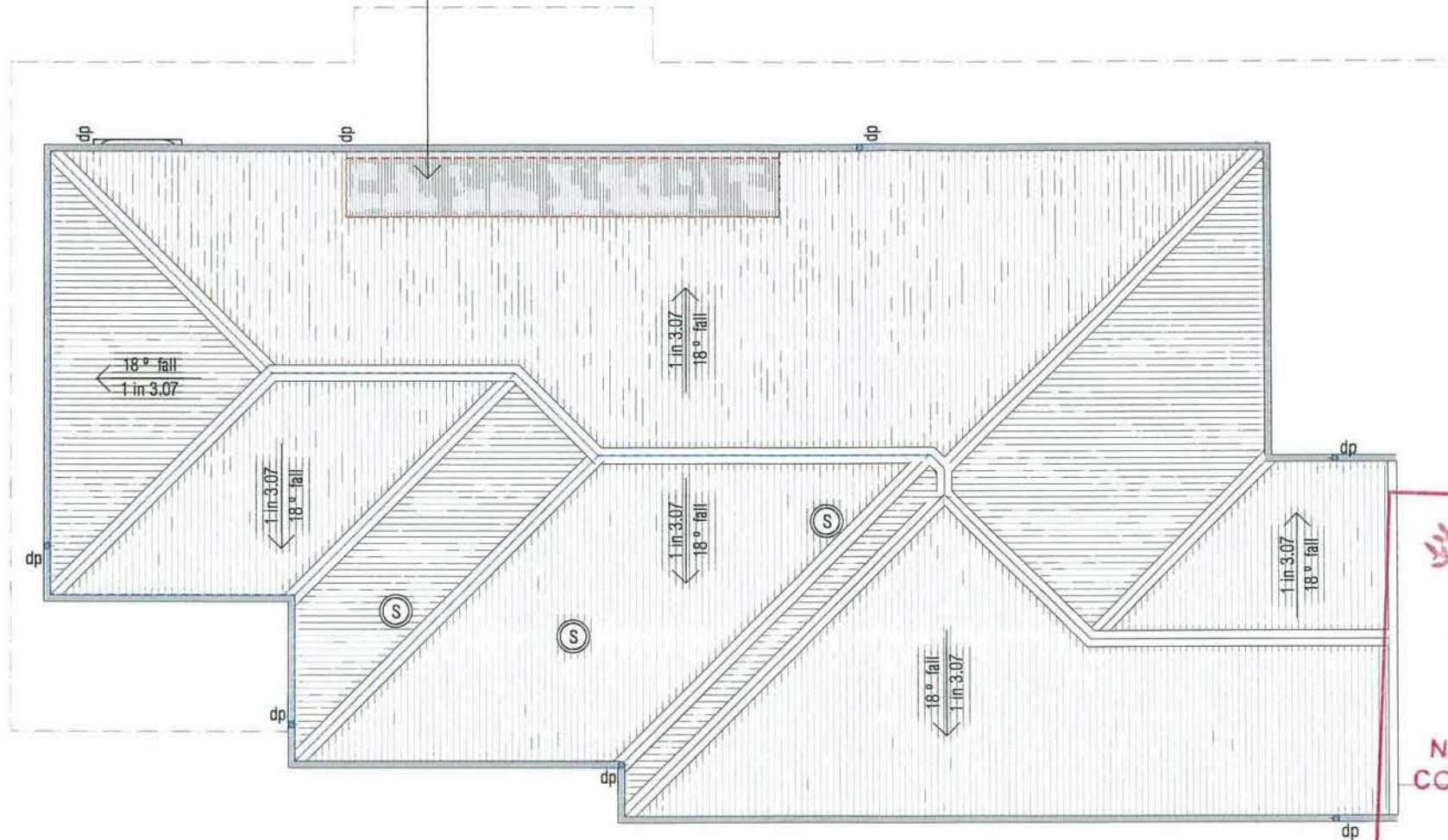
stage	project no.	dwg no.	
S96	731	C101	
chkd	drwn	date	issue
TW	CK	16/03/15	L

- NOTES:**
- TYPE C ILU #: 12. 37. 38. 40. 41. 44. 47. 50. 53. 56. 58
 - REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE C	
2 bed, 2 bath	
site area	
house area gfa (ext)	103.9 sqm
house area nfa (int)	93.0 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6 sqm
GFA + Alf	151.5 sqm

CITY PLAN SERVICES
 Construction/Certificate No: **142440/2**
 Approved Date: **21 May 2015**
 Certifying Authority: **Brendan Bennett**

lined polycarbonate roof sheet for solar access to
pos and living spaces.



01 ROOF PLAN

CITY PLAN SERVICES	
Construction Certificate No:	Approved Date:
142440/2	21 May 2015
Certifying Authority:	Brendan Bennett
Accreditation No:	BPB 0027

ABSAs
Association of Building Sustainability Assessors

**Class 1 Buildings
Multi-Dwelling
Project Certification**

Certification Number	1007229329
Certification Date	19/12/2014
Assessor Name	Robert Valades
Assessor Number	20102
Assessor Signature	<i>R. Valades</i>

PITTWATER COUNCIL

**APPROVED DEVELOPMENT
CONSENT PLANS**

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE
WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUNCIL RESERVE.

notes			
all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.			
rev	date	amendment	
A	04.07.14	DRAFT CC / tender issue	
B	01.08.14	DRAFT CC issue	
C	20.08.14	TENDER ISSUE	
D	23.10.14	ISSUE FOR CERTIFIER	
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type Ca.D1a amended for access. garage requirements. ILU 8/9/10/11 moved 410mm west.	
F	18.12.14	S96 issue	
NOTE: 1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211 2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921			
project management MORGAN MOORE ph: 02 9957 6188			
planner DON FOX PLANNING ph: 02 9980 6933			
landscape architect JOHN LOCK & ASSOCIATES ph: 02 9969 9866			
engineer (civil / hydraulic) HENRY & HYMAS ph: 02 9417 8400			
environa studio 19/151 ovaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239			
project ARV AT WARRIWOOD BROOK			
for/client ARV Villages			
location MACPHERSON STREET			
at WARRIWOOD BROOK			
drawing ROOF PLAN - TYPE C			
stage	project no.	dwg no.	
CC	731	C102	
chkd	drwn	data	issue
TW	CK	18/12/14	F

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rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type Ca.D1a amended for access. garage requirements. ILU 8/9/10/11 moved 410mm west.
F	15.01.15	S96: elevations requested by council

NOTE:
 1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211
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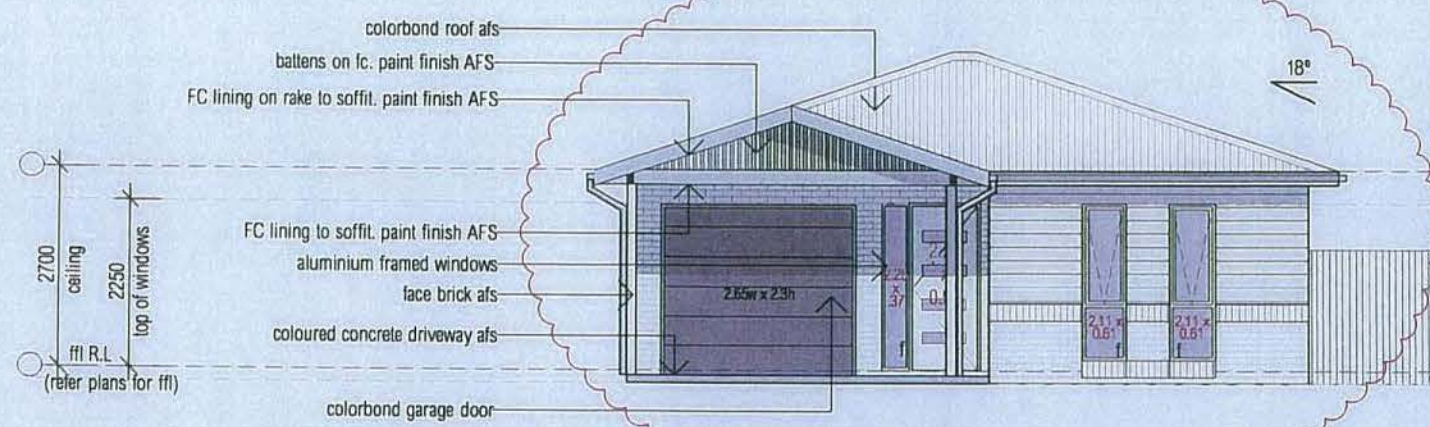
project management
MORGAN MOORE
 ph: 02 9957 6188

planner
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 ph: 02 9980 6933

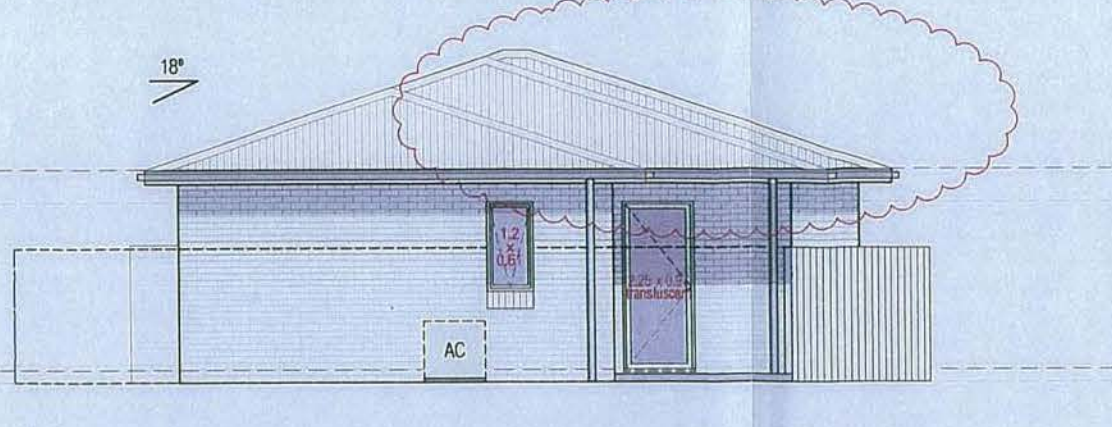
landscape architect
JOHN LOCK & ASSOCIATES
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engineer (civil / hydraulic)
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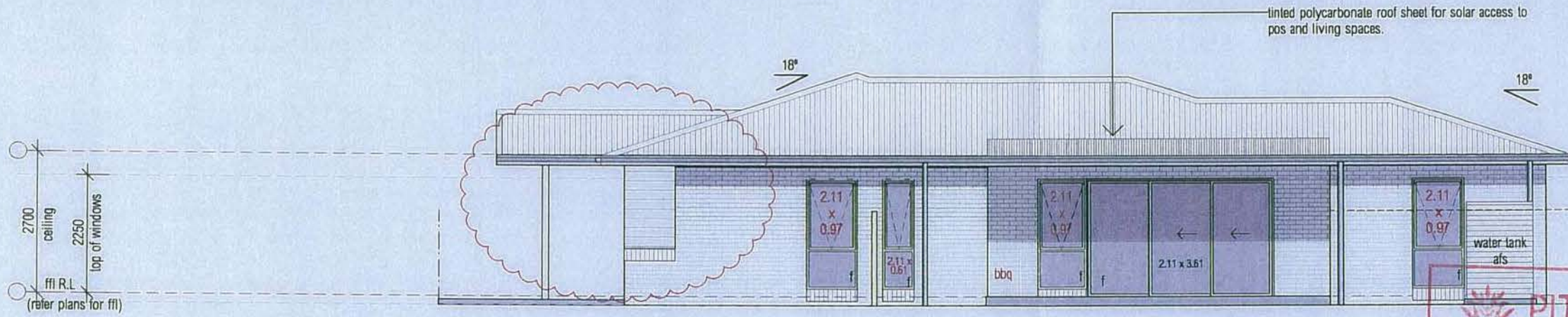
environa studio
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 architects registration : 6239



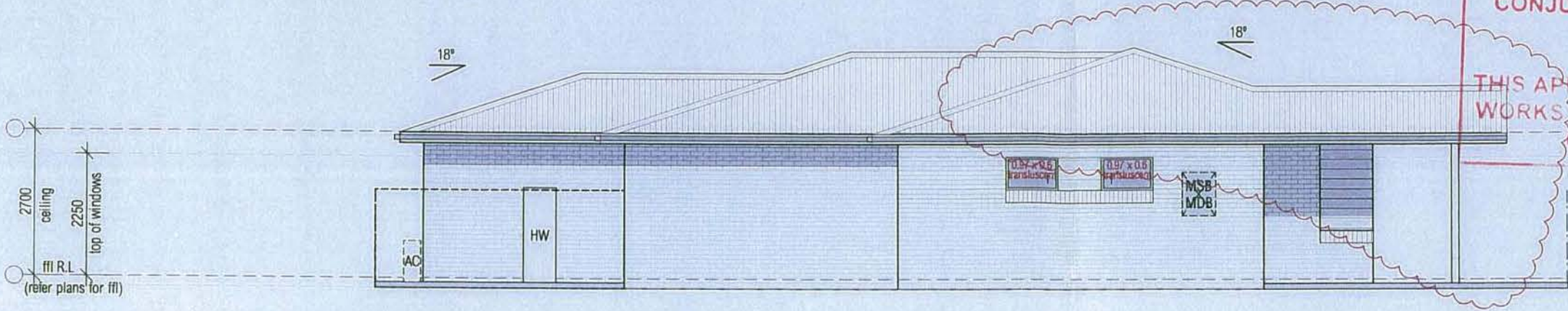
• STREET ELEVATION
 • 1:100 @ A3



• REAR ELEVATION
 • 1:100 @ A3



• COURTYARD ELEVATION
 • 1:100 @ A3



• SIDE ELEVATION
 • 1:100 @ A3

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.

CITY PLAN SERVICES
 Construction Certificate No: 142440/2
 Approved Date: 21 May 2015
 Certifying Authority: Brendan Bennett
 Accreditation No: BPB 0027

project
ARV AT WARRIEWOOD BROOK

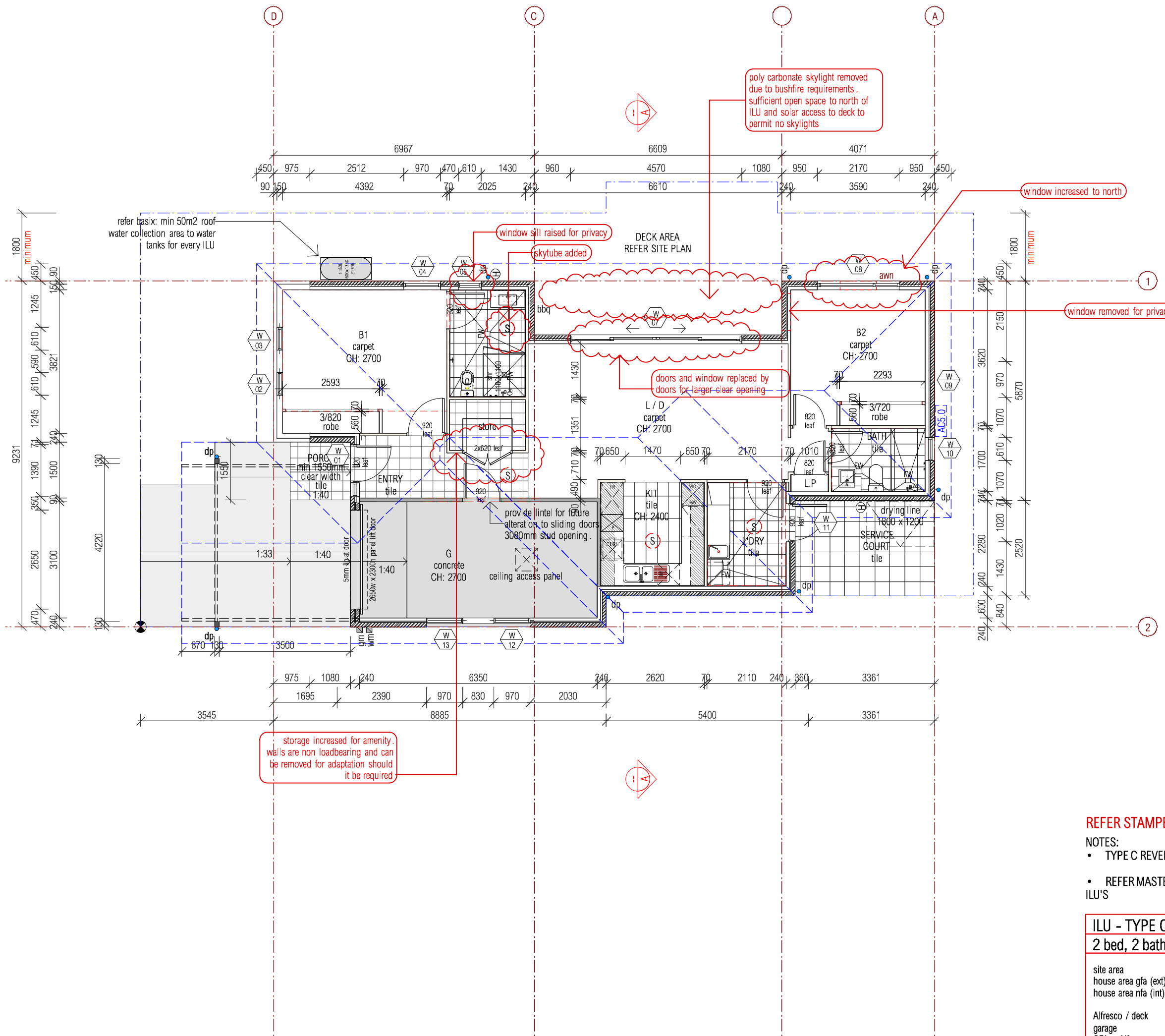
for/client
ARV Villages

location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
ELEVATIONS - TYPE C

sage S96	project no. 731	dwg no. C103
chkd TW	drwn CK	date 19/12/14
	issue F	



poly carbonate skylight removed due to bushfire requirements. sufficient open space to north of ILU and solar access to deck to permit no skylights

window increased to north

window sill raised for privacy

skylight added


doors and window replaced by doors for larger clear opening

window removed for privacy

provide lintel for future alteration to sliding doors 3080mm stud opening.

storage increased for amenity. walls are non loadbearing and can be removed for adaptation should it be required

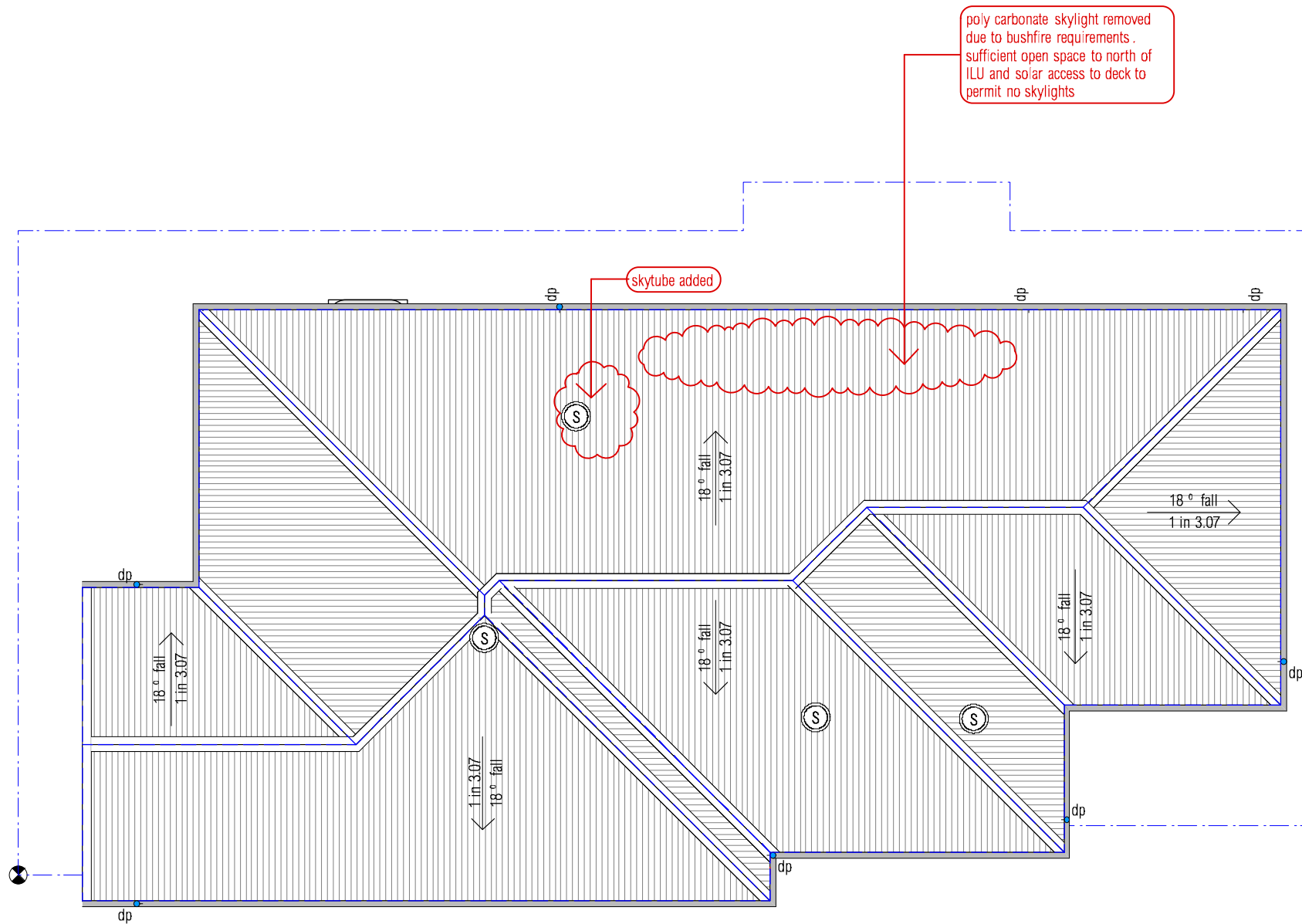
REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

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<table border="1"> <thead> <tr> <th>rev</th> <th>date</th> <th>amendment</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>29.03.16</td> <td>S96 ISSUE</td> </tr> </tbody> </table>	rev	date	amendment	A	29.03.16	S96 ISSUE		
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project ARV AT WARRIWOOD BROOK								
for/client 								
location MACPHERSON STREET								
at WARRIWOOD BROOK								
drawing PLAN: ILU TYPE C (REVERSE) - FT								
stage CC / S96	project no. 731	dwg no. CR-ft101						
chkd TW	drwn CK	date 29/03/16						
		issue A						

REFER STAMPED CC ILU TYPE C

- NOTES:**
- TYPE C REVERSE- FT FOR ILU #: 12
 - REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE C (REVERSE) -FT	
2 bed, 2 bath	
site area	
house area gfa (ext)	103.9 sqm
house area nfa (int)	93.0 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6 sqm
GFA + Alf	151.5 sqm



poly carbonate skylight removed due to bushfire requirements. sufficient open space to north of ILU and soiar access to deck to permit no skylights

skytube added

01 ROOF PLAN

notes		
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environa studio
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 e: info@environastudio.com.au
 architects registration : 6239

project
 ARV AT WARRIEWOOD BROOK

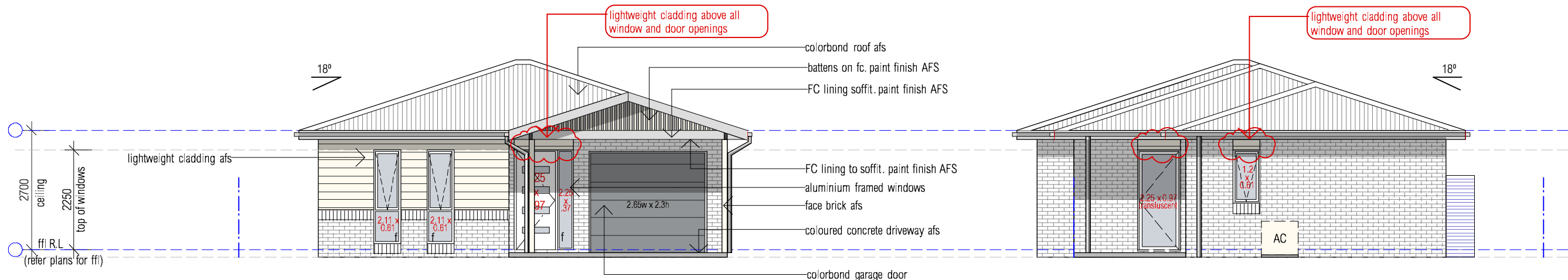


location
 MACPHERSON STREET

at
 WARRIEWOOD BROOK

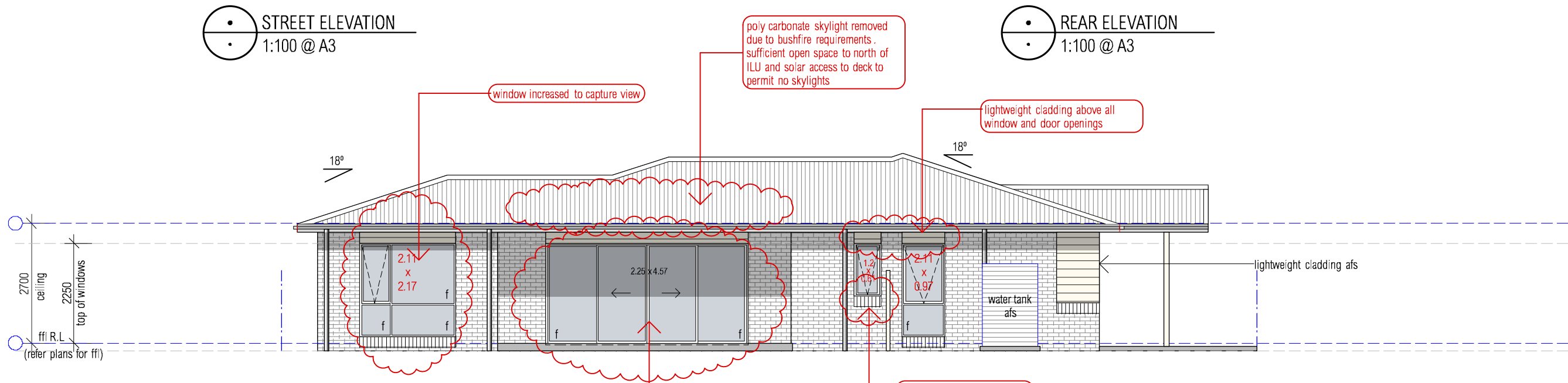
drawing
 ROOF PLAN - TYPE C (REVERSE)

stage	project no.	dwg no.	
CC / S96	731	CR-ft102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

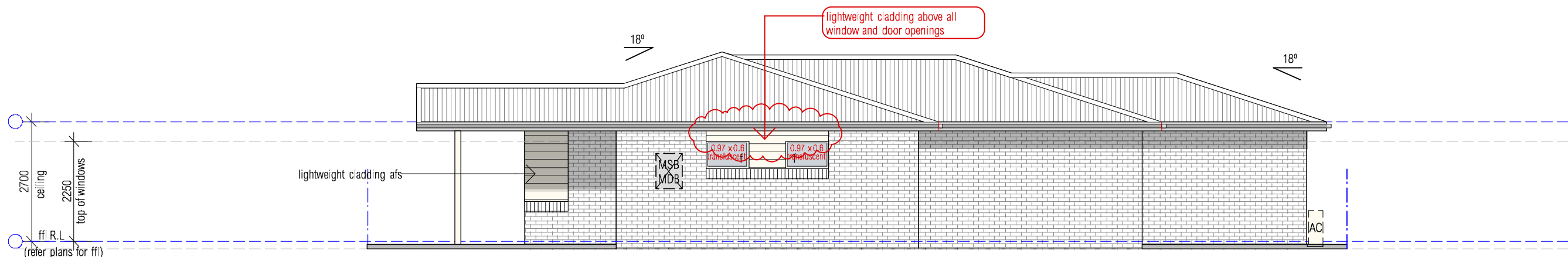


STREET ELEVATION
1:100 @ A3


REAR ELEVATION
1:100 @ A3



COURTYARD ELEVATION
1:100 @ A3



SIDE ELEVATION
1:100 @ A3

notes		
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<p>environa studio</p> <p>19/151 foveaux St</p> <p>surry hills 2010</p> <p>t: 02 9332 1211 f: 02 9332 1355</p> <p>e: info@environastudio.com.au</p> <p>architects registration : 6239</p>		
<p>project</p> <p>ARV AT WARRIEWOOD BROOK</p>		
<p>for/client</p> 		
<p>location</p> <p>MACPHERSON STREET</p>		
<p>at</p> <p>WARRIEWOOD BROOK</p>		
<p>drawing</p> <p>ELEVATIONS - TYPE C (REVERSE)-FT</p>		
stage	project no.	dwg no.
CC / S96	731	CR-ft103
chkd	drwn	date
TW	CK	29/03/16
		issue
		A

CITY PLAN SERVICES

Construction Certificate No:

Approved Date:

142440/1

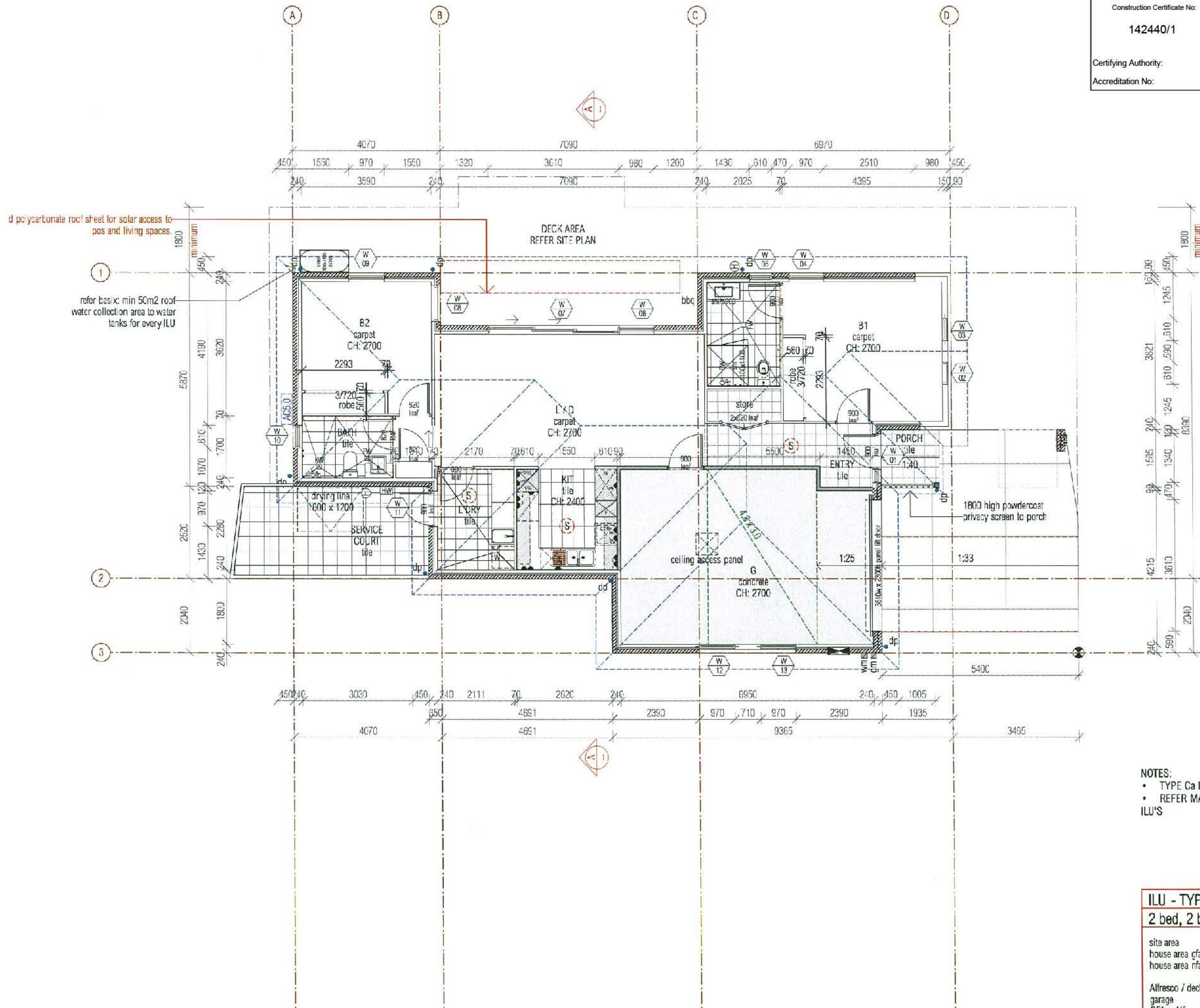
25 Mar 2015

Certifying Authority:

Brendan Bennett

Accreditation No:

BPB 0027



rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type Ca.D1a amended for access garage requirements. ILU 3/3/10/11 moved 410mm west.
F	18.12.14	S96 issue
G	09.03.15	clarification: 4.8m by 3m clear space in garage for accessibility shown

NOTES:
 1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211
 2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920
 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

project management
MORGAN MOORE
 ph: 02 9957 6188

planner
DON FOX PLANNING
 ph: 02 9980 6933

landscape architect
JOHN LOCK & ASSOCIATES
 ph: 02 9989 9866

engineer (civil / hydraulic)
HENRY & HYMAS
 ph: 02 9417 8400

environa studio
 19/151 foveaux St
 surry hills, 2010
 t: 02 9332 1211 f: 02 9332 1355
 e: info@environastudio.com.au
 architects registration : 6239

project:
ARV AT WARRIEWOOD BROOK



location:
MACPHERSON STREET

at:
WARRIEWOOD BROOK

drawing:
PLAN: ILU TYPE Ca - accessible

stage	project no.	dwg no.	
S96	731	Ca101	
chk'd	drawn	date	issue
TW	CK	09/03/15	G

NOTES:
 • TYPE Ca ILU #: 10
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

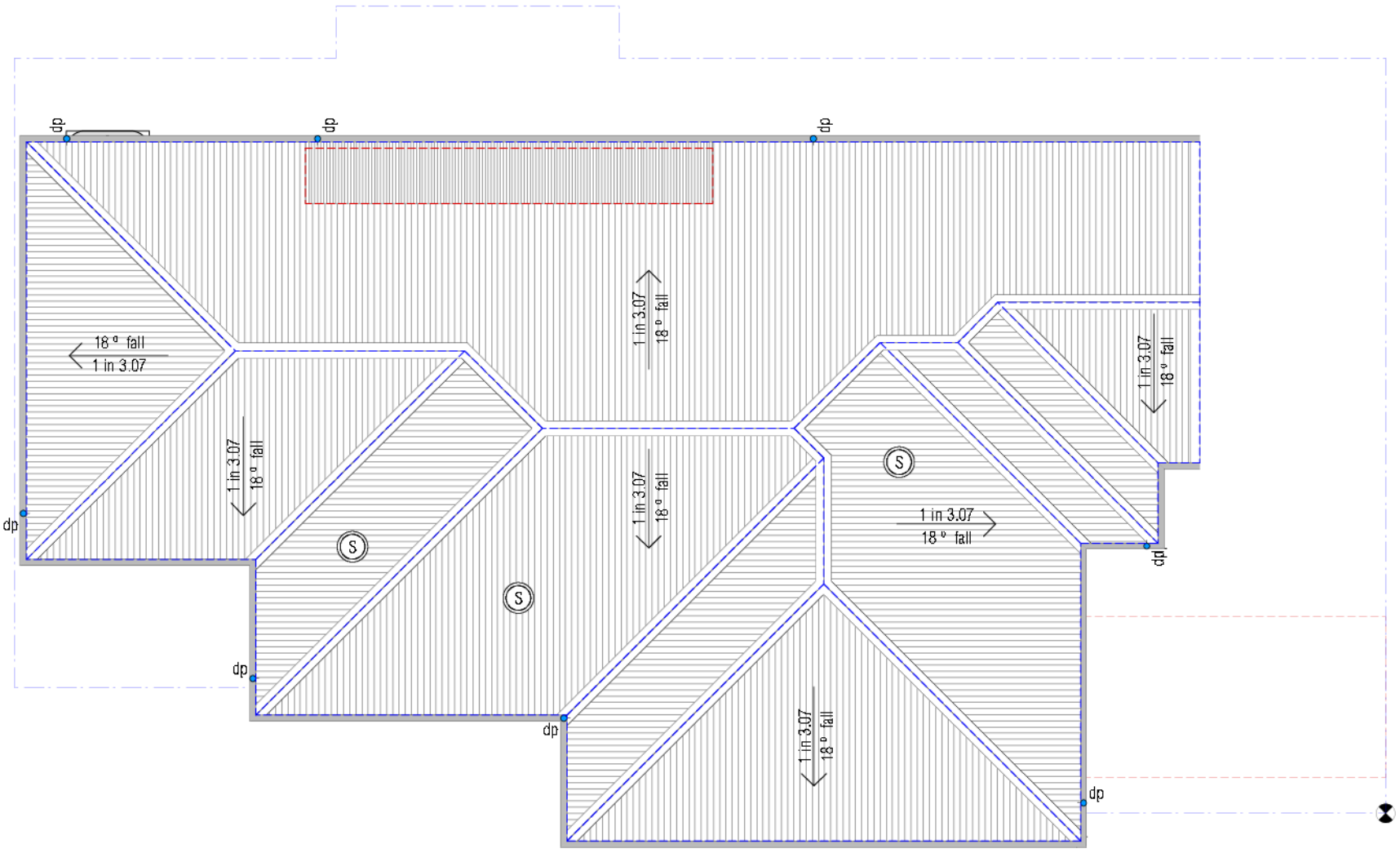
ILU - TYPE C a - accessible	
2 bed, 2 bath	
site area	
house area cfa (ext)	103.6 sqm
house area rfa (int)	92.6sqm
Alfresco / deck	approx 25 sqm (varies)
garage	36.2 sqm
GFA + Alf	154.8 sqm

CITY PLAN SERVICES

Construction Certificate No: **142440/1** Approved Date: **25 Mar 2015**

Certifying Authority: **Brendan Bennett**

Accreditation No: **BPB 0027**



01 ROOF PLAN

notes
all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions, do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

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E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type Ca.D1a amended for access. garage requirements. ILU 8/9/10/11 moved 410mm west.

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3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

project management
MORGAN MOORE
ph: 02 9957 6188

planner
DON FOX PLANNING
ph: 02 9980 6933

landscape architect
JOHN LOCK & ASSOCIATES
ph: 02 9969 9866

engineer (civil / hydraulic)
HENRY & HYMAS
ph: 02 9417 8400

environa studio
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surry hills 2010
t: 02 9332 1211 f: 02 9332 1355
e: info@environastudio.com.au
architects registration : 6239

project
ARV AT WARRIEWOOD BROOK

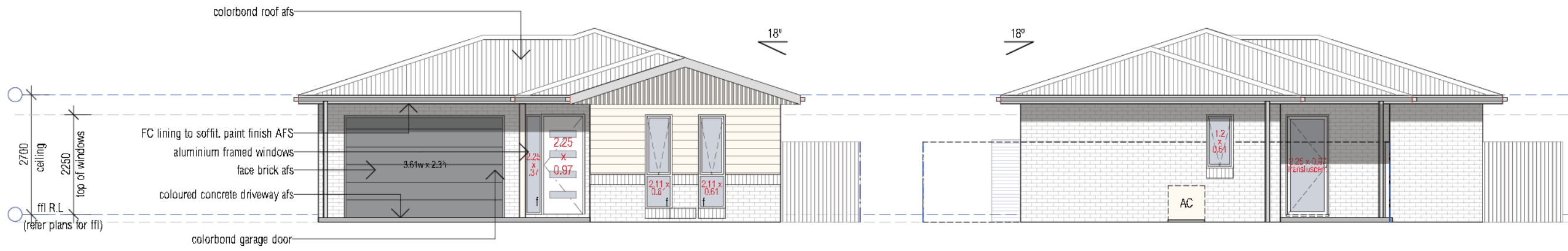


location
MACPHERSON STREET

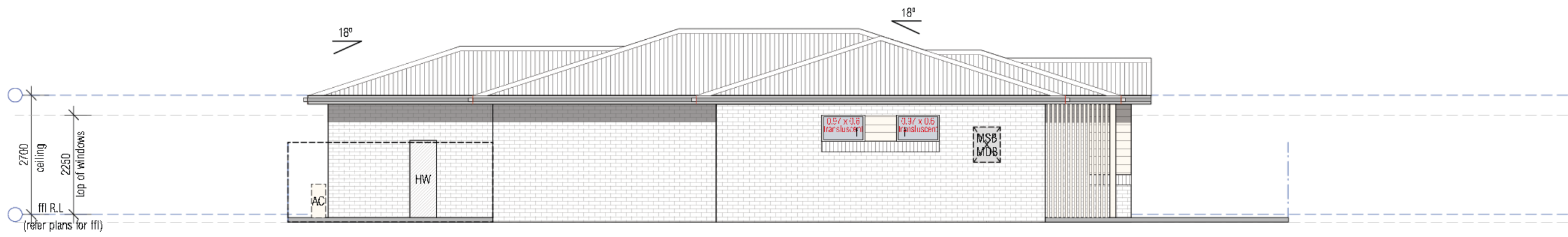
at
WARRIEWOOD BROOK

drawing
ROOF PLAN

stage	project no.	dwg no.	
CC	731	Ca102	
chkd	drwn	date	issue
TW	CK	29/10/14	E



COURTYARD ELEVATION
1:100 @ A3



SIDE ELEVATION
1:100 @ A3

CITY PLAN SERVICES

Construction Certificate No: **142440/1** Approved Date: **25 Mar 2015**

Certifying Authority: **Brendan Bennett**
Accreditation No: **BPB 0027**

notes
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 - FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

- project management
MORGAN MOORE
ph: 02 9957 6188
- planner
DON FOX PLANNING
ph: 02 9980 6933
- landscape architect
JOHN LOCK & ASSOCIATES
ph: 02 9969 9866
- engineer (civil / hydraulic)
HENRY & HYMAS
ph: 02 9417 8400

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e: info@environastudio.com.au
architects registration : 6239

project
ARV AT WARRIEWOOD BROOK

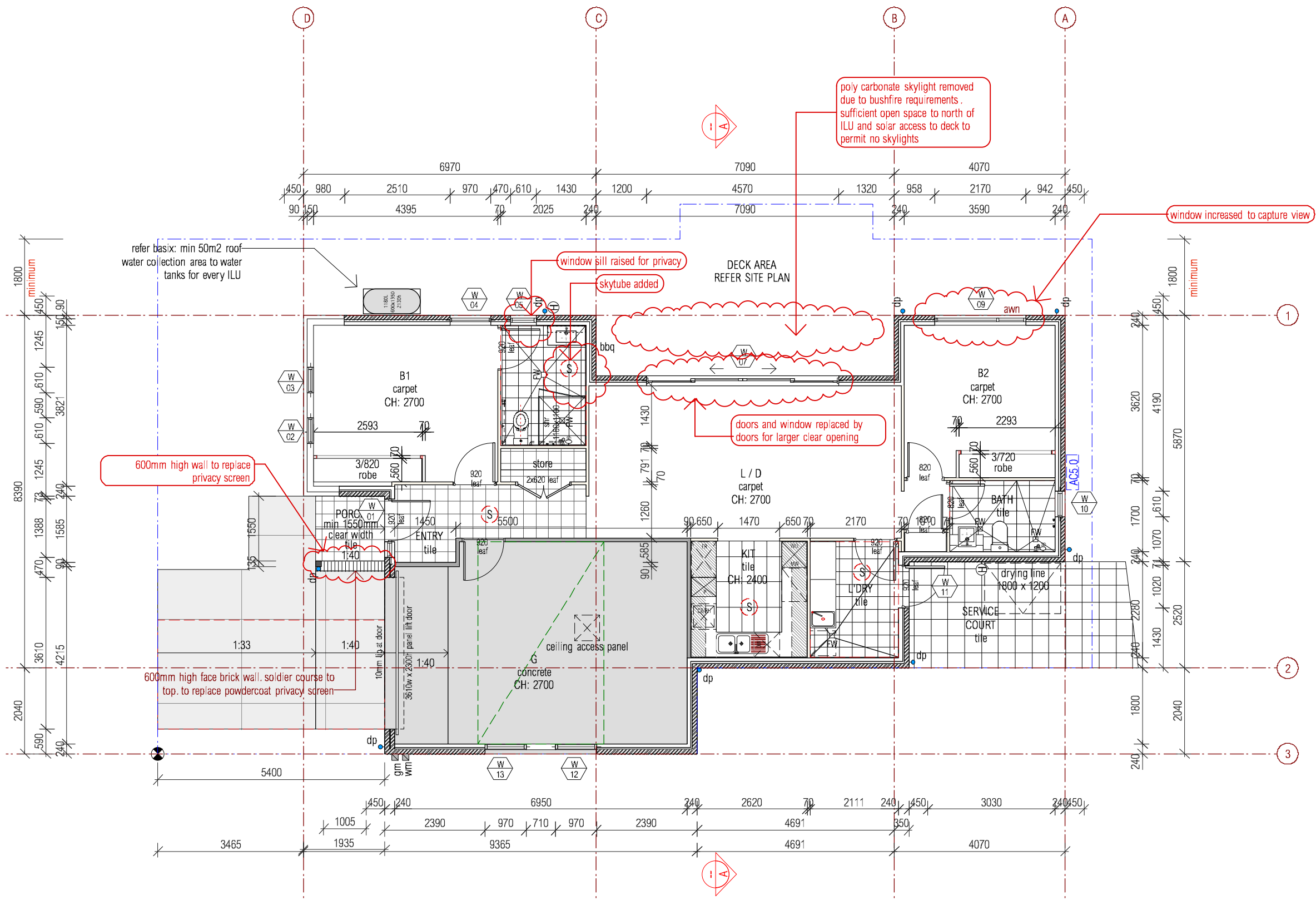


location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
ELEVATIONS - TYPE Ca


stage	project no.	dwg no.	
CC	731	Ca103	
chkd	drwn	date	issue
TW	CK	29/10/14	E

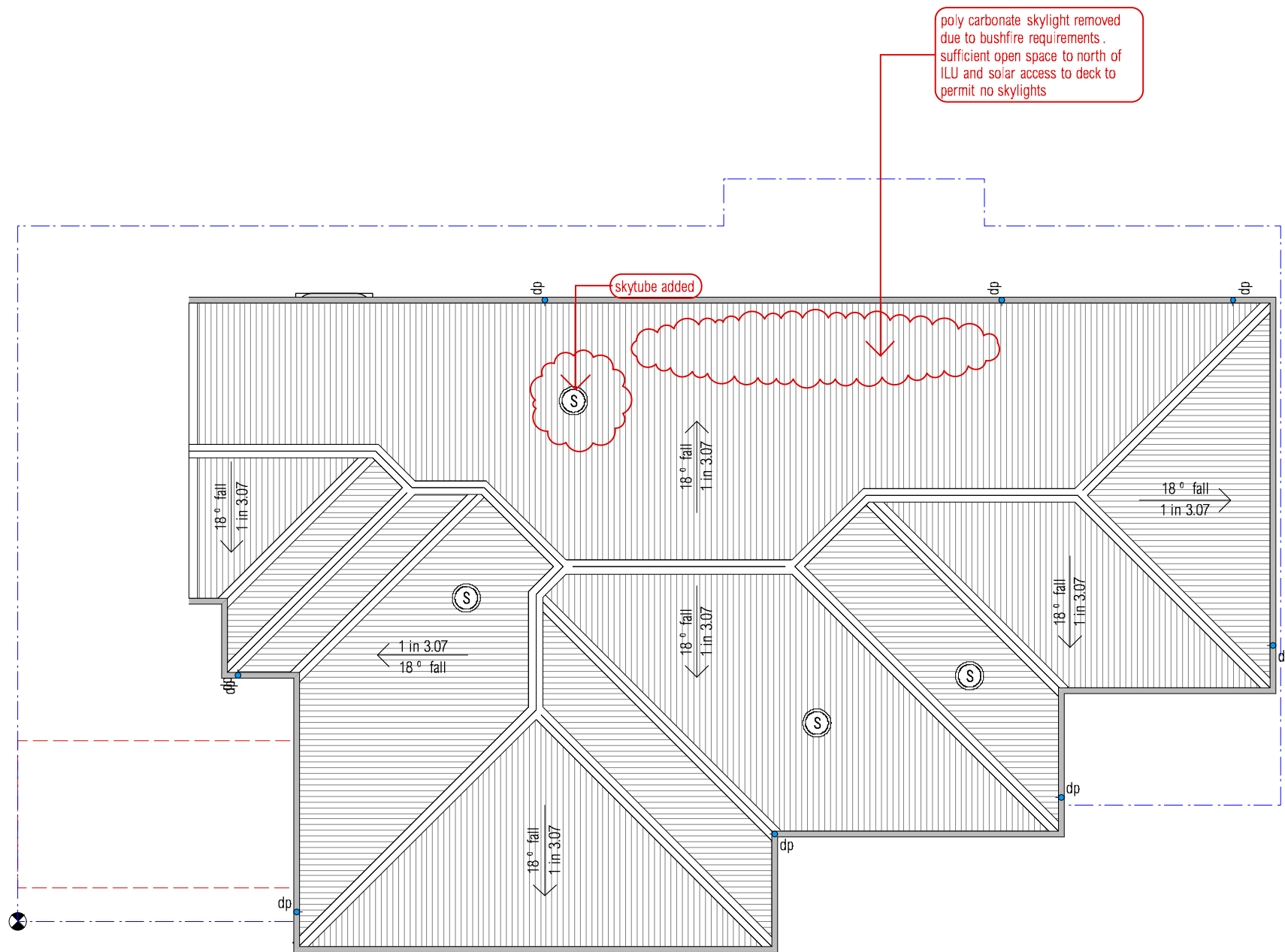


REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

NOTES:
 • TYPE Ca ILU #: 10
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE C a - accessible	
2 bed, 2 bath	
site area	
house area gfa (ext)	103.6 sqm
house area nfa (int)	92.6sqm
Alfresco / deck	approx 25 sqm (varies)
garage	36.2 sqm
GFA + Alf	164.8 sqm

notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.		
rev	date	amendment
A	29.03.16	S96 ISSUE
NOTE: 1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211 2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921		
project management MORGAN MOORE ph: 02 9957 6188		
planner DON FOX PLANNING ph: 02 9980 6933		
landscape architect JOHN LOCK & ASSOCIATES ph: 02 9969 9866		
engineer (civil / hydraulic) HENRY & HYMAS ph: 02 9417 8400		
environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239		
project ARV AT WARRIWOOD BROOK		
for/client 		
location MACPHERSON STREET		
at WARRIWOOD BROOK		
drawing PLAN: ILU TYPE Ca - accessible		
stage	project no.	dwg no.
CC / S96	731	Ca101
chkd	dwn	date
TW	CK	29/03/16
		issue
		A



poly carbonate skylight removed due to bushfire requirements. sufficient open space to north of ILU and soiar access to deck to permit no skylights

skytube added

01 ROOF PLAN

notes		
all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.		
rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIEWOOD BROOK

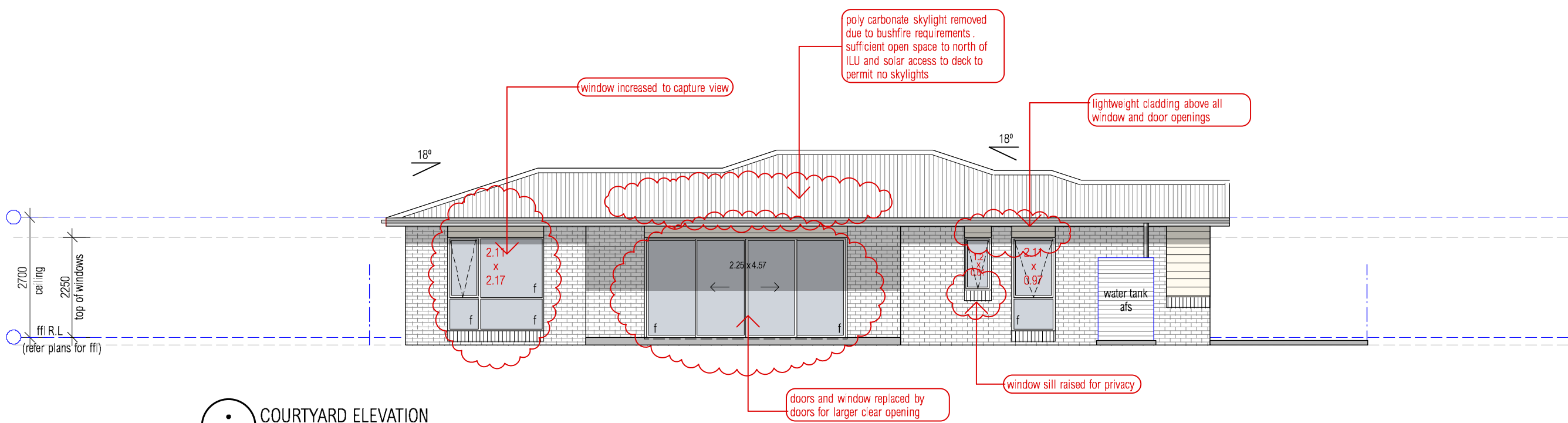
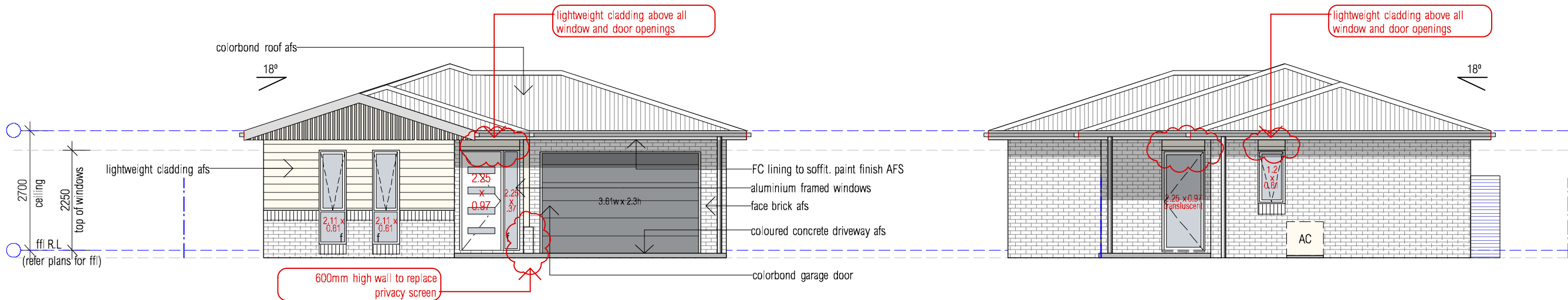


location
MACPHERSON STREET

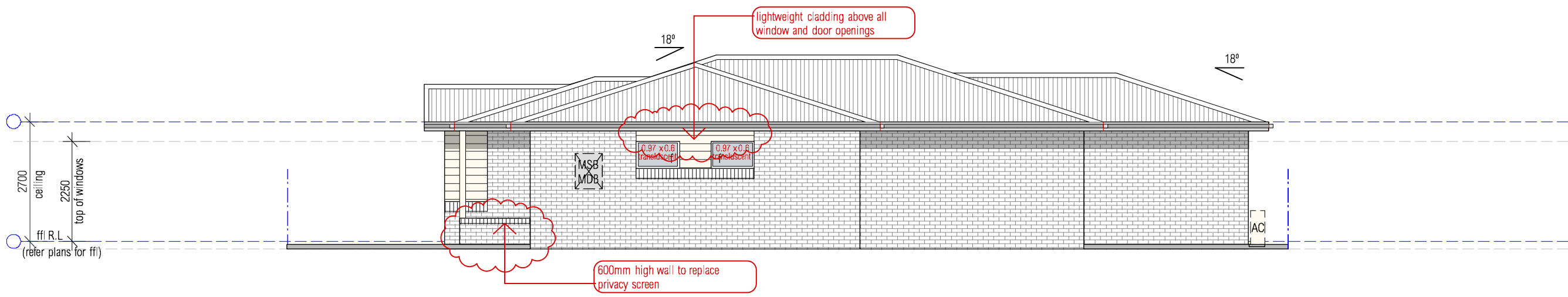
at
WARRIEWOOD BROOK

drawing
ROOF PLAN

stage	project no.	dwg no.
CC / S96	731	Ca102
chkd	drwn	date
TW	CK	29/03/16
		issue
		A

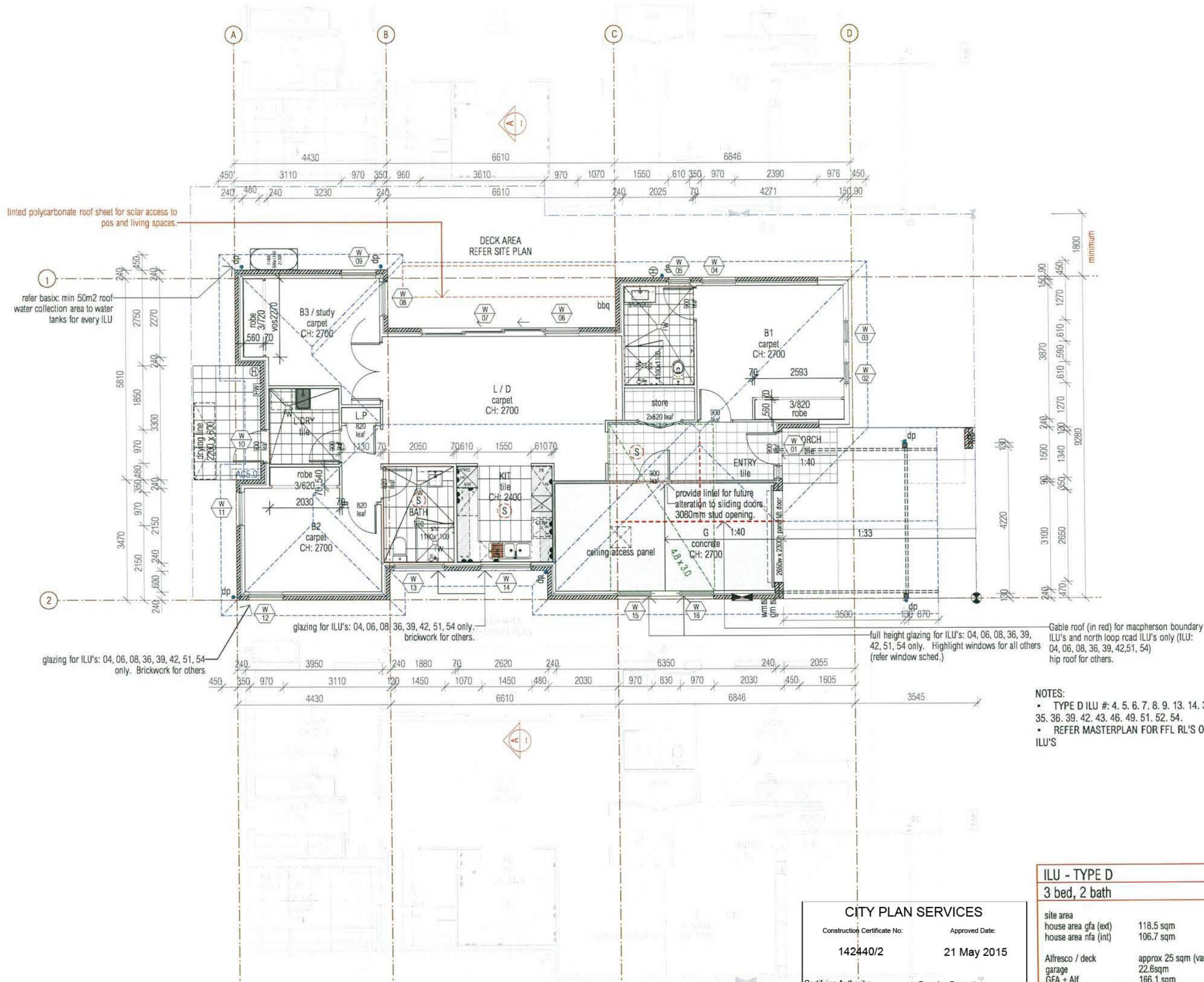


COURTYARD ELEVATION
1:100 @ A3



SIDE ELEVATION
1:100 @ A3

notes			
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rev	date	amendment	
A	29.03.16	S96 ISSUE	
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project management			
MORGAN MOORE ph: 02 9957 6188			
planner			
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landscape architect			
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engineer (civil / hydraulic)			
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<p>environa studio</p> <p>19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>			
project			
ARV AT WARRIWOOD BROOK			
for/client			
location			
MACPHERSON STREET			
at			
WARRIWOOD BROOK			
drawing			
ELEVATIONS - TYPE Ca			
stage	project no.	dwg no.	
CC / S96	731	Ca103	
chkd	drwn	date	issue
TW	CK	29/03/16	A



rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type CaD1a amended for access garage requirements. ILU 8/9/10/11 moved 410mm west.
F	18.12.14	S96 issue
G	09.03.15	clarification: 4.8m by 3m clear space in garage for accessibility shown
L	16.03.15	clarification: swing door and 3080mm lintel shown for adaptation

NOTE:
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 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

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 surry hills 2010
 t: 02 9332 1211 f: 02 9332 1355
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 architects registration : 6239

project
ARV AT WARRIEWOOD BROOK



location
MACPHERSON STREET

at
WARRIEWOOD BROOK

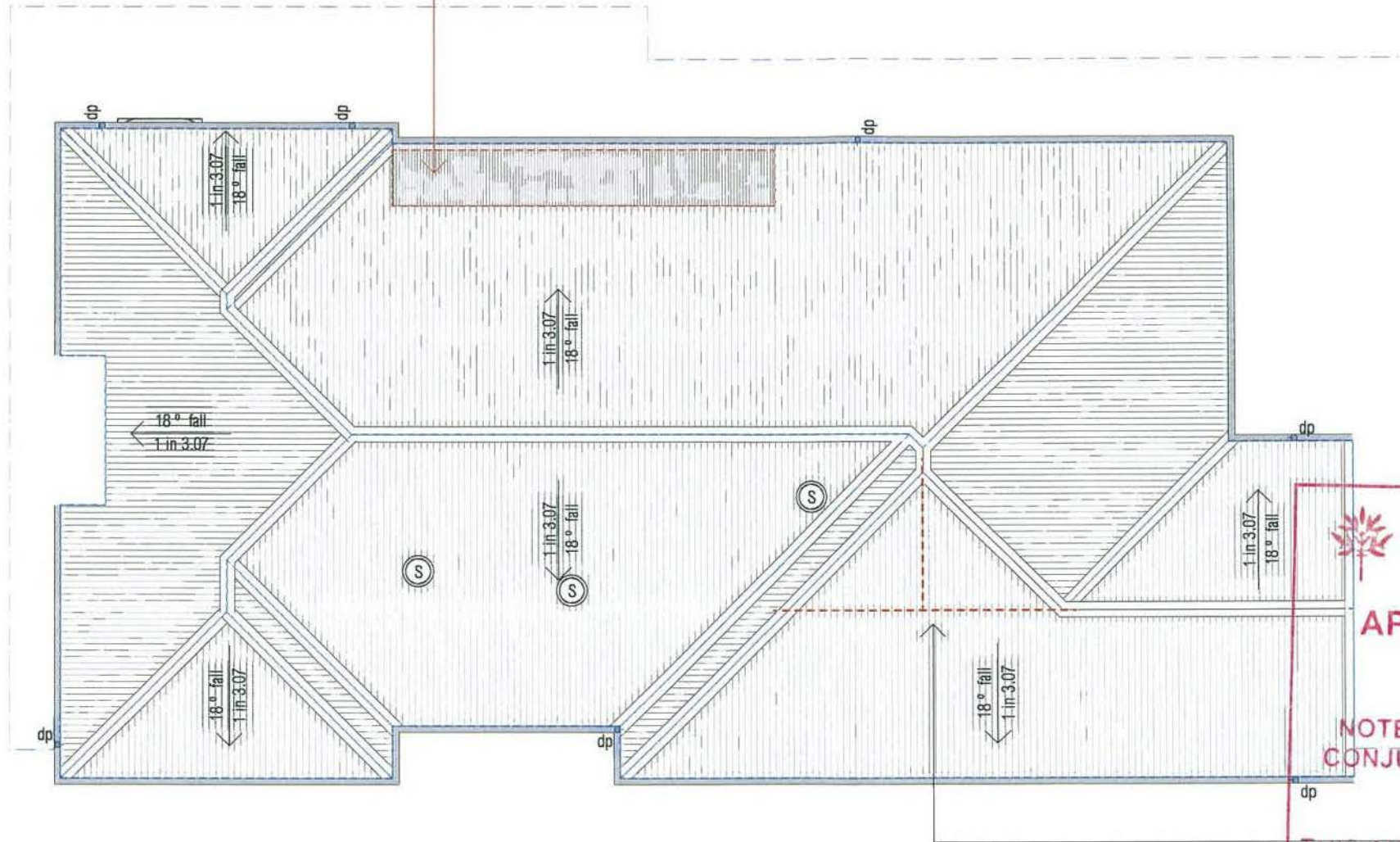
drawing
PLAN: ILU TYPE D

stage	project no.	dwg no.	
S96	731	D101	
chkd	drwn	data	issue
TW	CK	16/03/15	L

ILU - TYPE D	
3 bed, 2 bath	
site area	
house area gfa (ext)	118.5 sqm
house area rfa (int)	106.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	166.1 sqm

CITY PLAN SERVICES
 Construction Certificate No: **142440/2**
 Approved Date: **21 May 2015**
 Certifying Authority: **Brendan Bennett**

tinted polycarbonate roof sheet for solar access to pos and living spaces.



PITTWATER COUNCIL

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVED DEVELOPMENT CONSENT DOES NOT AUTHORISE ANY WORKS OR ALTERATIONS TO ANY ROAD RESERVE OR ANY COUNCIL RESERVE.

Gable roof (in red) for macpherson boundary ILLU's and north loop road ILLU's only (ILLU: 04, 06, 08, 36, 39, 42, 51, 54) hip roof for others.

01 ROOF PLAN

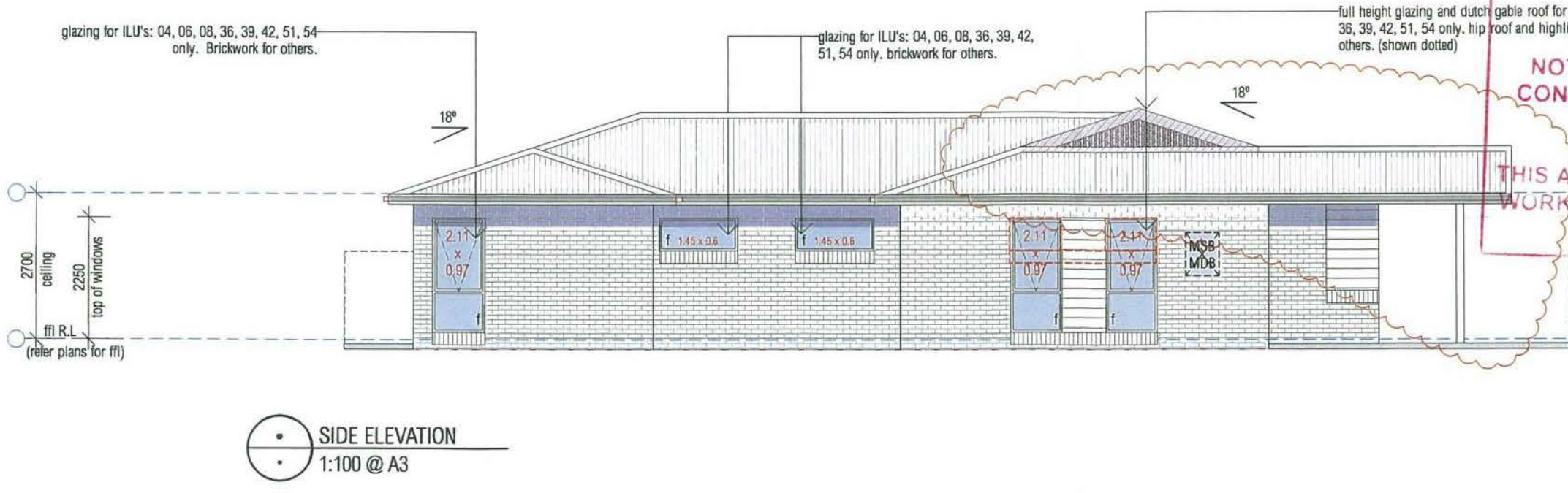
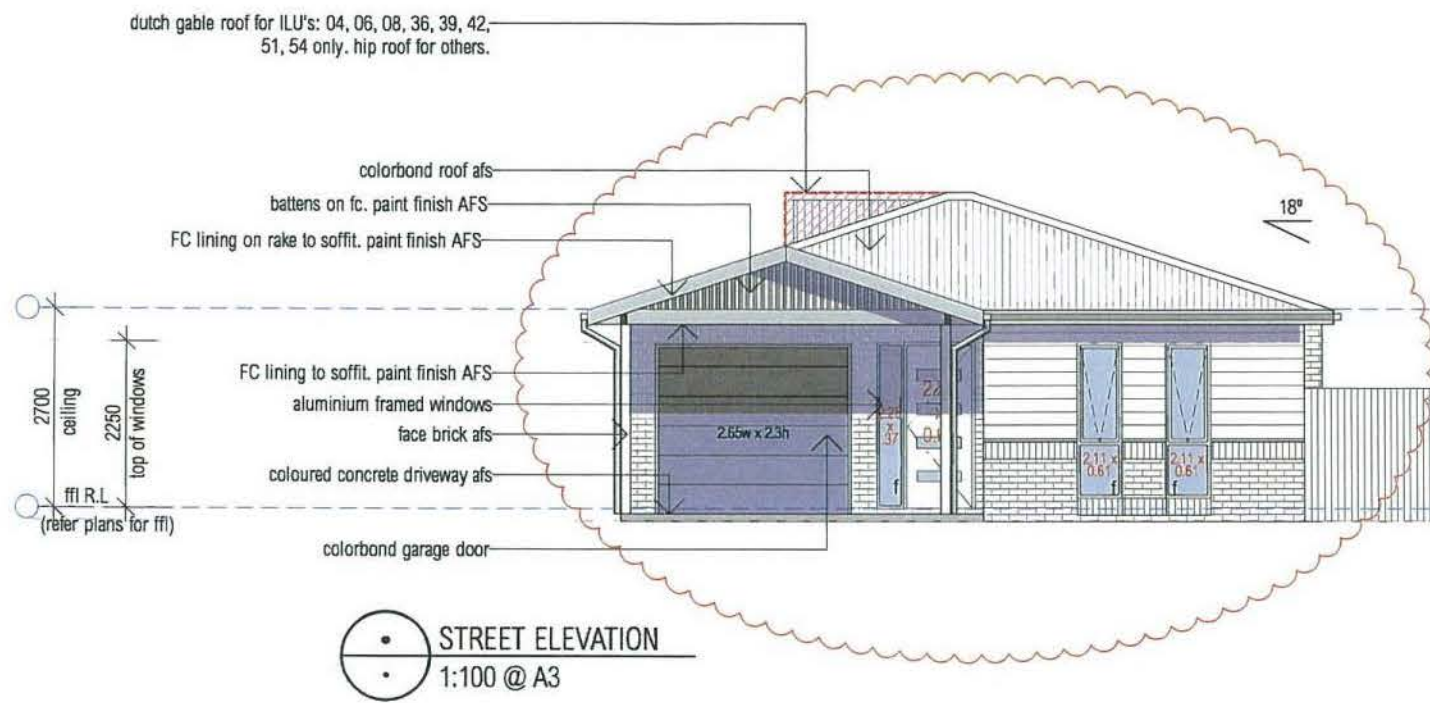
CITY PLAN SERVICES	
Construction Certificate No:	Approved Date:
142440/2	21 May 2015
Certifying Authority: Accreditation No:	Brendan Bennett BPB 0027

ABSA Association of Building Sustainability Assessors

Class 1 Buildings Multi-Dwelling Project Certification

Certification Number	1007229329
Certification Date	19/12/2014
Assessor Name	Robert Valades
Assessor Number	20102
Assessor Signature	<i>R Valades</i>

notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.			
rev	date	amendment	
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D	23.10.14	ISSUE FOR CERTIFIER	
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILLU type Ca.D1a amended for access garage requirements. ILLU 8/9/10/11 moved 410mm west.	
F	18.12.14	S96 issue	
NOTE: 1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211 2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921			
project management	MORGAN MOORE ph: 02 9957 6188		
planner	DON FOX PLANNING ph: 02 9980 6933		
landscape architect	JOHN LOCK & ASSOCIATES ph: 02 9969 9866		
engineer (civil / hydraulic)	HENRY & HYMAS ph: 02 9417 8400		
project	ARV AT WARRIEWOOD BROOK		
for/client			
location	MACPHERSON STREET		
at	WARRIEWOOD BROOK		
drawing	ROOF PLAN - TYPE D		
stage	project no.	dwg no.	
CC	731	D102	
chkd	down	data	issue
TW	CK	18/12/14	F



PITTWATER COUNCIL

APPROVED DEVELOPMENT CONSENT PLANS

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environa studio
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surry hills 2010
t: 02 9332 1211 f: 02 9332 1355
e: info@environastudio.com.au
architects registration : 6239

project
ARV AT WARRIEWOOD BROOK

location
MACPHERSON STREET
at
WARRIEWOOD BROOK

CITY PLAN SERVICES

Construction Certificate No: 142440/2
Approved Date: 21 May 2015

Certifying Authority: Brendan Bennett
Accreditation No: BPB 0027

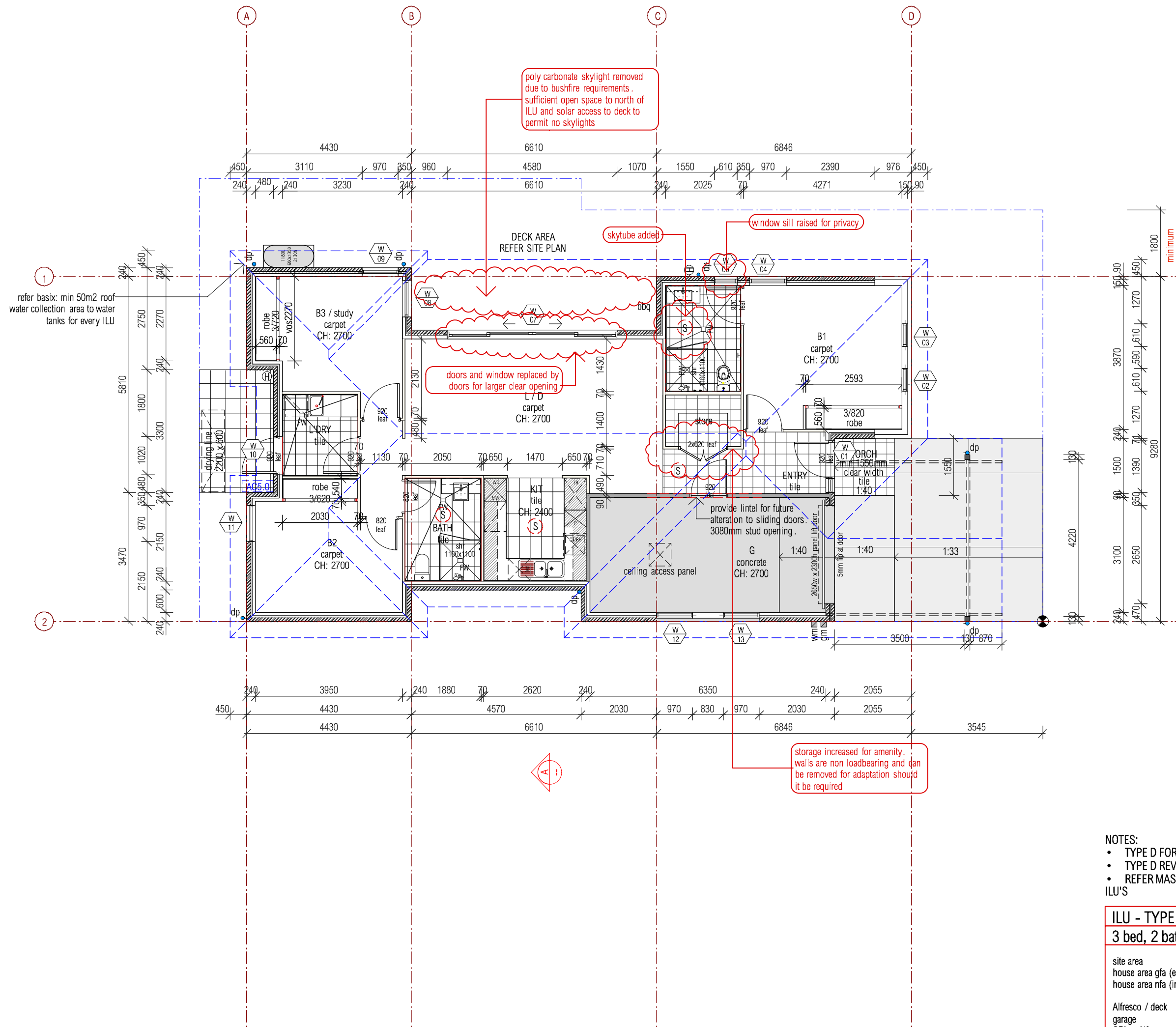
notes
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rev	date	amendment
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B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type Ca.D.1a amended for access. garage requirements. ILU 8/9/10/11 moved 410mm west.
F	15.01.15	S96: elevations requested by council

- NOTE:**
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project management MORGAN MOORE ph: 02 9957 6188
planner DON FOX PLANNING ph: 02 9980 6933
landscape architect JOHN LOCK & ASSOCIATES ph: 02 9969 9866
engineer (civil / hydraulic) HENRY & HYMAS ph: 02 9417 8400

stage S96	project no. 731	dwg no. D103
child TW	drawn CK	date 19/12/14
issue F		



poly carbonate skylight removed due to bushfire requirements . sufficient open space to north of ILU and solar access to deck to permit no skylights

doors and window replaced by doors for larger clear opening

storage increased for amenity . walls are non loadbearing and can be removed for adaptation should it be required

DRAFT

notes
all work to be carried out in accordance with bca, saa codes and conditions of council . measurements in mm's unless noted . use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

rev	date	amendment
A	29.03.16	S96 ISSUE

NOTE:
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project management
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planner
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e: info@environastudio.com.au
architects registration : 6239

project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

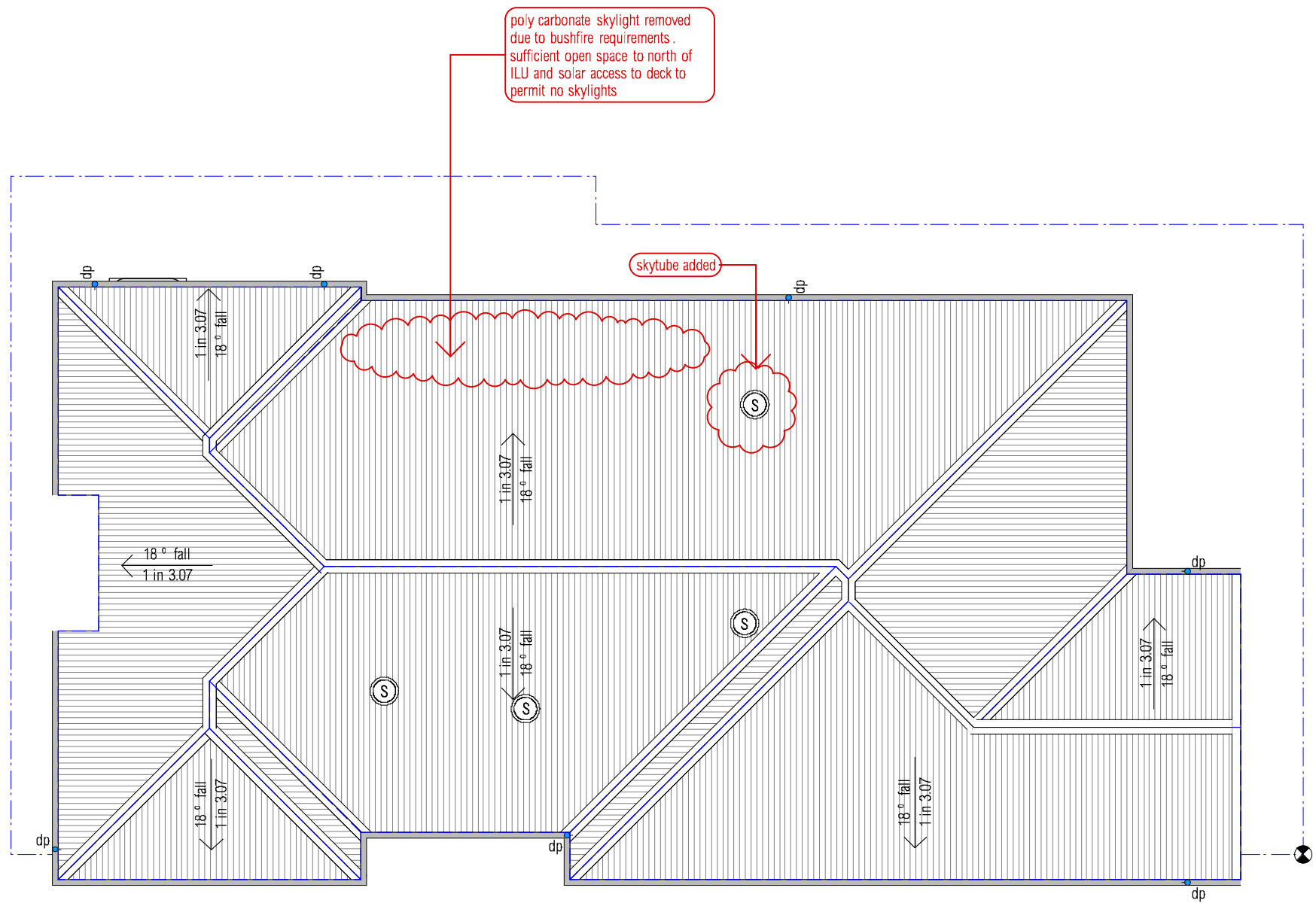
drawing
PLAN: ILU TYPE D

stage	project no.	dwg no.	
CC / S96	731	D101	
chkd	dwn	date	issue
TW	CK	29/03/16	A

NOTES:
• TYPE D FOR ILU #: 7. 9
• TYPE D REVERSE FOR ILU #: 5
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE D	
3 bed, 2 bath	
site area	
house area gfa (ext)	118.5 sqm
house area nfa (int)	106.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	166.1 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS



01 ROOF PLAN

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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 architects registration : 6239

project
ARV AT WARRIEWOOD BROOK

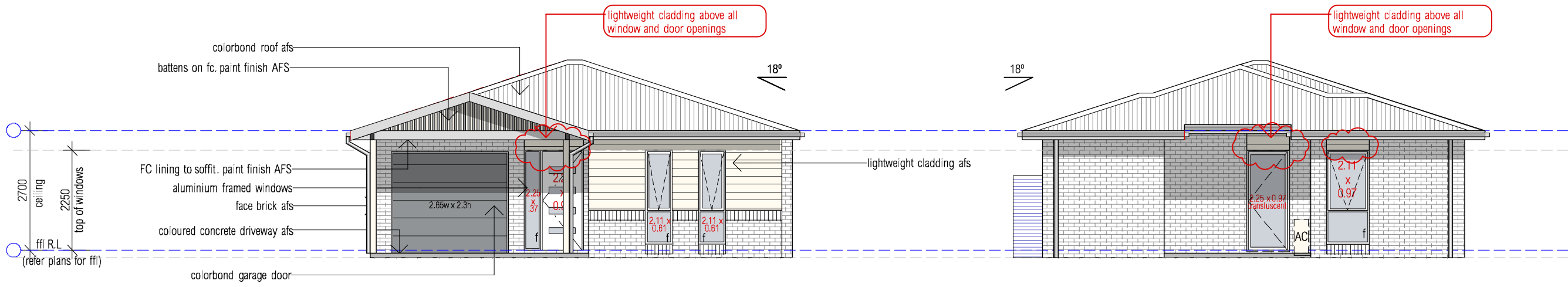


location
MACPHERSON STREET

at
WARRIEWOOD BROOK

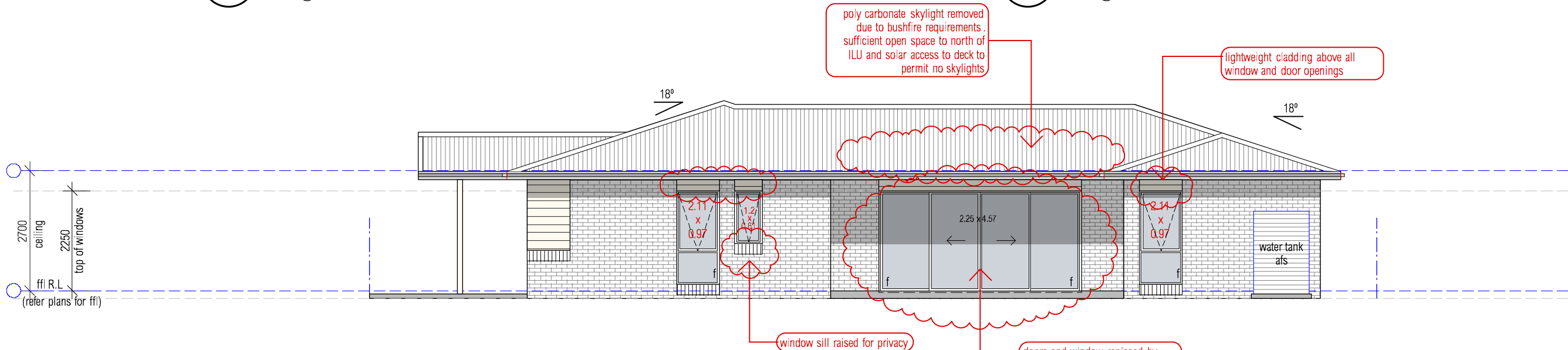
drawing
ROOF PLAN - TYPE D

stage	project no.	dwg no.	
CC / S96	731	D102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

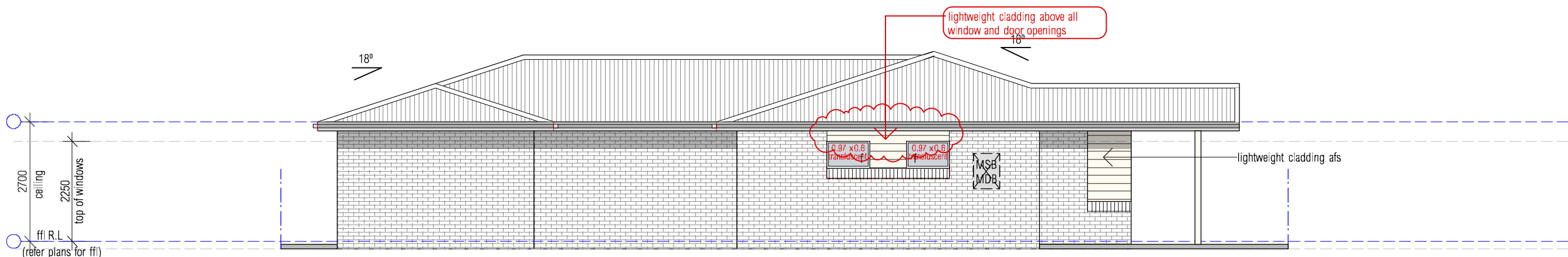


STREET ELEVATION
1:100 @ A3


REAR ELEVATION
1:100 @ A3

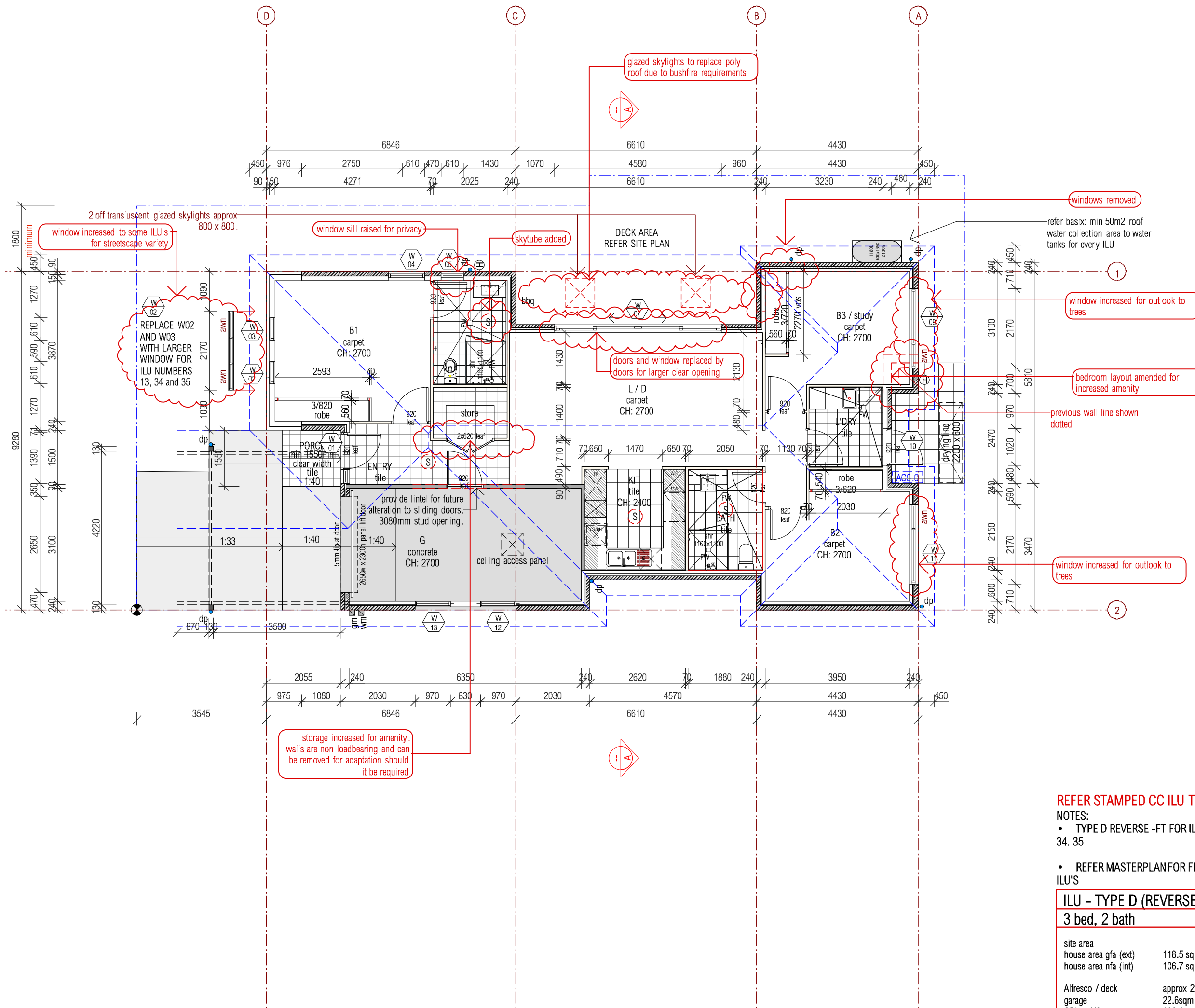


COURTYARD ELEVATION
1:100 @ A3



SIDE ELEVATION
1:100 @ A3

notes			
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rev	date	amendment	
A	29.03.16	S96 ISSUE	
<p>NOTE:</p> <p>1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211</p> <p>2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920</p> <p>3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921</p>			
<p>project management</p> <p>MORGAN MOORE ph: 02 9957 6188</p>			
<p>planner</p> <p>DON FOX PLANNING ph: 02 9980 6933</p>			
<p>landscape architect</p> <p>JOHN LOCK & ASSOCIATES ph: 02 9969 9866</p>			
<p>engineer (civil / hydraulic)</p> <p>HENRY & HYMAS ph: 02 9417 8400</p>			
<p>environa studio</p> <p>19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>			
<p>project</p> <p>ARV AT WARRIWOOD BROOK</p>			
<p>for/client</p> 			
<p>location</p> <p>MACPHERSON STREET</p>			
<p>at</p> <p>WARRIWOOD BROOK</p>			
<p>drawing</p> <p>ELEVATIONS - TYPE D</p>			
stage	project no.	dwg no.	
CC / S96	731	D103	
chkd	drwn	date	issue
TW	CK	29/03/16	A



notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

NOTE:
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3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

project management
MORGAN MOORE
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planner
DON FOX PLANNING
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landscape architect
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e: info@environastudio.com.au
architects registration : 6239

project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE D (REVERSE)-FT

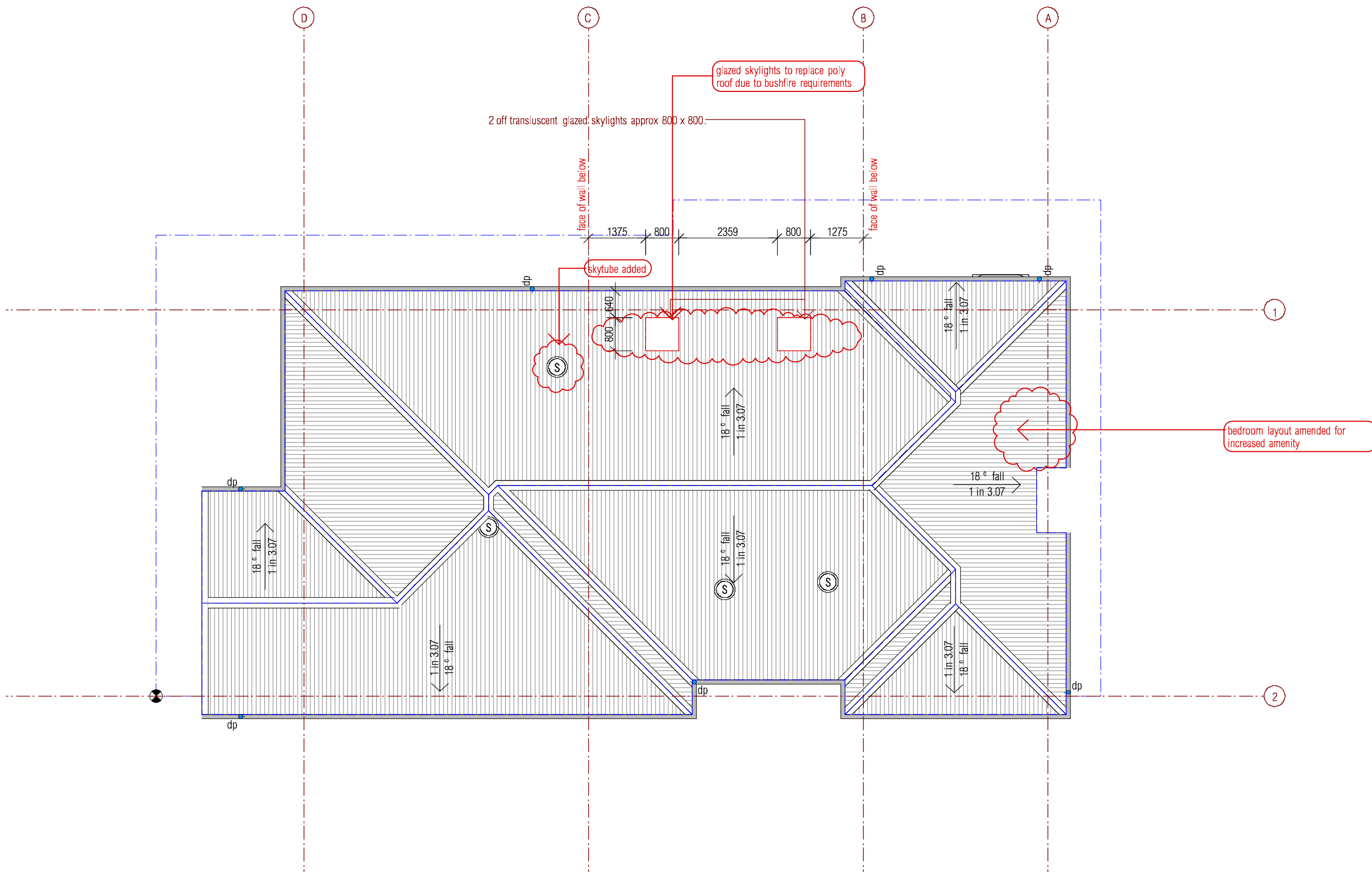
stage	project no.	dwg no.	
CC / S96	731	DR-ft 101	
chkd	dwn	date	issue
TW	CK	29/03/16	A

REFER STAMPED CC ILU TYPE D
NOTES:
• TYPE D REVERSE -FT FOR ILU #: 13, 14, 34, 35
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S


ILU - TYPE D (REVERSE)- FT
3 bed, 2 bath

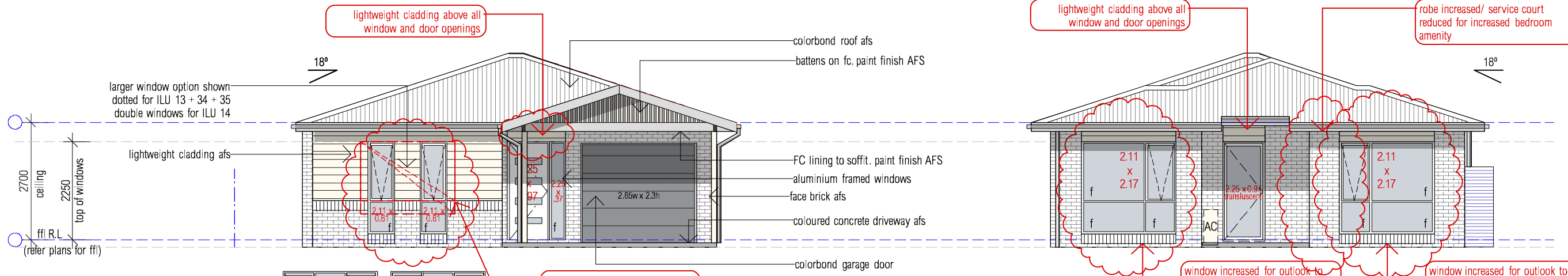
site area	
house area gfa (ext)	118.5 sqm
house area nfa (int)	106.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	166.1 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS



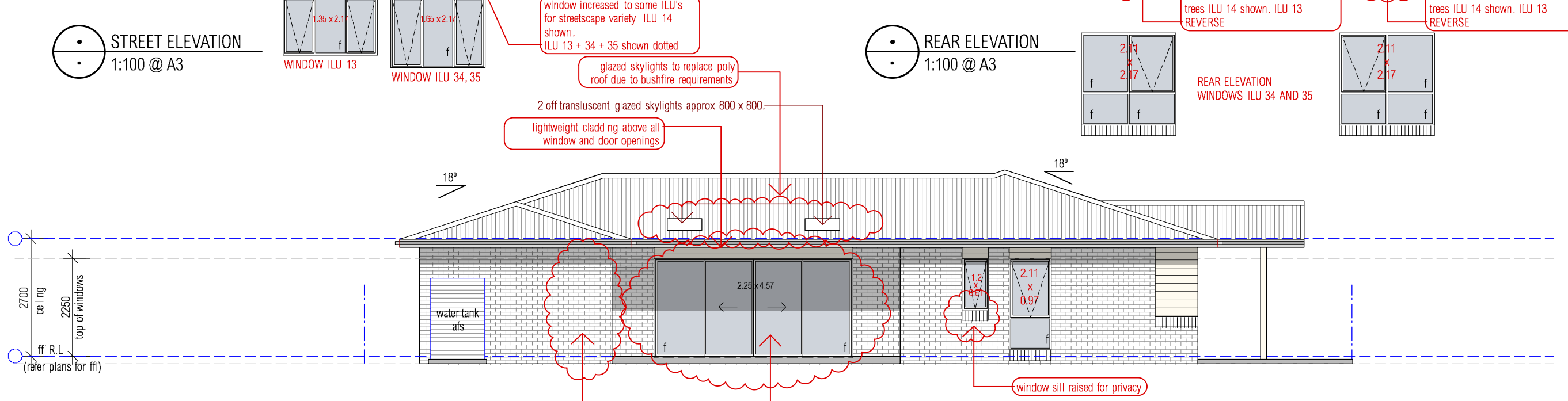
01 ROOF PLAN

notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.			
rev	date	amendment	
A	29.03.16	S96 ISSUE	
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project management MORGAN MOORE ph: 02 9957 6188			
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environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239			
project ARV AT WARRIWOOD BROOK			
for/client 			
location MACPHERSON STREET			
at WARRIWOOD BROOK			
drawing ROOF PLAN: ILU TYPE D (REVERSE)-FT			
stage	project no.	dwg no.	
CC / S96	731	DR-ft 102	
chkd	drwn	date	issue
TW	CK	29/03/16	A



STREET ELEVATION
1:100 @ A3


REAR ELEVATION
1:100 @ A3

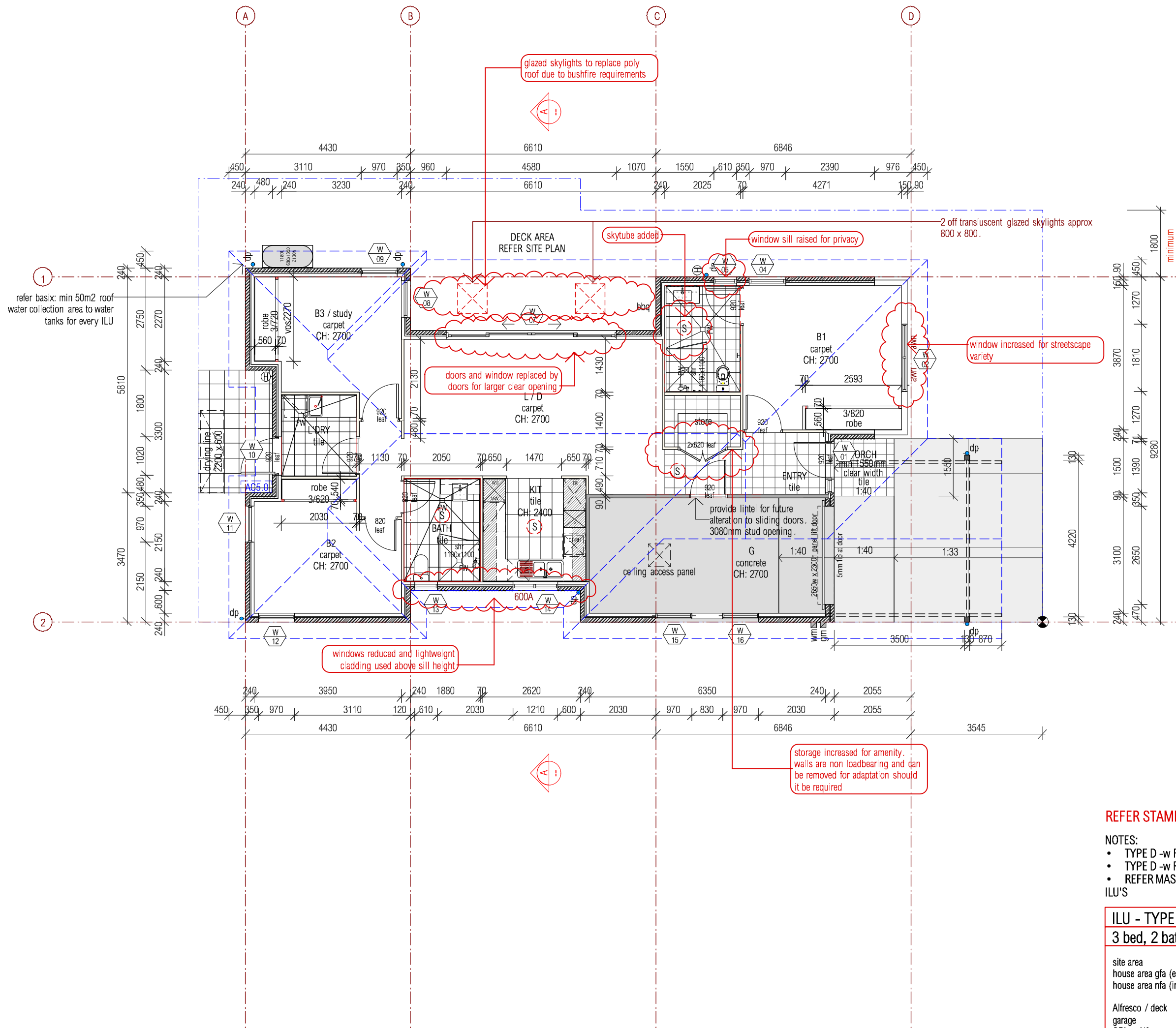


COURTYARD ELEVATION
1:100 @ A3

SIDE ELEVATION
1:100 @ A3

NOTES:
 • TYPE D REVERSE -FT FOR ILU #: 13, 14, 34, 35
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE
<p>NOTE: 1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211 2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921</p>		
project management		
MORGAN MOORE ph: 02 9957 6188		
planner		
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landscape architect		
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engineer (civil / hydraulic)		
HENRY & HYMAS ph: 02 9417 8400		
<p>environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>		
project		
ARV AT WARRIWOOD BROOK		
for/client		
		
location		
MACPHERSON STREET		
at		
WARRIWOOD BROOK		
drawing		
ELEVATIONS - TYPE D (REVERSE) -FT		
stage	project no.	dwg no.
CC / S96	731	DRft103
chkd	drwn	date
TW	CK	29/03/16
		issue
		A



notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

NOTE:
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architects registration : 6239

project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE D - w

stage	project no.	dwg no.
CC / S96	731	Dw101

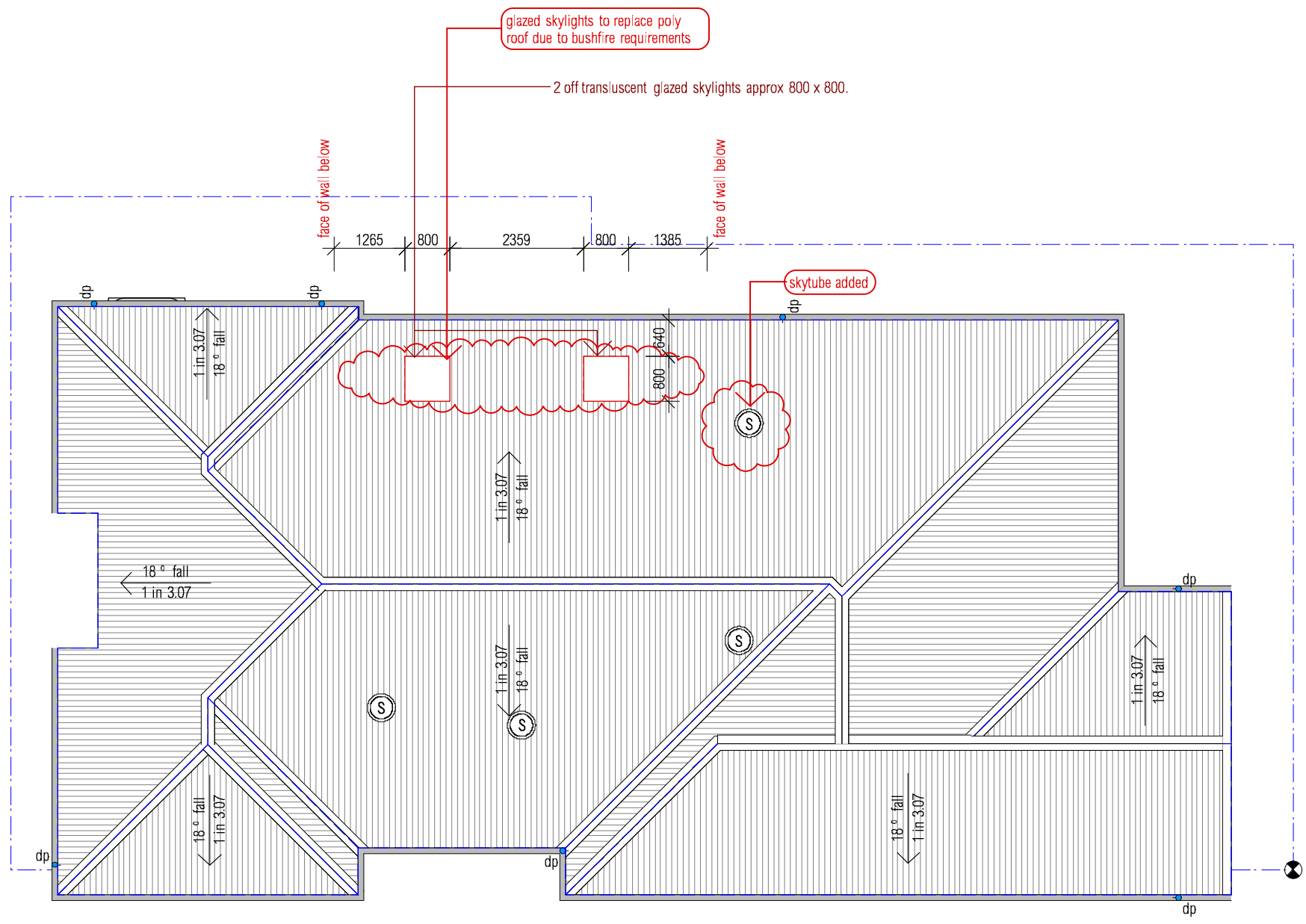
chkd	dwgn	date	issue
TW	CK	29/03/16	A

REFER STAMPED CC ILU TYPE D

- NOTES:
 - TYPE D -w FOR ILU #: 6. 8
 - TYPE D -w REVERSE FOR ILU #: 4
 - REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE D - w	
3 bed, 2 bath	
site area	
house area gfa (ext)	118.5 sqm
house area nfa (int)	106.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	166.1 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS



01 ROOF PLAN

notes		
all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.		
rev	date	amendment
A	29.03.16	S96 ISSUE

NOTE:
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 e: info@environastudio.com.au
 architects registration : 6239

project
ARV AT WARRIEWOOD BROOK



location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
ROOF PLAN - TYPE D - w

stage	project no.	dwg no.
CC / S96	731	Dw102
chkd	drwn	date
TW	CK	29/03/16
		issue
		A

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

- NOTE:
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 - FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920
 - FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

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 e: info@environastudio.com.au
 architects registration : 6239

project
ARV AT WARRIWOOD BROOK

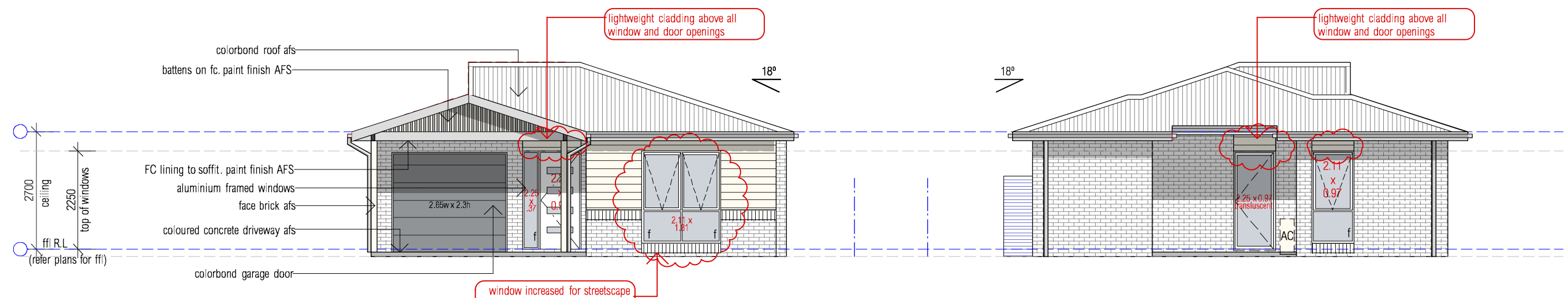


location
MACPHERSON STREET

at
WARRIWOOD BROOK

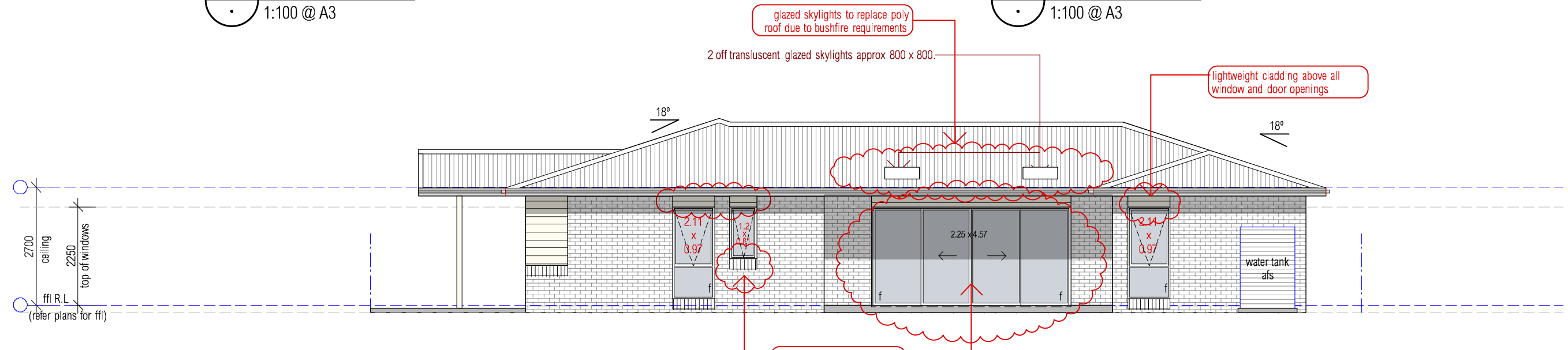
drawing
ELEVATIONS - TYPE D - w

stage	project no.	dwg no.
CC / S96	731	Dw103
chkd	drwn	date
TW	CK	29/03/16
		issue
		A

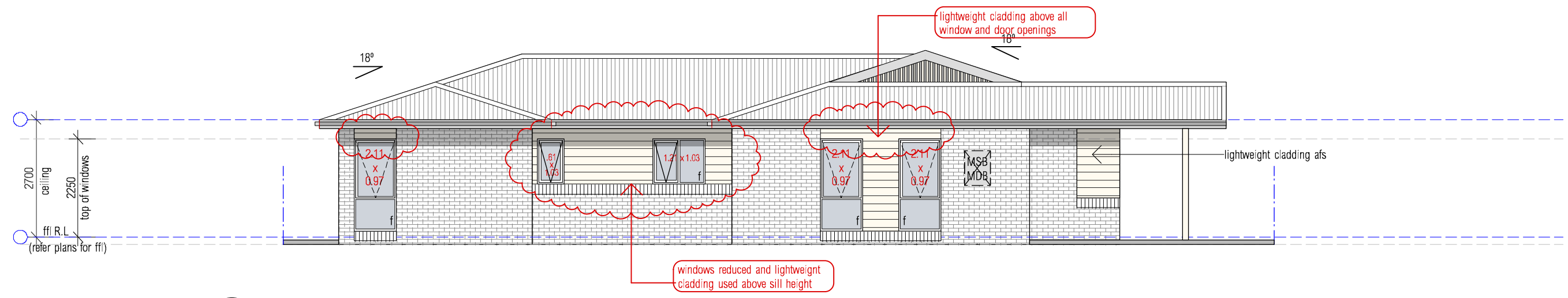


● STREET ELEVATION
 ● 1:100 @ A3

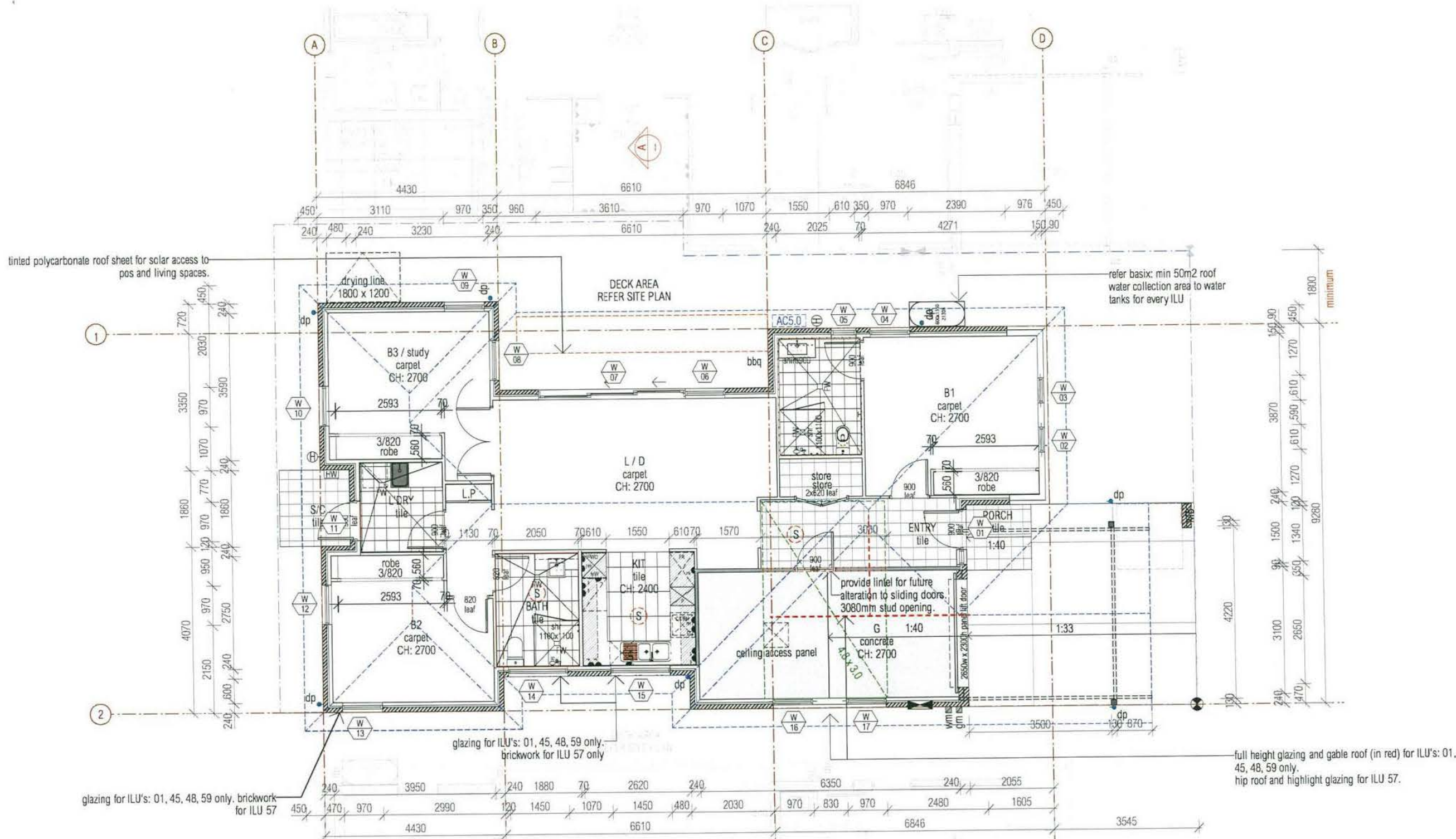
● REAR ELEVATION
 ● 1:100 @ A3



● COURTYARD ELEVATION
 ● 1:100 @ A3



● SIDE ELEVATION
 ● 1:100 @ A3



notes
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rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type Ca.D1a amended for access. garage requirements. ILU 8/9/10/11 moved 410mm west.
F	18.12.14	S96 issue
G	09.03.15	clarification: 4.8m by 3m clear space in garage for accessibility shown
L	16.03.15	clarification: swing door and 3080mm lintel shown for adaptation

NOTE:
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 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

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 surry hills 2010
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 e: info@environastudio.com.au
 architects registration : 6239

project
ARV AT WARRIEWOOD BROOK



location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
PLAN: ILU TYPE D1

stage	project no.	dwg no.	
S96	731	D1 101	
chkd	drwn	date	issue
TW	CK	16/03/15	L

NOTES:
 • TYPE D1 ILU #: 1. 45. 48. 57. 59
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE D1	
3 bed, 2 bath	
site area	
house area gfa (ext)	121.7 sqm
house area nfa (int)	109.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	169.3 sqm

CITY PLAN SERVICES
 Construction Certificate No: **142440/2** Approved Date: **21 May 2015**
 Certifying Authority: **Brendan Bennett**
 Accreditation No: **BPB 0027**

full height glazing and gable roof (in red) for ILU's: 01, 45, 48, 59 only.
 hip roof and highlight glazing for ILU 57.

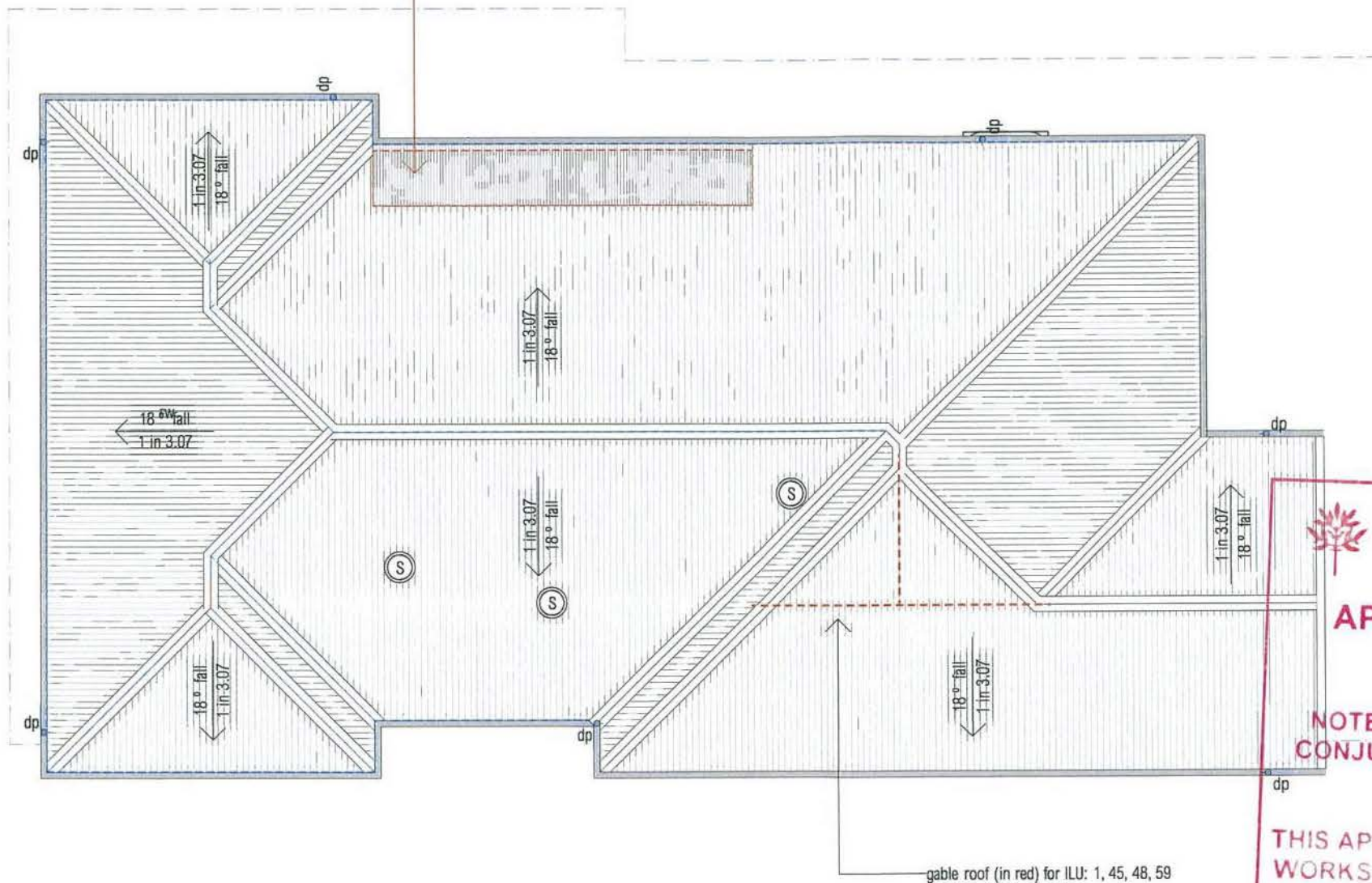
glazing for ILU's: 01, 45, 48, 59 only.
 brickwork for ILU 57 only

glazing for ILU's: 01, 45, 48, 59 only.
 brickwork for ILU 57

refer basix: min 50m2 roof water collection area to water tanks for every ILU

tinted polycarbonate roof sheet for solar access to pos and living spaces.

lined polycarbonate roof sheet for solar access to
pos and living spaces.




PITTWATER COUNCIL
**APPROVED DEVELOPMENT
 CONSENT PLANS**
 NOTE: THESE PLANS MUST BE READ IN
 CONJUNCTION WITH THE CONDITIONS OF
 DEVELOPMENT CONSENT.
 THIS APPROVAL DOES NOT AUTHORISE ANY
 WORKS ON THE ADJACENT ROAD RESERVE
 OR ANY COUNCIL RESERVE.

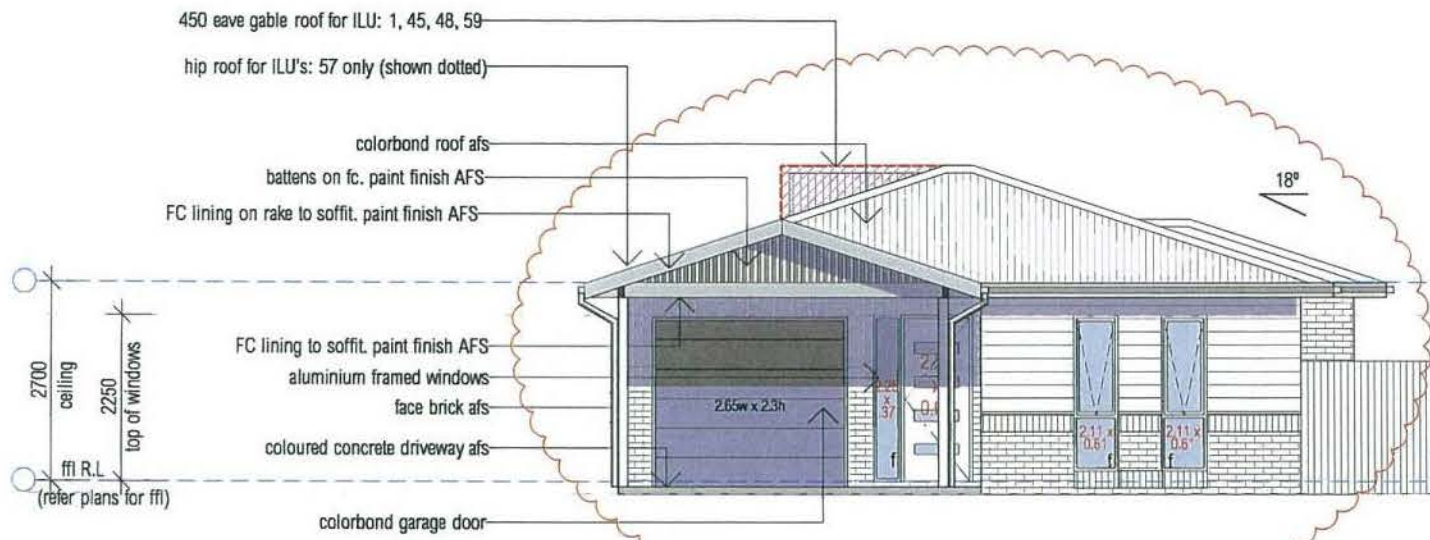
01 ROOF PLAN

CITY PLAN SERVICES
 Construction Certificate No: 142440/2
 Approved Date: 21 May 2015
 Certifying Authority: Brendan Bennett
 Accreditation No: BPB 0027

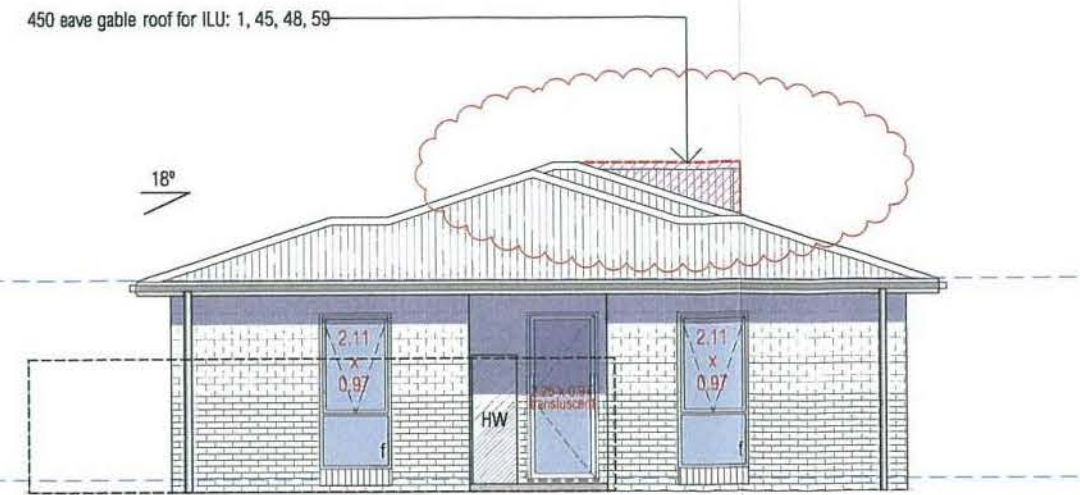
ABSA Association of Building Sustainability Assessors
Class 1 Buildings Multi-Dwelling Project Certification

Certification Number	1007229329
Certification Date	19/12/2014
Assessor Name	Robert Valades
Assessor Number	20102
Assessor Signature	<i>R Valades</i>

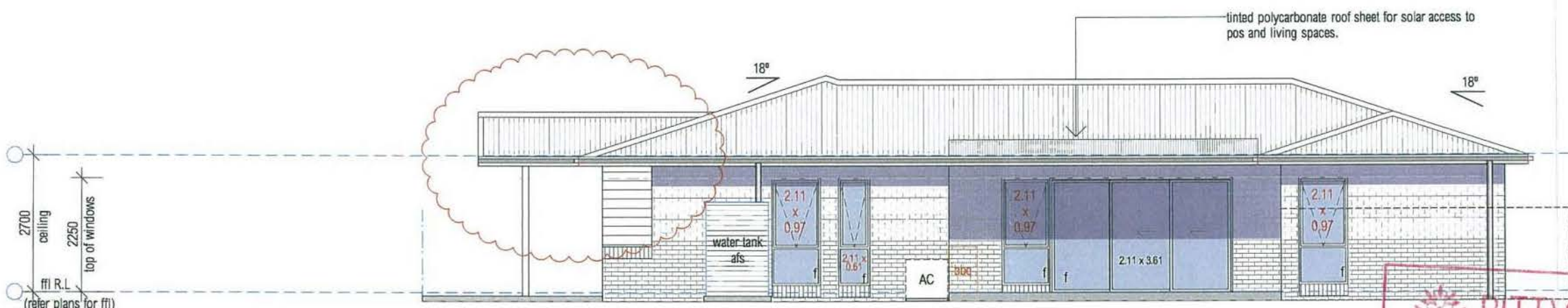
notes		
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rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type Ca.D1a amended for access garage requirements. ILU 8/9/10/11 moved 410mm west.
F	18.12.14	S96 issue
<p>NOTE: 1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211 2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921</p>		
<p>project management MORGAN MOORE ph: 02 9957 6188</p> <p>planner DON FOX PLANNING ph: 02 9980 6933</p> <p>landscape architect JOHN LOCK & ASSOCIATES ph: 02 9969 9866</p> <p>engineer (civil / hydraulic) HENRY & HYMAS ph: 02 9417 8400</p> <p>environa studio 9/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>		
<p>project ARV AT WARRIEWOOD BROOK</p>		
<p>for/client </p>		
<p>location MACPHERSON STREET</p>		
<p>at WARRIEWOOD BROOK</p>		
<p>drawing ROOF PLAN - TYPE D1</p>		
stage	project no.	dwg no.
CC	731	D1 102
chkd	drwn	data
TW	CK	18/12/14
		issue
		F



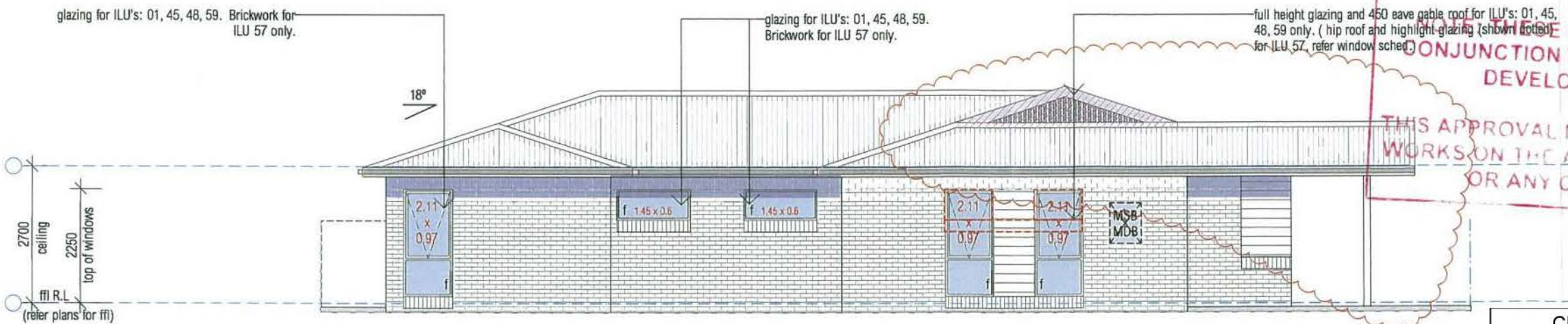
• STREET ELEVATION
 • 1:100 @ A3



• REAR ELEVATION
 • 1:100 @ A3



• COURTYARD ELEVATION
 • 1:100 @ A3

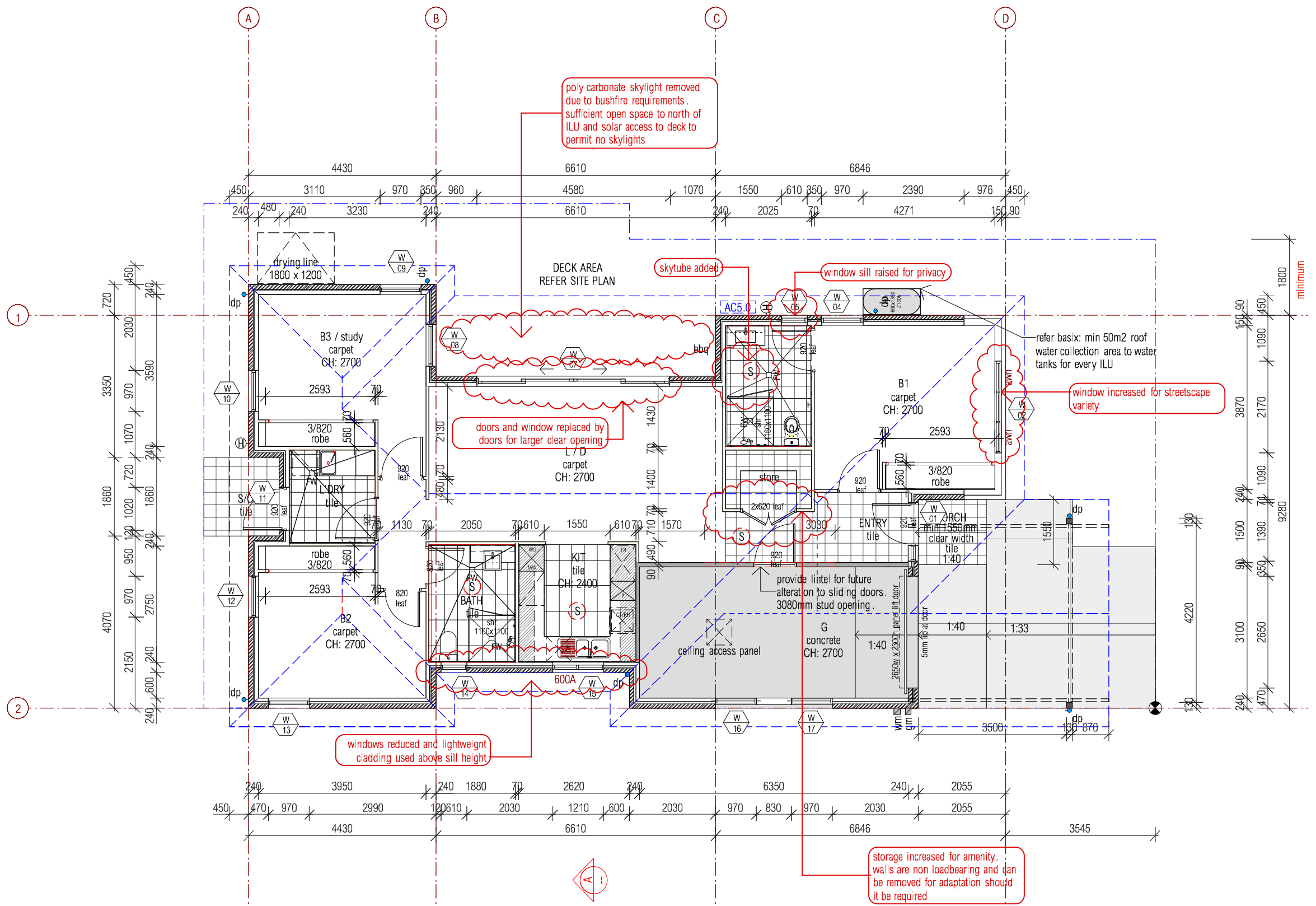


• SIDE ELEVATION
 • 1:100 @ A3

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
 THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.
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CITY PLAN SERVICES
 Construction Certificate No: 142440/2
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A	04.07.14	DRAFT CC / tender issue
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E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type Ca.D1a amended for access. garage requirements. ILU 8/9/10/11 moved 410mm west.
F	15.01.15	S96: elevations requested by council
NOTE: 1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211 2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921		
project management MORGAN MOORE ph: 02 9957 6188		
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environa studio 19/151 rovaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1356 e: info@environastudio.com.au architects registration : 6239		
project ARV AT WARRIEWOOD BROOK		
client 		
location MACPHERSON STREET at WARRIEWOOD BROOK		
drawing ELEVATIONS - TYPE D1		
stage	project no.	dwg no.
S96	731	D1 103
chkd	drwn	date
TW	CK	19/12/14
		issue
		F



poly carbonate skylight removed due to bushfire requirements. sufficient open space to north of ILU and solar access to deck to permit no skylights

skylight added

window sill raised for privacy

doors and window replaced by doors for larger clear opening

window increased for streetscape variety

windows reduced and lightweight cladding used above sill height

storage increased for amenity. walls are non loadbearing and can be removed for adaptation should it be required

refer basix: min 50m2 roof water collection area to water tanks for every ILU

minimum 1800

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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architects registration : 6239

project
ARV AT WARRIEWOOD BROOK



location
MACPHERSON STREET

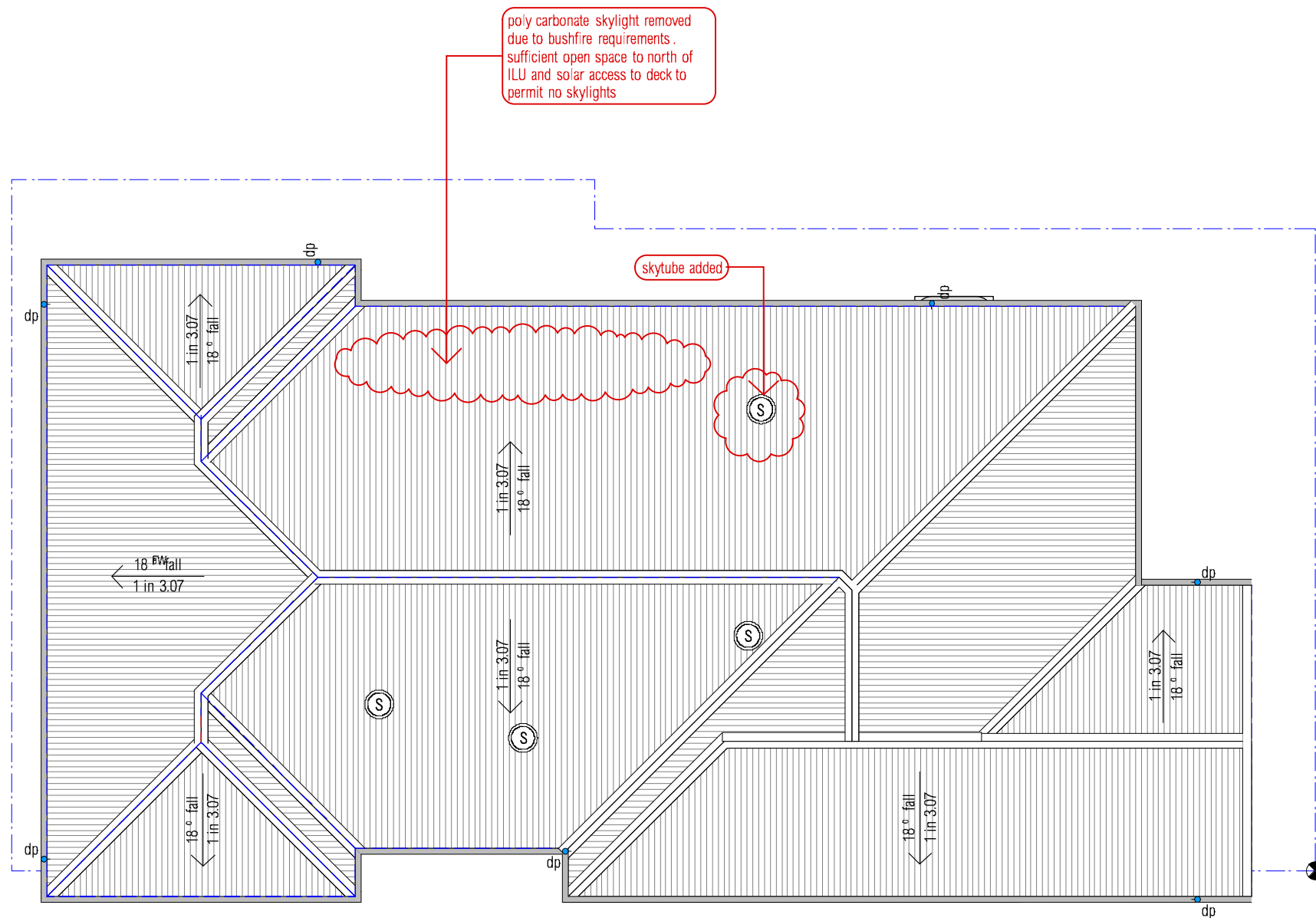
at
WARRIEWOOD BROOK

drawing
PLAN: ILU TYPE D1 - w

stage	project no.	dwg no.	
CC / S96	731	D1w101	
chkd	dwn	date	issue
TW	CK	29/03/16	A

NOTES:
• TYPE D1-w FOR ILU #: 1
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S


ILU - TYPE D1 - w	
3 bed, 2 bath	
site area	
house area gfa (ext)	121.7 sqm
house area nfa (int)	109.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	169.3 sqm



poly carbonate skylight removed due to bushfire requirements . sufficient open space to north of ILU and solar access to deck to permit no skylights

skytube added

01 ROOF PLAN

<p>notes</p> <p>all work to be carried out in accordance with bca, saa codes and conditions of council . measurements in mm's unless noted . use figured dimensions . do not scale drawings . site measure before starting work . refer all discrepancies to the architect .</p>			
rev	date	amendment	
A	29.03.16	S96 ISSUE	
<p>NOTE:</p> <p>1. FOR ALL BASIX/SECTION J REQUIREMENTS , REFER TO SCHEDULE - SHEETS 210, 211</p> <p>2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920</p> <p>3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921</p>			
<p>project management</p> <p>MORGAN MOORE ph: 02 9957 6188</p>			
<p>planner</p> <p>DON FOX PLANNING ph: 02 9980 6933</p>			
<p>landscape architect</p> <p>JOHN LOCK & ASSOCIATES ph: 02 9969 9866</p>			
<p>engineer (civil / hydraulic)</p> <p>HENRY & HYMAS ph: 02 9417 8400</p>			
<p>environa studio</p> <p>19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>			
<p>project</p> <p>ARV AT WARRIEWOOD BROOK</p>			
<p>for/client</p> 			
<p>location</p> <p>MACPHERSON STREET</p>			
<p>at</p> <p>WARRIEWOOD BROOK</p>			
<p>drawing</p> <p>ROOF PLAN - TYPE D1 - w</p>			
stage	project no.	dwg no.	
CC / S96	731	D1w102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIEWOOD BROOK

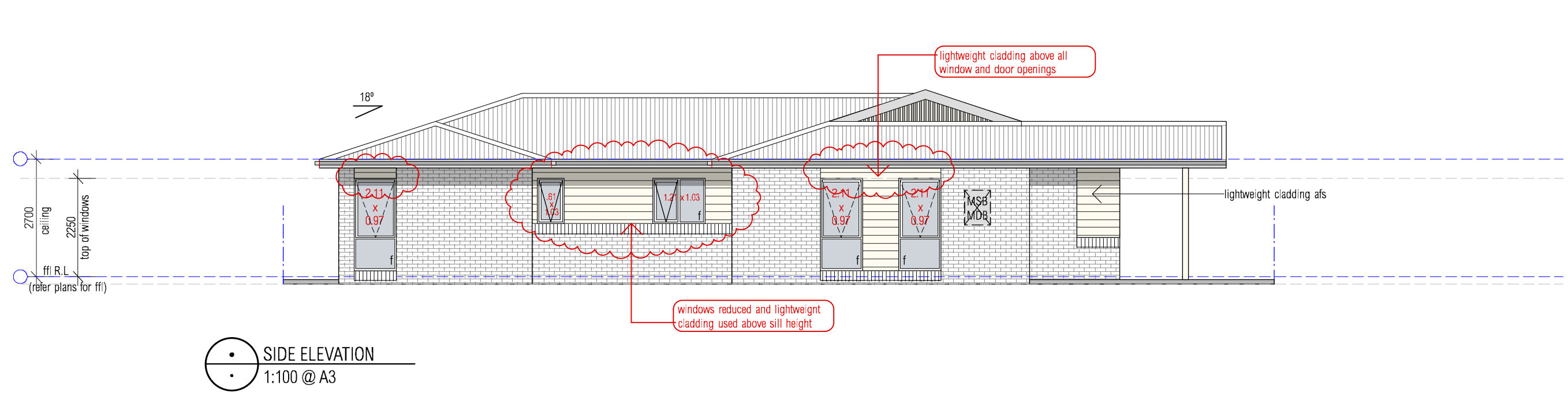
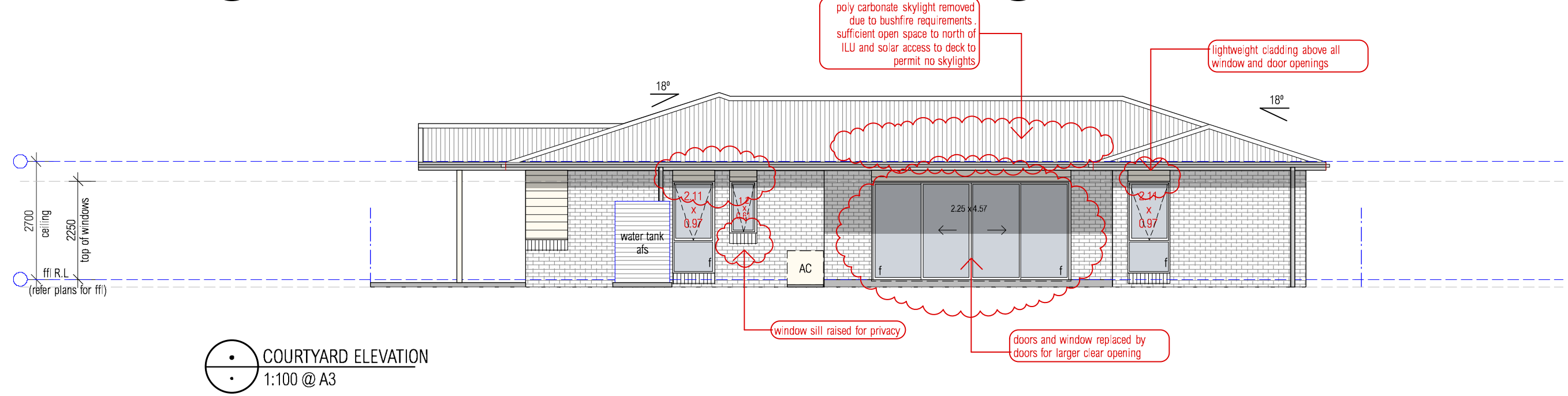
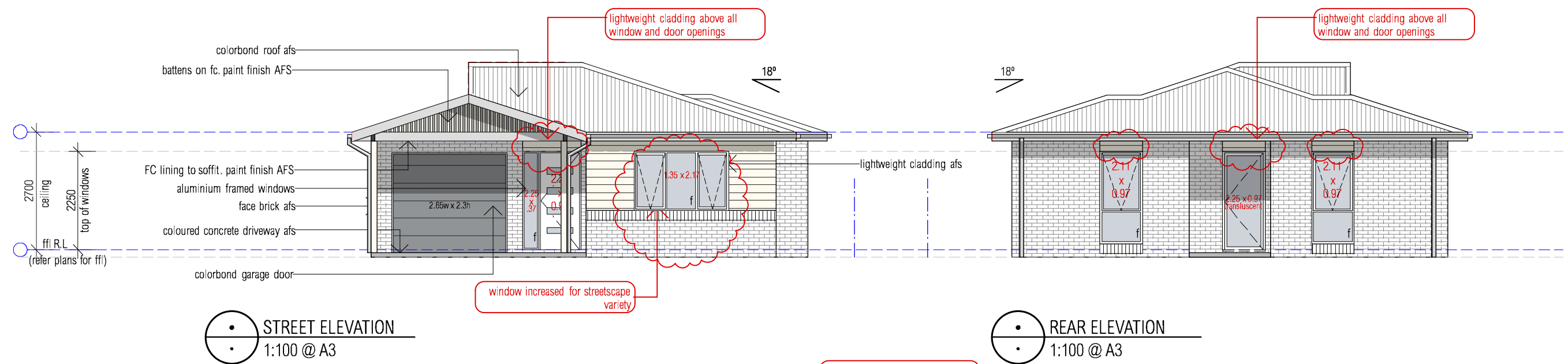


location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
ELEVATIONS - TYPE D1 - w

stage CC / S96	project no. 731	dwg no. D1w103
chkd TW	drwn CK	date 29/03/16
		issue A



CITY PLAN SERVICES

Construction Certificate No:

Approved Date:

142440/1

25 Mar 2015

Certifying Authority:

Brendan Bennett

Accreditation No:

BPB 0027

rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILLU type Ca.D1a amended for access garage requirements. ILLU B/G/10/11 moved 110mm west.
F	18.12.14	SG6 issue
G	09.03.15	clarification: 4.8m by 3m clear space in garage for accessibility shown

NOTE:
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project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

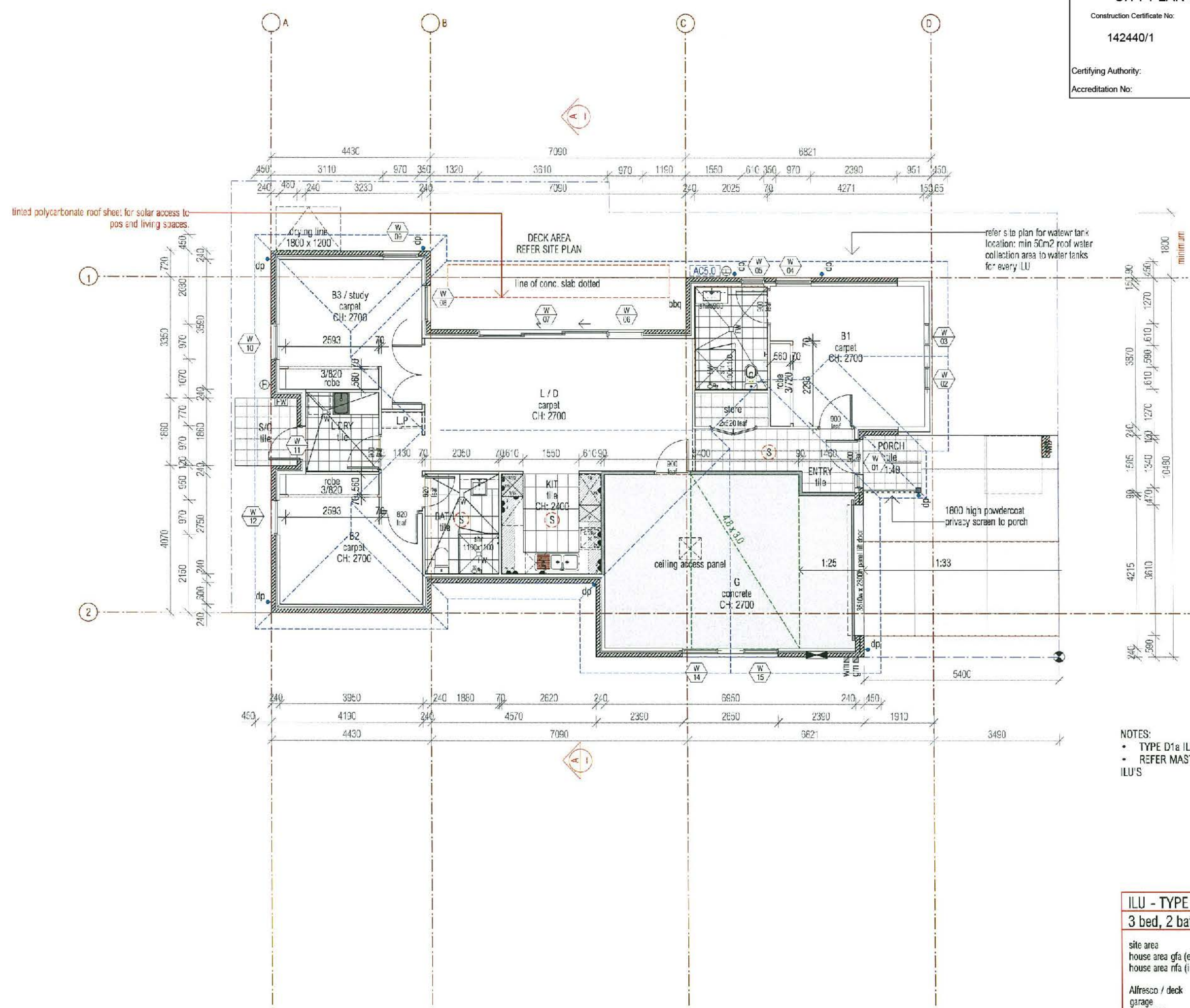
at
WARRIWOOD BROOK

drawing
PLAN: ILLU TYPE D1 a - accessible

stage	project no.	dwg no.	
SG6	731	D1a101	
chkd	own	date	issue
TW	CK	09/03/15	G

NOTES:
 • TYPE D1a ILLU # 2. 3. 11
 • REFER MASTERPLAN FOR FFL RL'S OF ILLU'S

ILLU - TYPE D1 a (accessible)	
3 bed, 2 bath	
site area	
house area gfa (ext)	121.3 sqm
house area rfa (int)	109.1 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	36.1 sqm
GFA + Alf	182.4 sqm



refer site plan for water tank location: min 50m² roof water collection area to water tanks for every ILLU

1800 high powdercoat privacy screen to porch

NOTES:
 • TYPE D1a ILLU # 2. 3. 11
 • REFER MASTERPLAN FOR FFL RL'S OF ILLU'S

ILLU - TYPE D1 a (accessible)	
3 bed, 2 bath	
site area	
house area gfa (ext)	121.3 sqm
house area rfa (int)	109.1 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	36.1 sqm
GFA + Alf	182.4 sqm

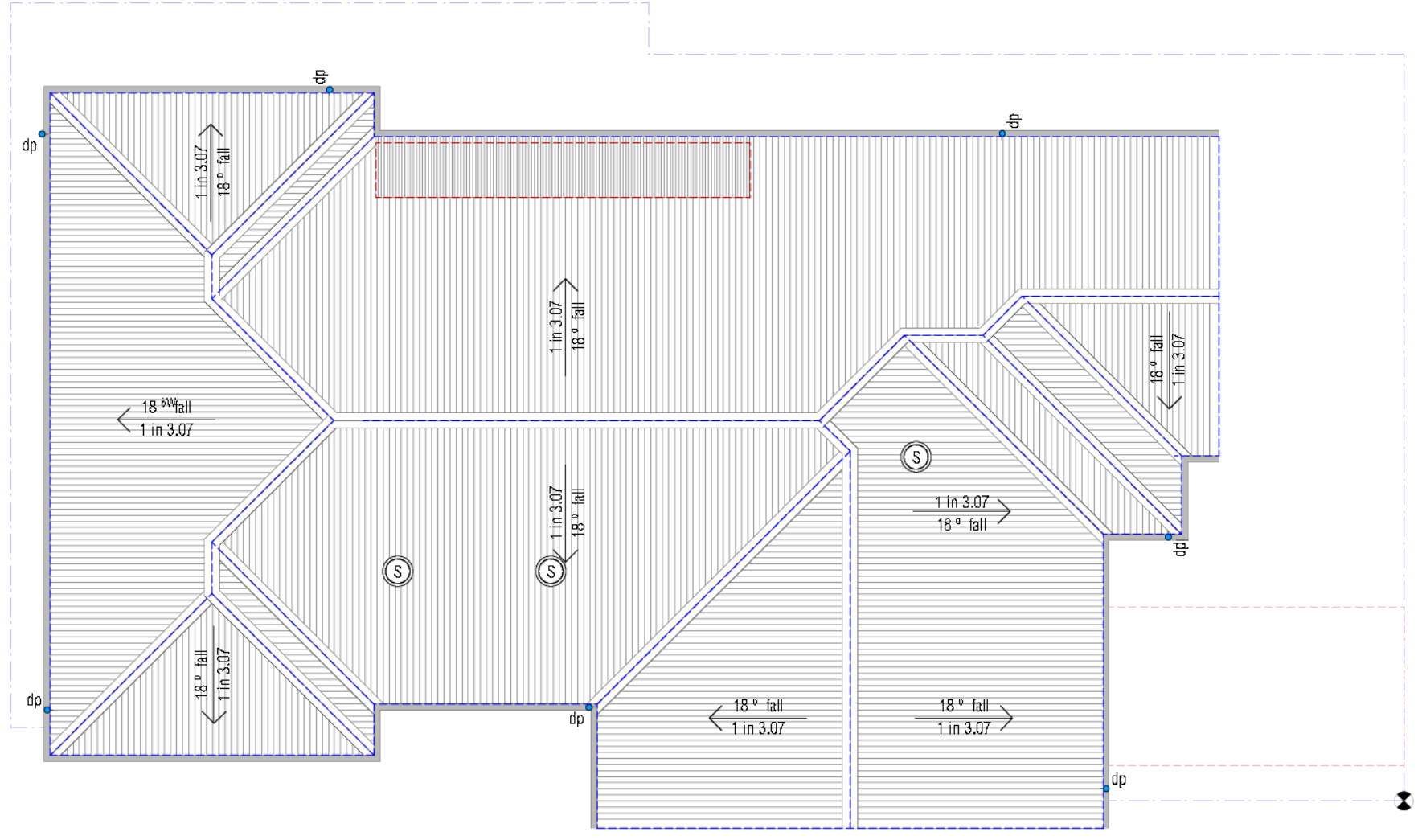
CITY PLAN SERVICES

Construction Certificate No: **142440/1** Approved Date: **25 Mar 2015**

Certifying Authority: **Brendan Bennett**

Accreditation No: **BPB 0027**

rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	29.10.14	AMENDED ISSUE FOR CERTIFIER: ILU type Ca.D1a amended for access, garage requirements. ILU 8/9/10/11 moved 410mm west.



NOTE:

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architects registration : 6239

project
ARV AT WARRIEWOOD BROOK



location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
ROOF PLAN

stage	project no.	dwg no.	
CC	731	D1a102	
chkd	drwn	date	issue
TW	CK	29/10/14	E

01 ROOF PLAN

notes
 all work to be carried out in accordance with bca, ssa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.

rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
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D	23.10.14	ISSUE FOR CERTIFIER
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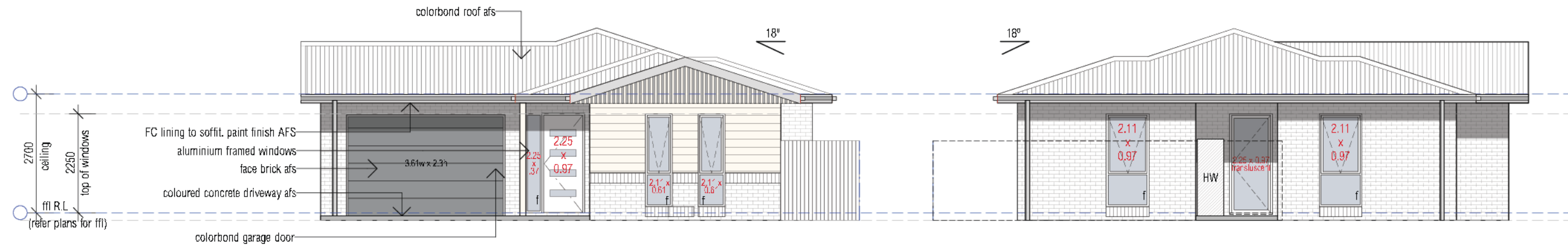
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CITY PLAN SERVICES

Construction Certificate No: **142440/1** Approved Date: **25 Mar 2015**

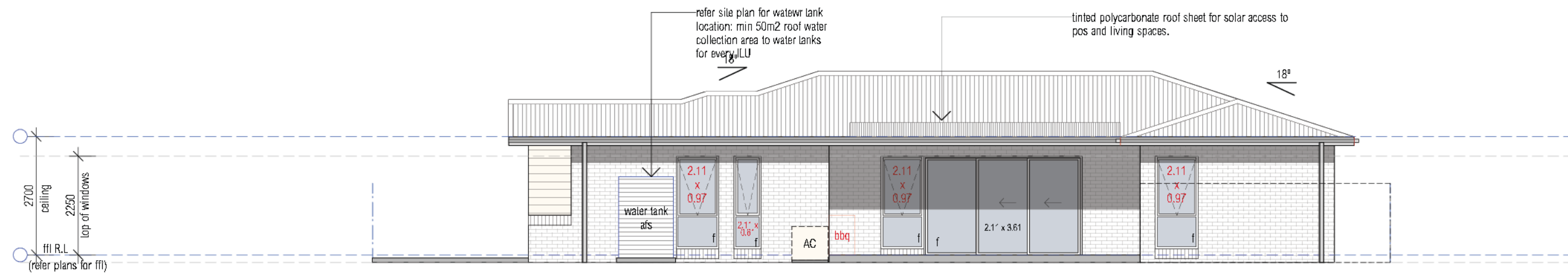
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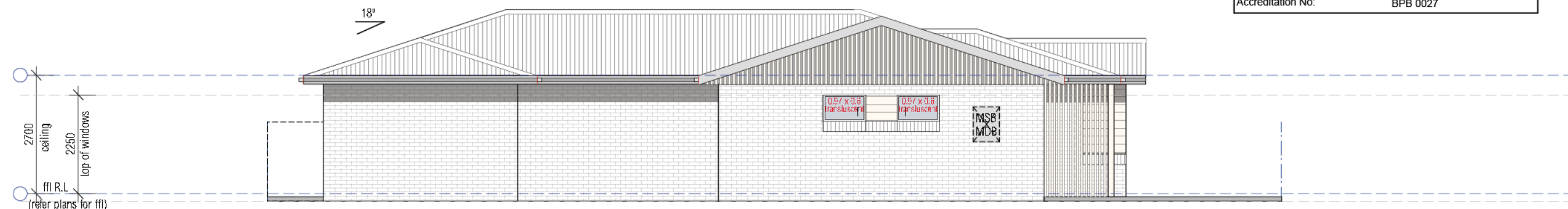


• **STREET ELEVATION**
 • 1:100 @ A3

• **REAR ELEVATION**
 • 1:100 @ A3



• **COURTYARD ELEVATION**
 • 1:100 @ A3



• **SIDE ELEVATION**
 • 1:100 @ A3

project
ARV AT WARRIEWOOD BROOK

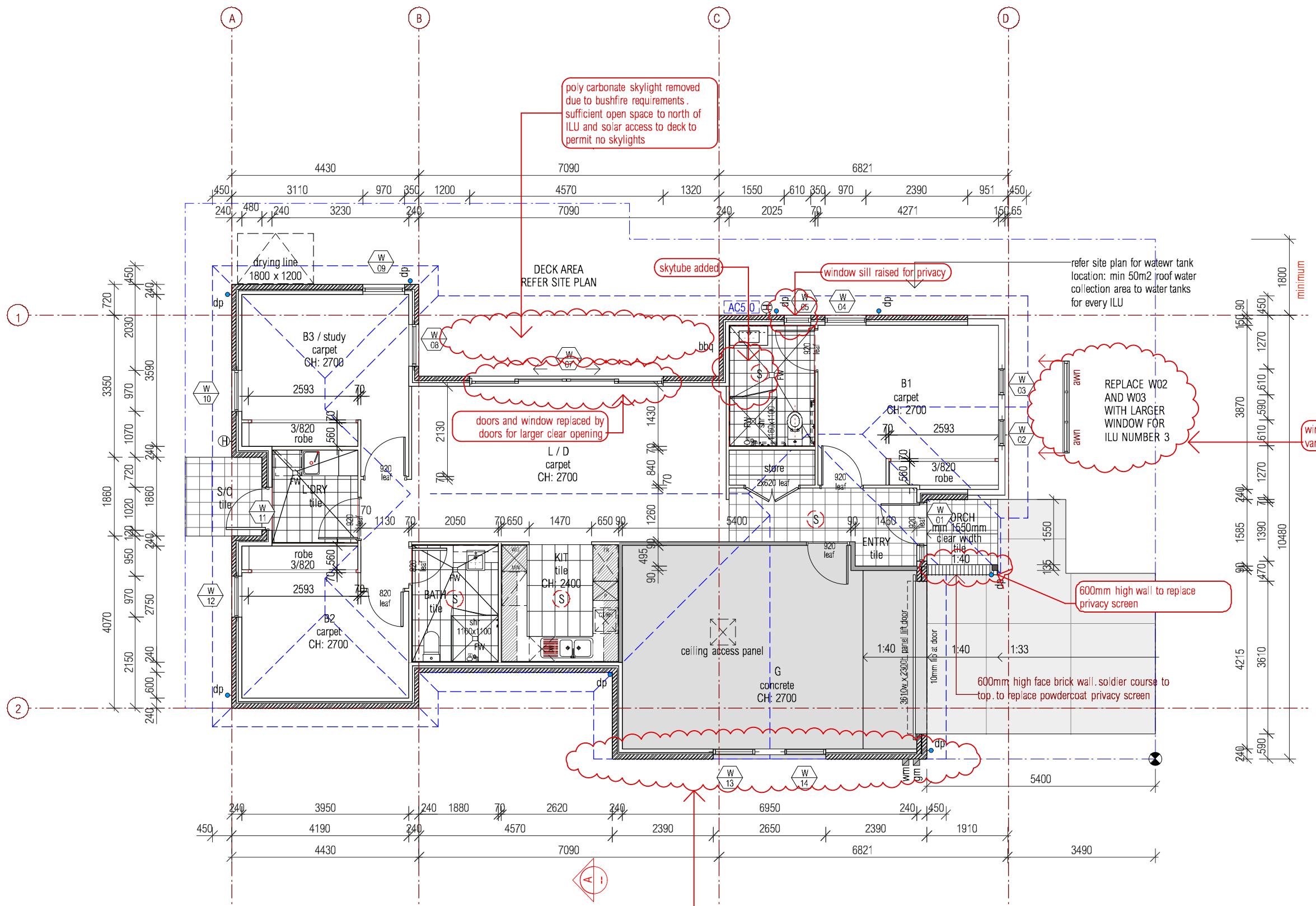


location
MACPHERSON STREET

at
WARRIEWOOD BROOK

drawing
ELEVATIONS - ILU TYPE D1a

stage	project no.	dwg no.	
CC	731	D1a103	
chkd	drwn	date	issue
TW	CK	29/10/14	E



poly carbonate skylight removed due to bushfire requirements . sufficient open space to north of ILU and solar access to deck to permit no skylights

doors and window replaced by doors for larger clear opening

skytube added

window sill raised for privacy

600mm high wall to replace privacy screen

600mm high face brick wall, soldier course to top to replace powdercoat privacy screen

window increased for streetscape variety . ILU number 3

eave reduced

refer site plan for water tank location: min 50m2 roof water collection area to water tanks for every ILU

REPLACE W02 AND W03 WITH LARGER WINDOW FOR ILU NUMBER 3

minimum 1800

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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architects registration : 6239

project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

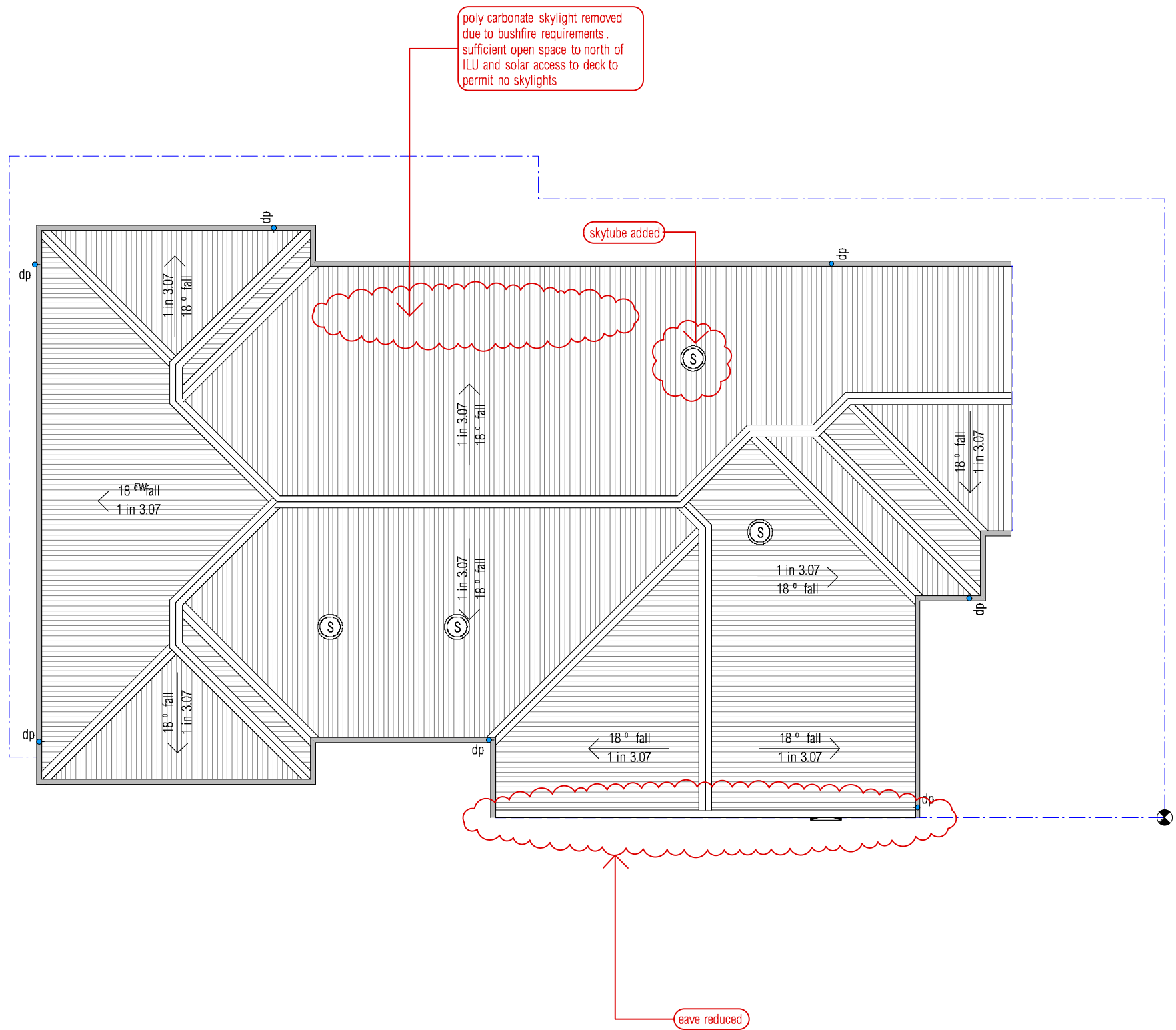
at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE D1 a - accessible

stage	project no.	dwg no.	
CC / S96	731	D1a101	
chkd	dwn	date	issue
TW	CK	29/03/16	A

NOTES:
• TYPE D1a ILU #. 2. 3.
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE D1 a (accessible)	
3 bed, 2 bath	
site area	
house area gfa (ext)	121.3 sqm
house area nfa (int)	109.1 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	36.1 sqm
GFA + Alf	182.4 sqm



01 ROOF PLAN

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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ARV AT WARRIEWOOD BROOK



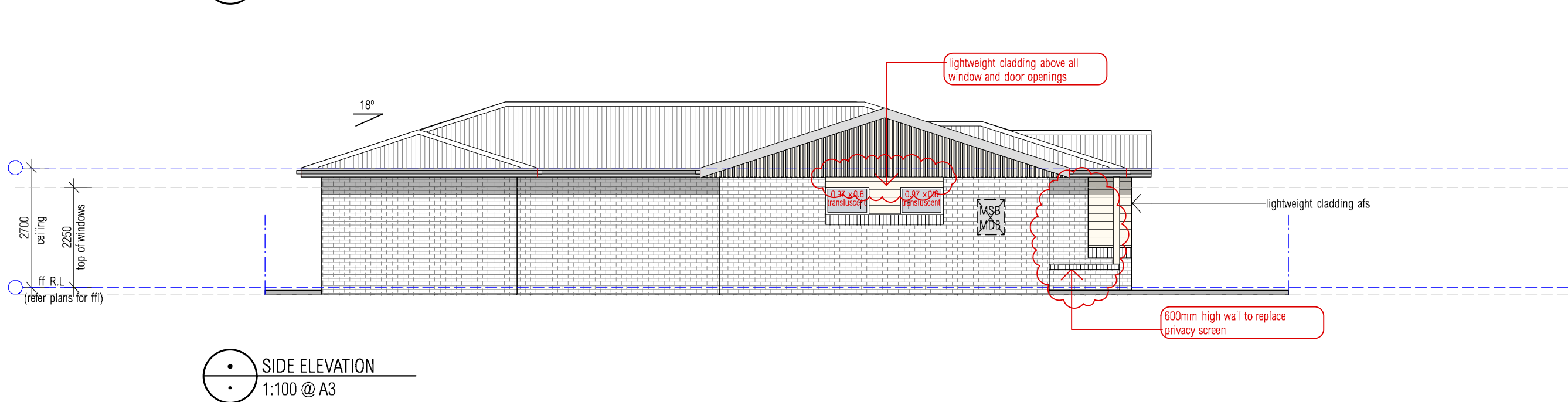
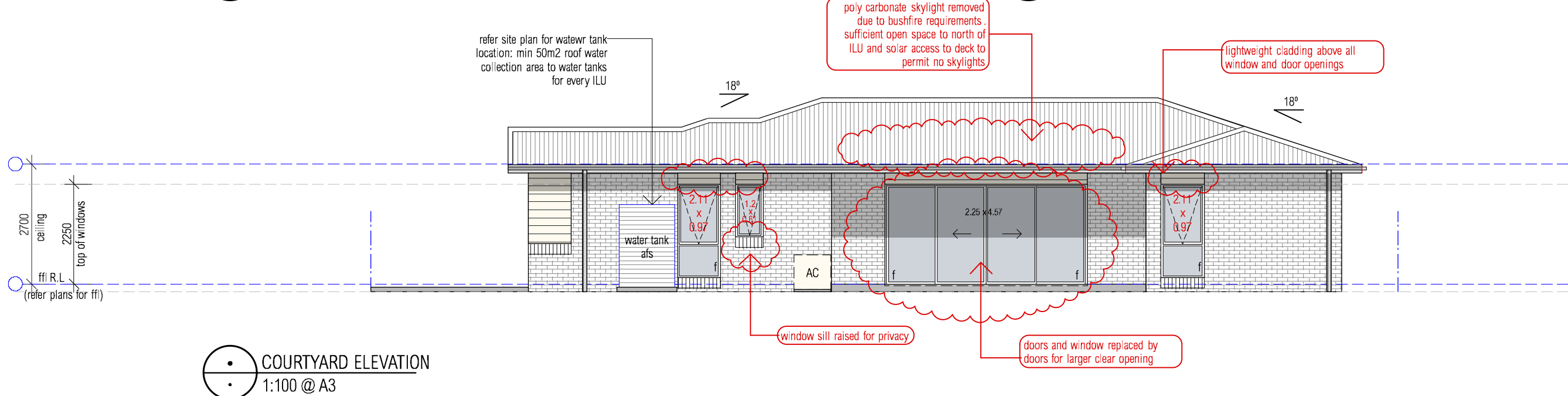
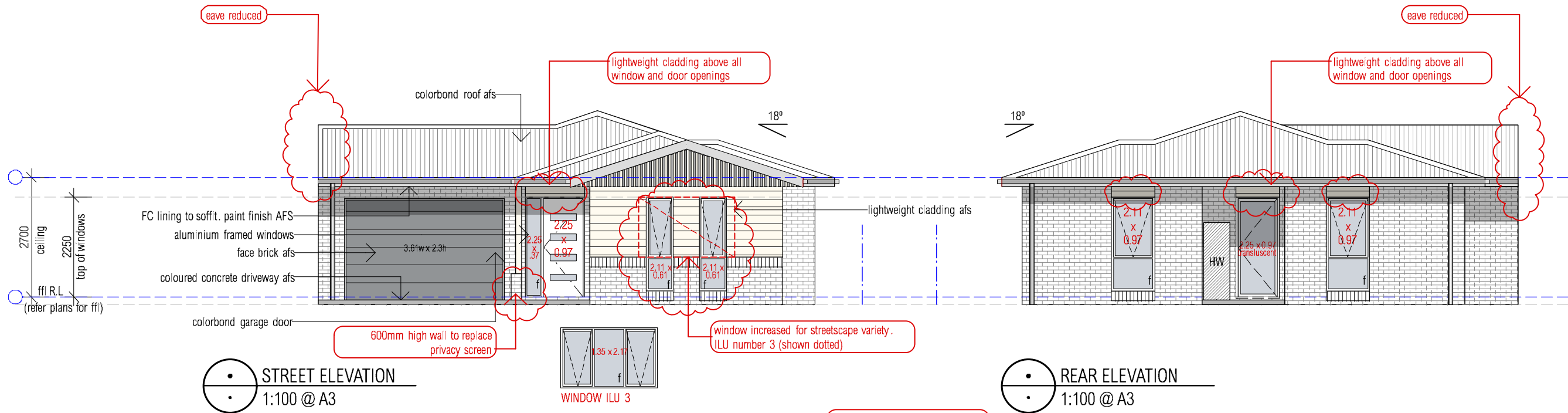
location
MACPHERSON STREET

at
WARRIEWOOD BROOK

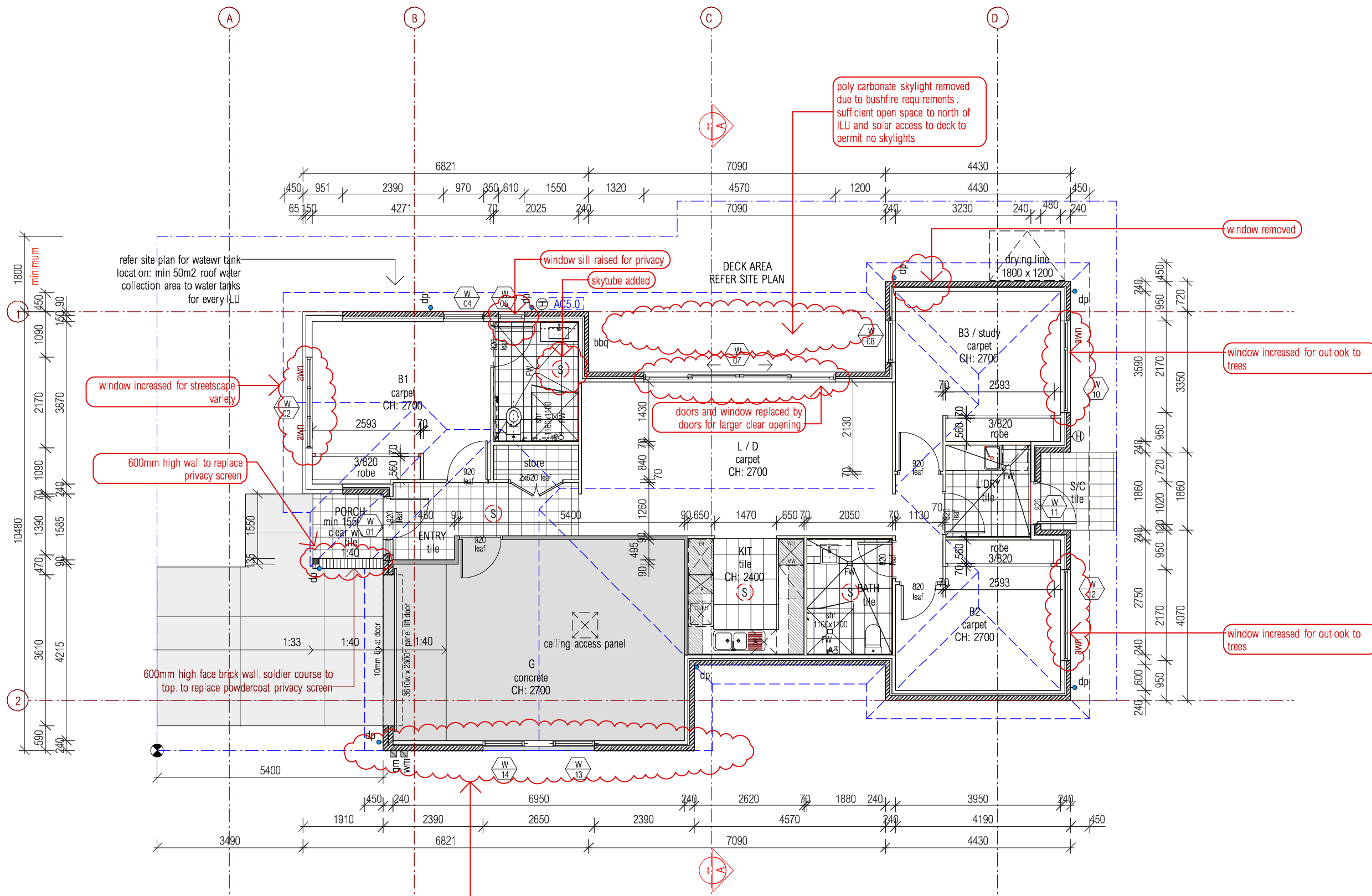
drawing
ROOF PLAN

stage	project no.	dwg no.
CC / S96	731	D1a102

chkd	dwn	date	issue
TW	CK	29/03/16	A



notes		
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<p>project ARV AT WARRIWOOD BROOK</p>		
<p>for/client </p>		
<p>location MACPHERSON STREET</p>		
<p>at WARRIWOOD BROOK</p>		
<p>drawing ELEVATIONS - ILU TYPE D1a</p>		
stage	project no.	dwg no.
CC / S96	731	D1a103
chkd	dwgn	date
TW	CK	29/03/16
		issue
		A



poly carbonate skylight removed due to bushfire requirements. sufficient open space to north of ILU and solar access to deck to permit no skylights

window removed

window increased for streetscape variety

600mm high wall to replace privacy screen

window sill raised for privacy
skylight added

doors and window replaced by doors for larger clear opening

window increased for outlook to trees

window increased for outlook to trees


600mm high face brick wall. soldier course to top. to replace powdercoat privacy screen

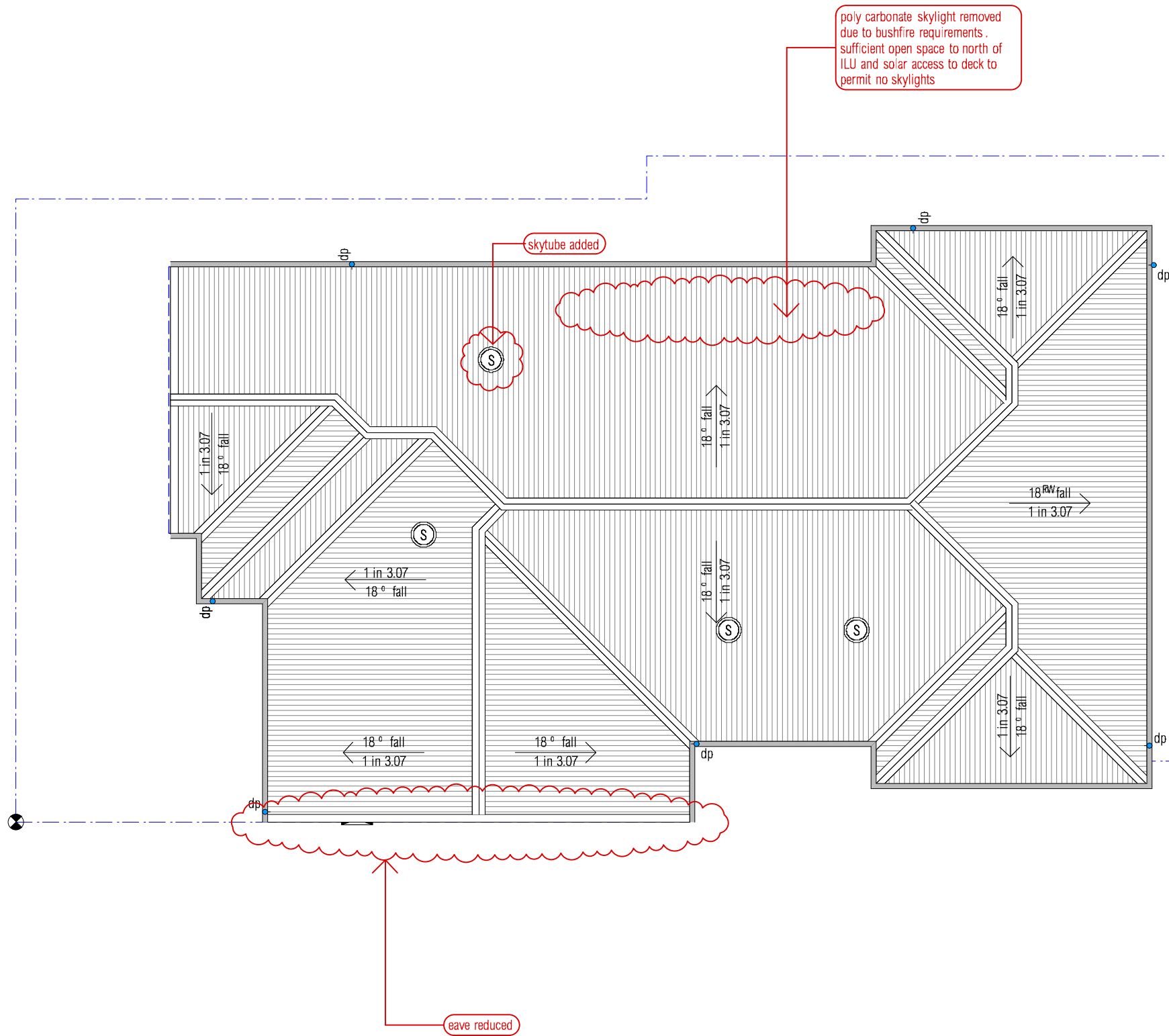
eave reduced

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

REFER STAMPED CC ILU TYPE D1a
 NOTES:
 • TYPE D1a-FT FOR ILU #: 11
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU-TYPE D1a(accessible) FT	
3 bed, 2 bath	
site area	
house area gfa (ext)	121.3 sqm
house area nfa (int)	109.1 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	36.1 sqm
GFA + Alf	182.4 sqm

notes		
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<p>project ARV AT WARRIWOOD BROOK</p>		
<p>for/client </p>		
<p>location MACPHERSON STREET</p>		
<p>at WARRIWOOD BROOK</p>		
<p>drawing PLAN: ILU TYPE D1 a - accessible FT</p>		
stage	project no.	dwg no.
CC / S96	731	D1a-ft101
chkd	dwn	date
TW	CK	29/03/16
		issue
		A



01 ROOF PLAN

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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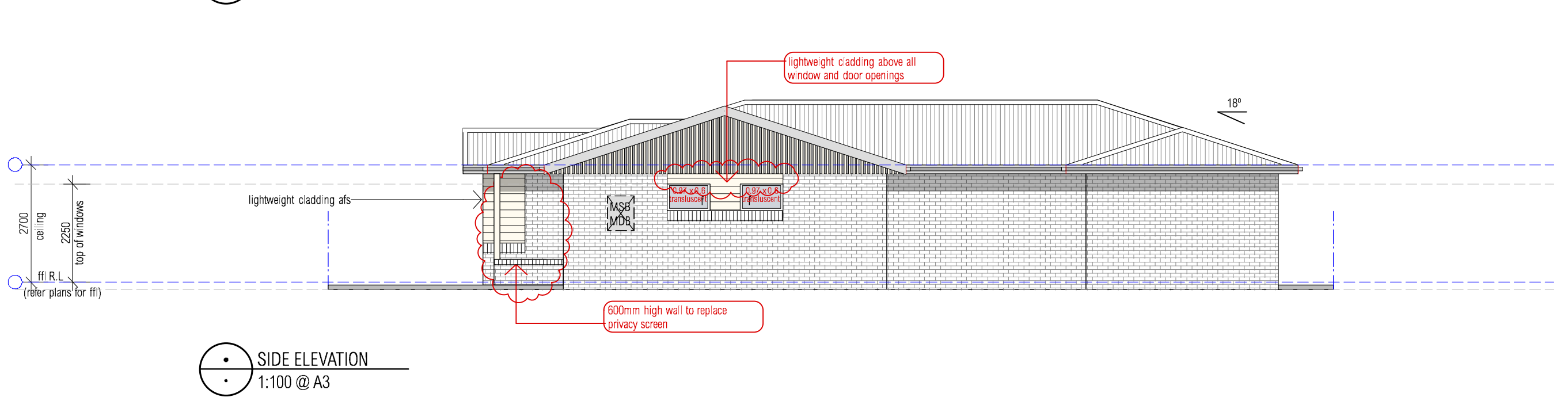
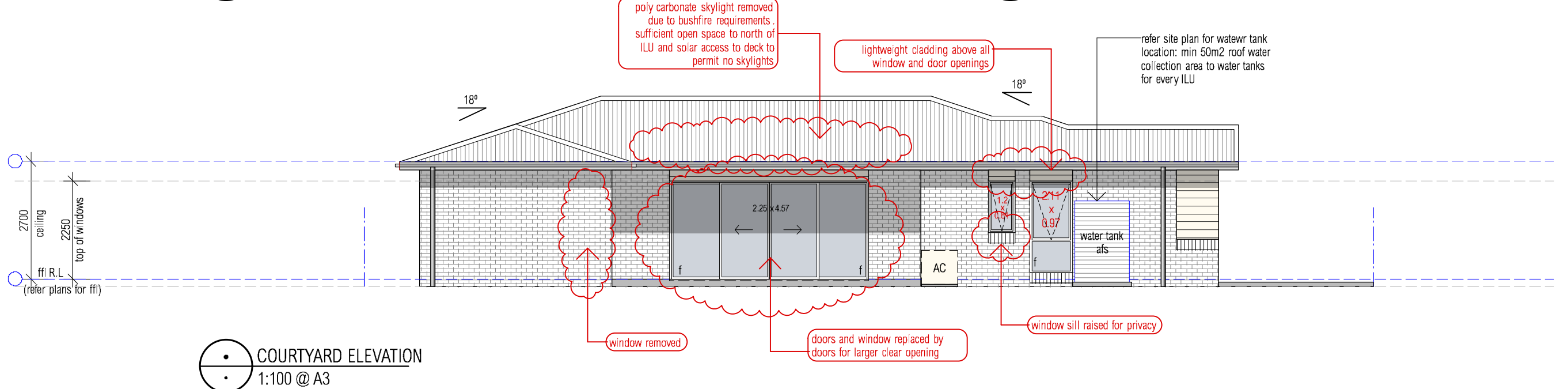
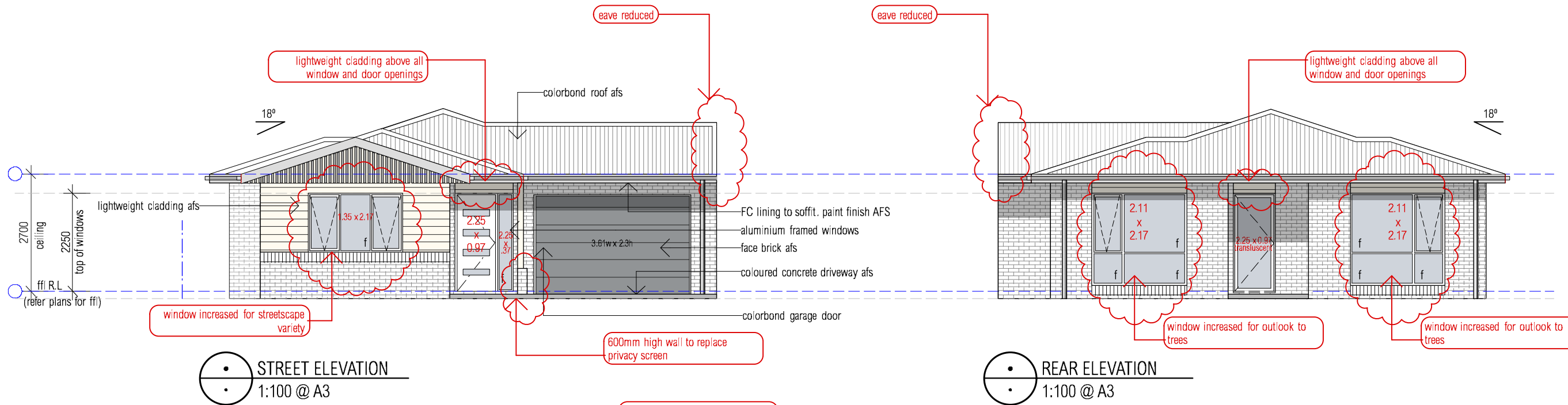



location
MACPHERSON STREET

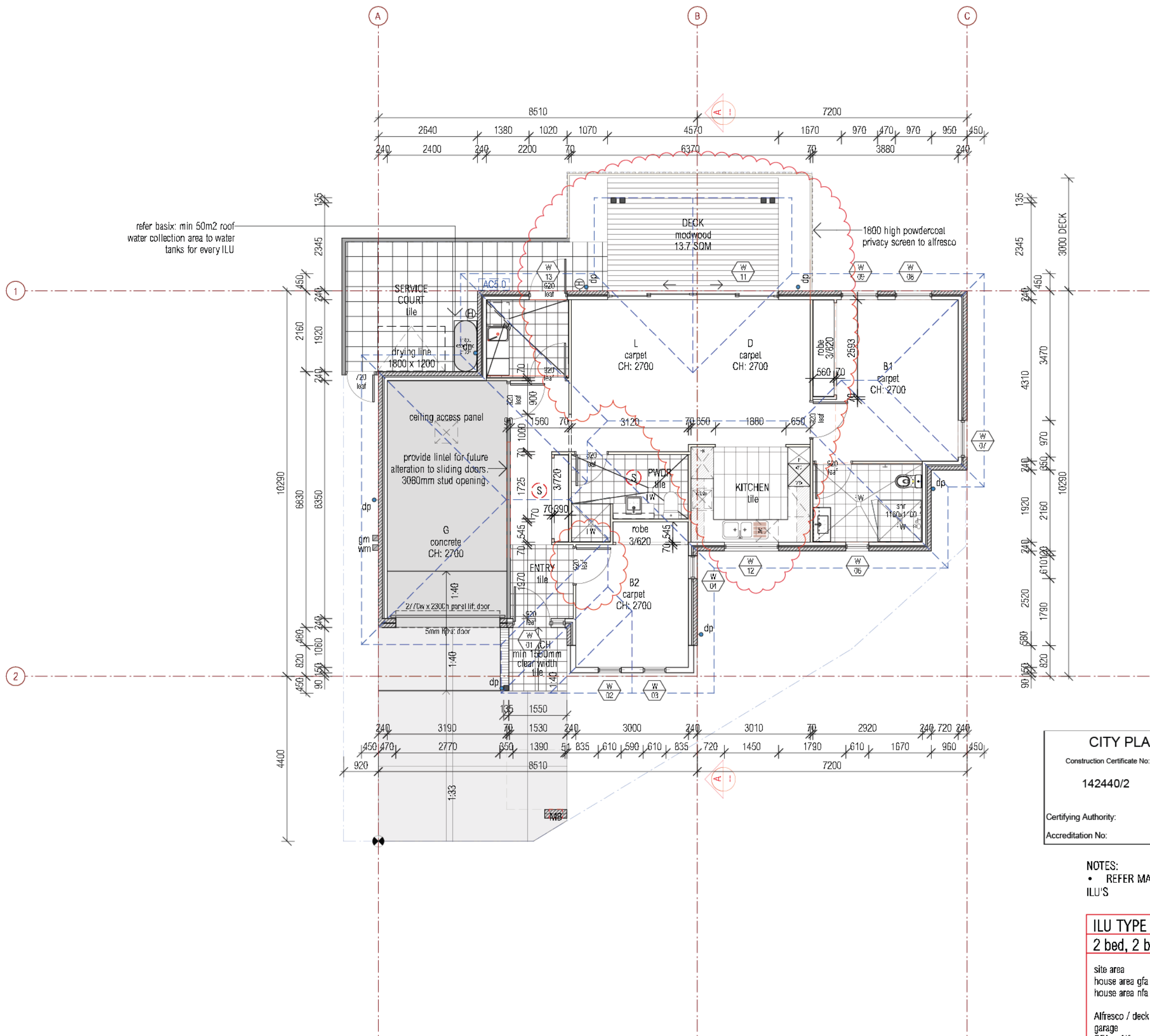
at
WARRIWOOD BROOK

drawing
ROOF PLAN: ILU TYPE D1a-FT

stage	project no.	dwg no.	
CC / S96	731	D1a-ft102	
chkd	drwn	date	issue
TW	CK	29/03/16	A



notes		
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<p>for/client </p>		
<p>location MACPHERSON STREET</p>		
<p>at WARRIWOOD BROOK</p>		
<p>drawing ELEVATIONS - ILU TYPE D1a-FT</p>		
stage	project no.	dwg no.
CC / S96	731	D1a-ft103
chkd	drwn	date
TW	CK	29/03/16
		issue
		A



refer basis: min 50m² roof water collection area to water tanks for every ILU

CITY PLAN SERVICES

Construction Certificate No: **142440/2** Approved Date: **21 May 2015**

Certifying Authority: **Brendan Bennett**

Accreditation No: **BPB 0027**

NOTES:

- REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU TYPE S2	
2 bed, 2 bath	
site area	
house area gfa (ext)	99.7 sqm
house area nfa (int)	90.5sqm
Alfresco / deck	10.7 sqm
garage	23.5sqm
GFA + Alf	133.9 sqm

rev	date	amendment
N	24.04.15	Re-documentation to capture all ILU variations in windows and roof form. reissue drawings as N for clarity. <ul style="list-style-type: none"> • lightweight cladding to replace brickwork above windows and doors • flat soffit to all carports. flat soffit to alfrescos type A/B. • ILU 30 moved 400mm east • garbage store / mailbox change • intercoms deleted
P	14.05.15	issue to include: <ul style="list-style-type: none"> changes internally to ILU's change to type S2 plan / windows change to kitchen ILU type A and B increase to alfresco deck type A / S2 Zero eave reinstated to ILU 30 electrical changes: extra tv points and gpo's to bed 2 and 3. extra tv points to living rooms extra gpo to laundry.

NOTE:

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- FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920
- FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

project management
MORGAN MOORE
ph: 02 9957 6188

planner
DON FOX PLANNING
ph: 02 9980 6933

landscape architect
JOHN LOCK & ASSOCIATES
ph: 02 9969 9866

engineer (civil / hydraulic)
HENRY & HYMAS
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surry hills 2010
t: 02 9332 1211 f: 02 9332 1355
e: info@environastudio.com.au
architects registration : 6239

project
ARV AT WARRIEWOOD BROOK

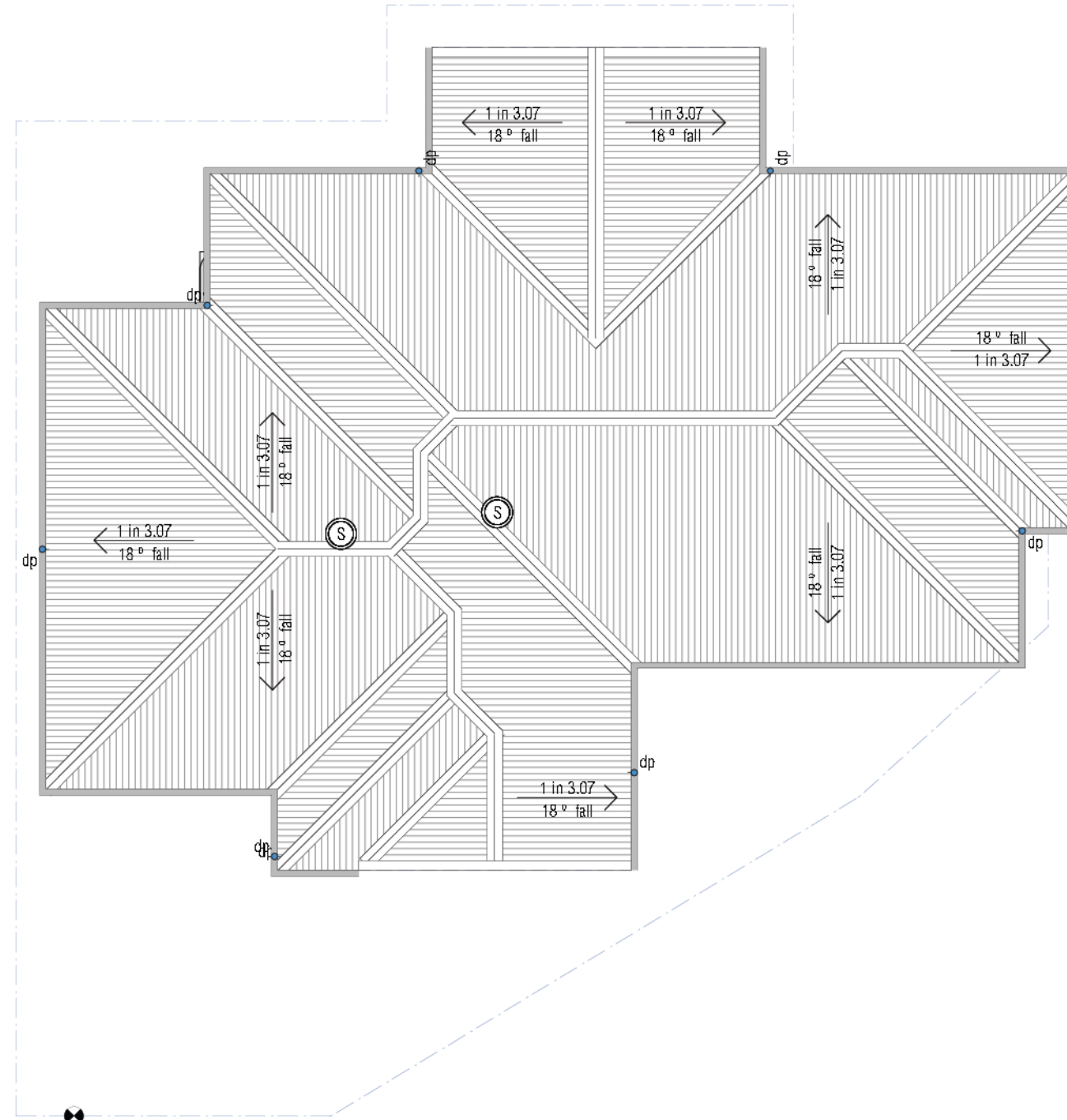


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE S2

stage	project no.	dwg no.	
CC	731	S2 101	
chkd	drwn	date	issue
TW	CK	14/05/15	P



01 ROOF PLAN

notes
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project
ARV AT WARRIEWOOD BROOK



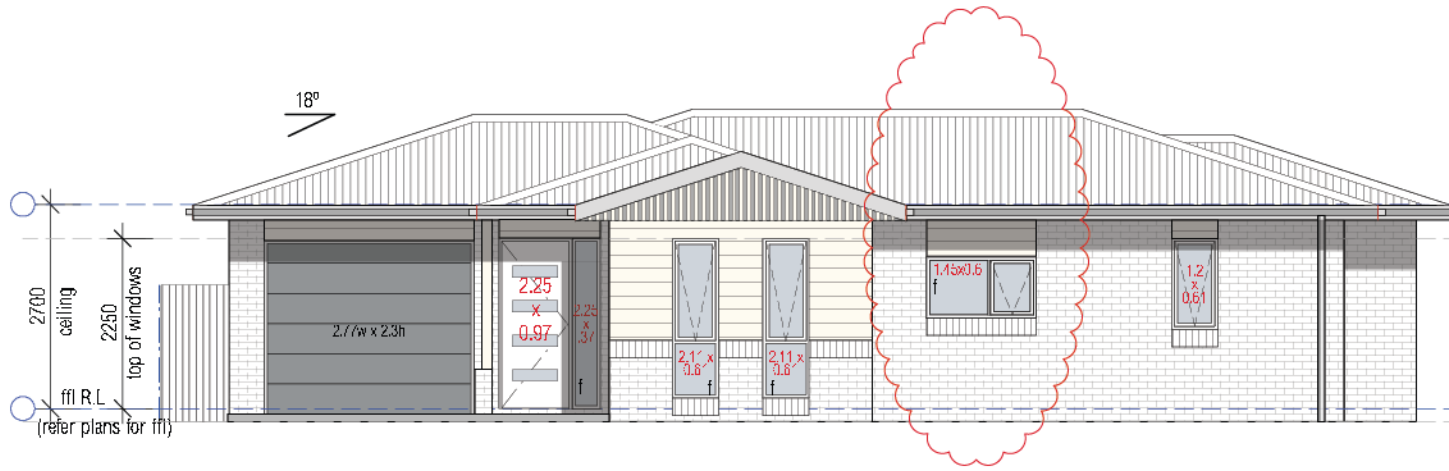
location
MACPHERSON STREET

at
WARRIEWOOD BROOK

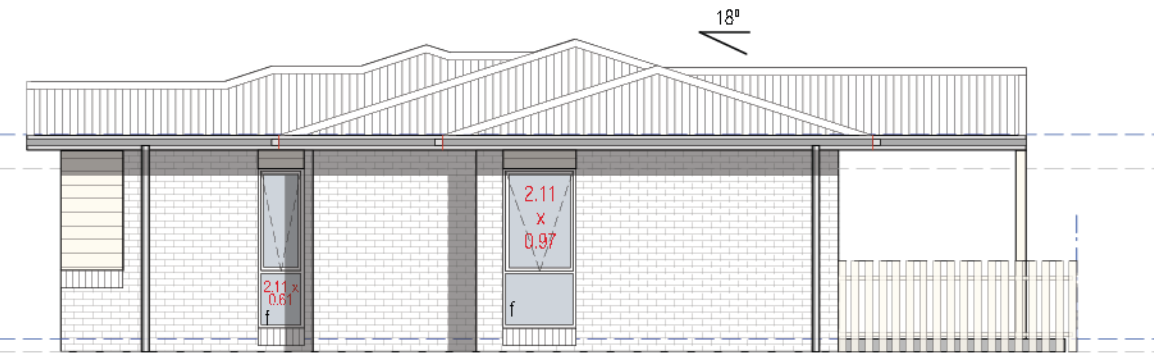
drawing
ROOF PLAN - TYPE S2

CITY PLAN SERVICES
Construction Certificate No: 142440/2 Approved Date: 21 May 2015
Certifying Authority: Brendan Bennett
Accreditation No: BPB 0027

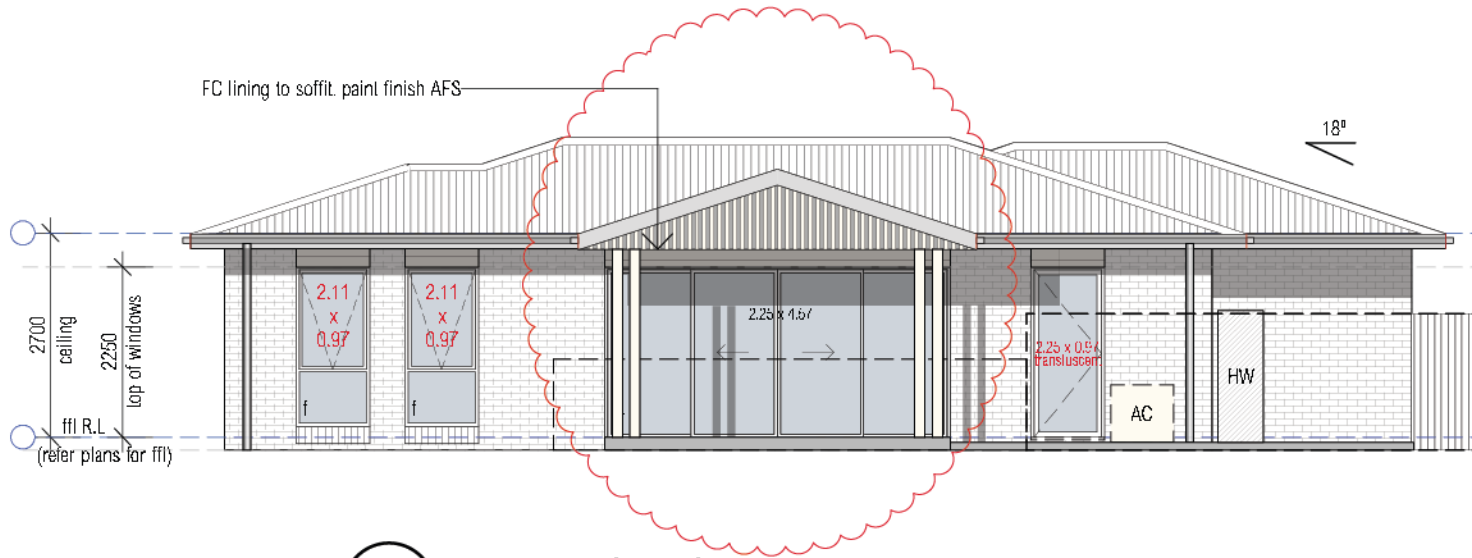
stage	project no.	dwg no.	
CC	731	S2 102	
chkd	drwn	date	issue
TW	CK	14/05/15	P



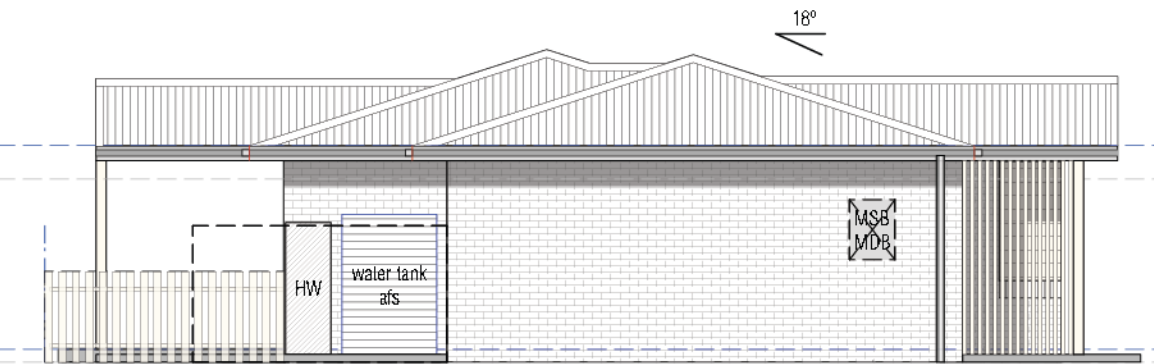
• STREET ELEVATION - SOUTH
• 1:100 @ A3



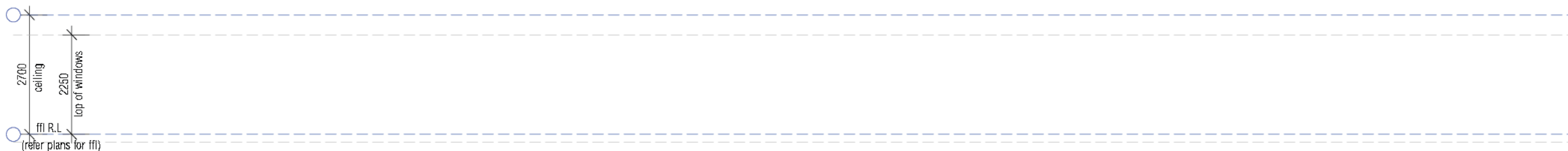
• STREET ELEVATION - EAST
• 1:100 @ A3



• REAR ELEVATION - NORTH
• 1:100 @ A3



• SIDE ELEVATION - WEST
• 1:100 @ A3



• ffl R.L.
• (refer plans for ffl)

notes

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rev	date	amendment
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CITY PLAN SERVICES

Construction Certificate No: 142440/2 Approved Date: 21 May 2015

Certifying Authority: Brendan Bennett
Accreditation No: BPB 0027

project
ARV AT WARRIWOOD BROOK

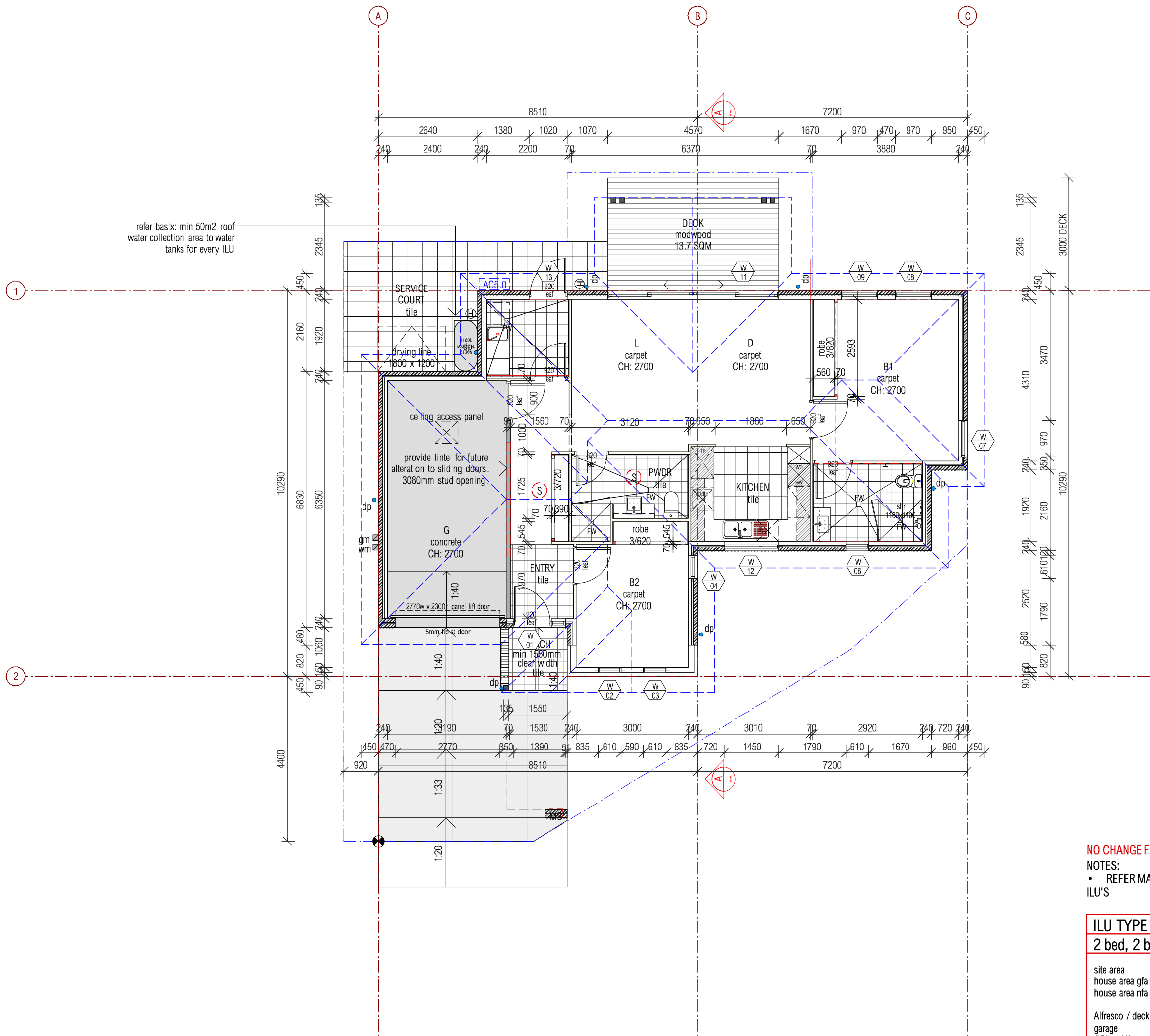


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
ELEVATIONS - TYPE S2

stage	project no.	dwg no.	
CC	731	S2 103	
chkd	drwn	date	issue
TW	CK	14/05/15	P



refer basis: min 50m2 roof water collection area to water tanks for every ILU

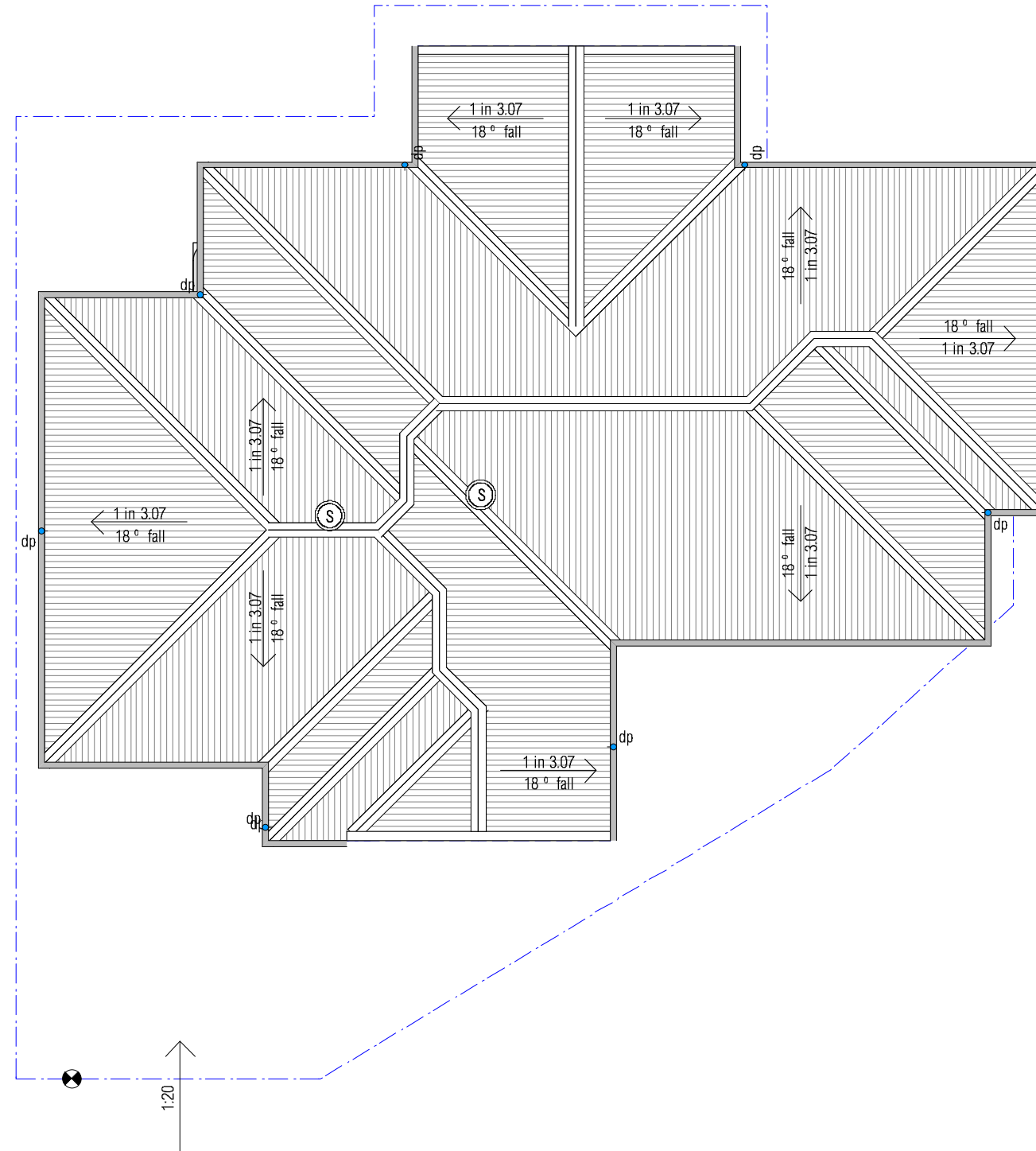
NO CHANGE FROM STAMPED CC

NOTES:
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU TYPE S2	
2 bed, 2 bath	
site area	
house area gfa (ext)	99.7 sqm
house area nfa (int)	90.5sqm
Alfresco / deck	10.7 sqm
garage	23.5sqm
GFA + Alf	133.9 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE
<p>NOTE:</p> <p>1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211</p> <p>2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920</p> <p>3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921</p>		
<p>project management</p> <p>MORGAN MOORE ph: 02 9957 6188</p>		
<p>planner</p> <p>DON FOX PLANNING ph: 02 9980 6933</p>		
<p>landscape architect</p> <p>JOHN LOCK & ASSOCIATES ph: 02 9969 9866</p>		
<p>engineer (civil / hydraulic)</p> <p>HENRY & HYMAS ph: 02 9417 8400</p>		
<p>environa studio</p> <p>19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>		
<p>project</p> <p>ARV AT WARRIWOOD BROOK</p>		
<p>for/client</p>		
<p>location</p> <p>MACPHERSON STREET</p>		
<p>at</p> <p>WARRIWOOD BROOK</p>		
<p>drawing</p> <p>PLAN: ILU TYPE S2</p>		
stage	project no.	dwg no.
CC / S96	731	S2 101
chkd	dwg	date
TW	CK	29/03/16
		issue
		A



01 ROOF PLAN
--

notes		
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 architects registration : 6239

project
ARV AT WARRIEWOOD BROOK



location
MACPHERSON STREET

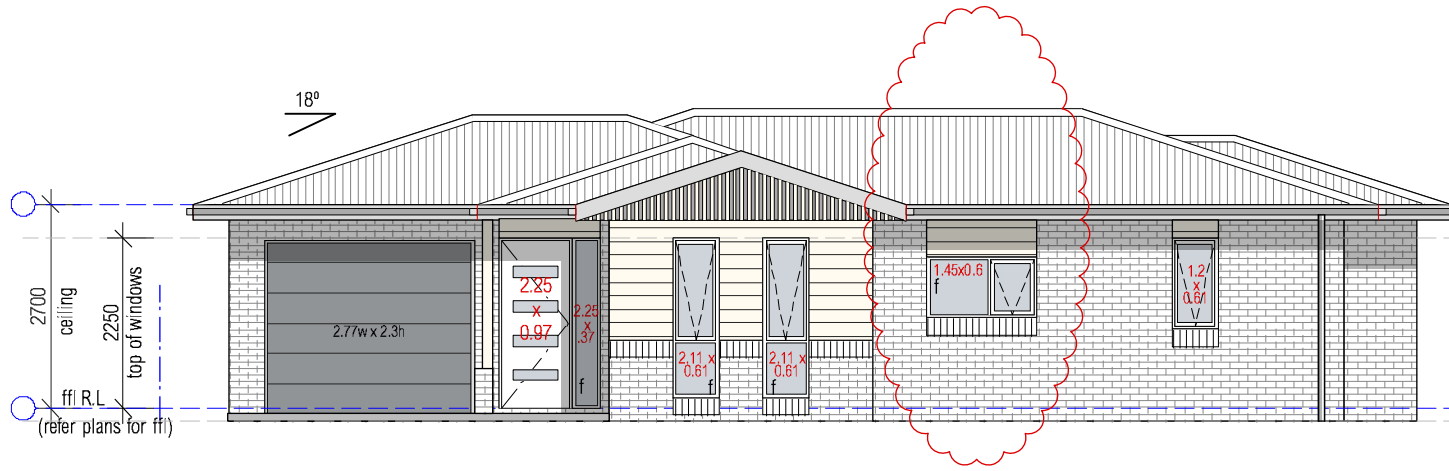
at
WARRIEWOOD BROOK

drawing
ROOF PLAN - TYPE S2

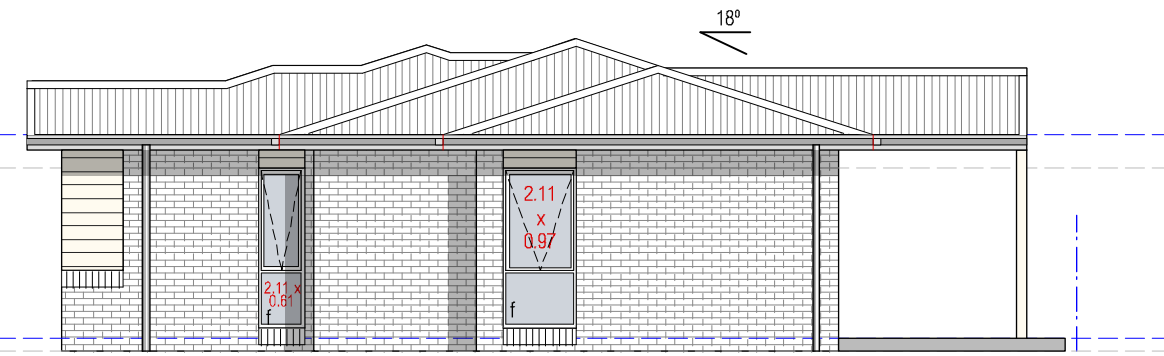
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CC / S96	731	S2 102

chkd	drwn	date	issue
TW	CK	29/03/16	A

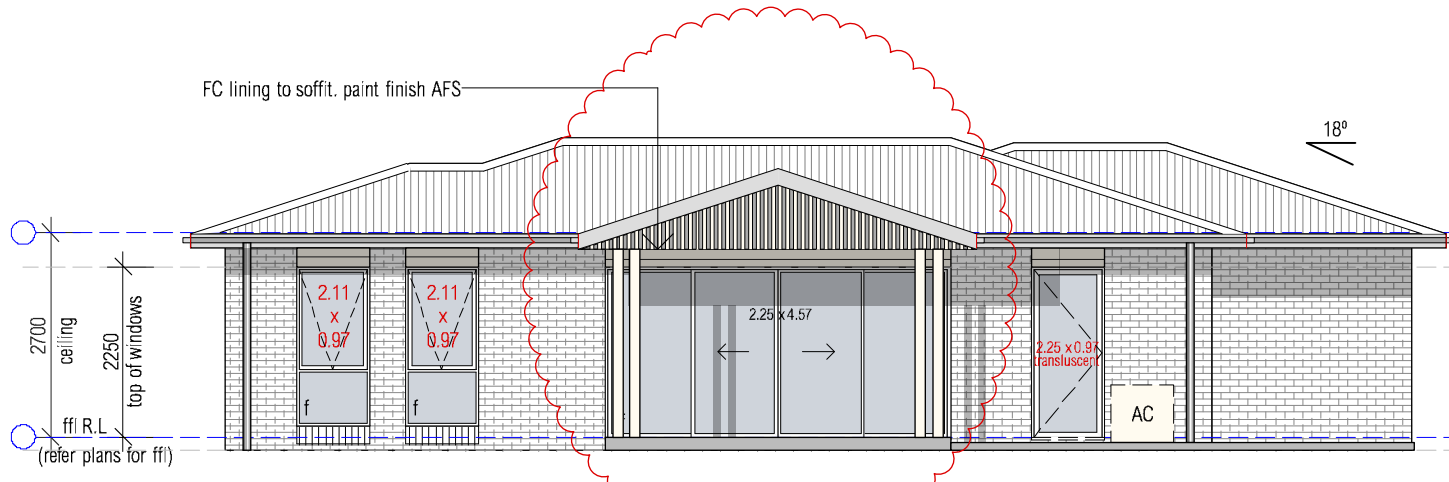
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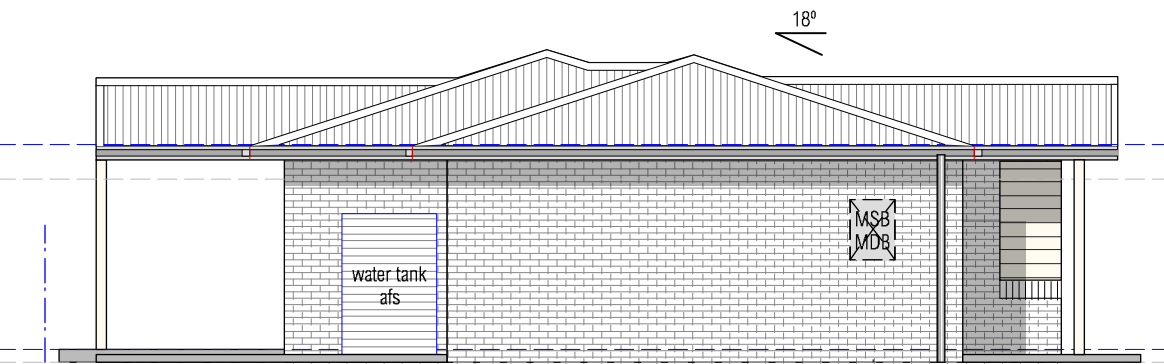
• STREET ELEVATION - SOUTH
• 1:100 @ A3



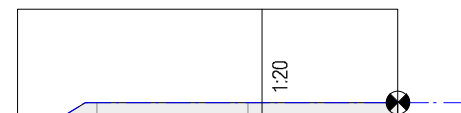
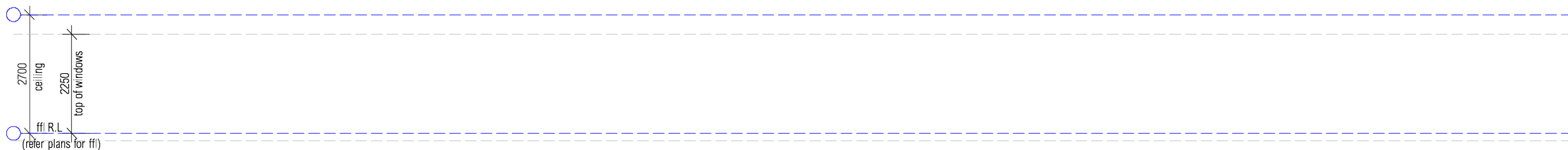
• STREET ELEVATION - EAST
• 1:100 @ A3



• REAR ELEVATION - NORTH
• 1:100 @ A3



• SIDE ELEVATION - WEST
• 1:100 @ A3



notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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MORGAN MOORE
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planner
DON FOX PLANNING
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landscape architect
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architects registration : 6239

project
ARV AT WARRIWOOD BROOK



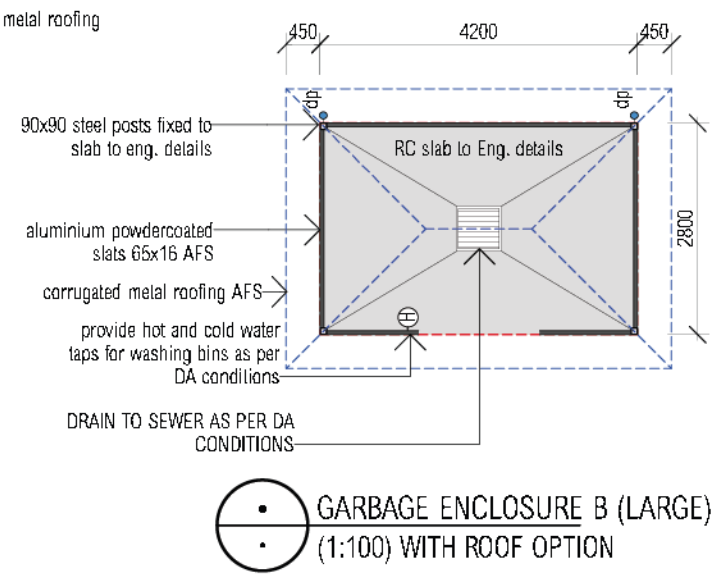
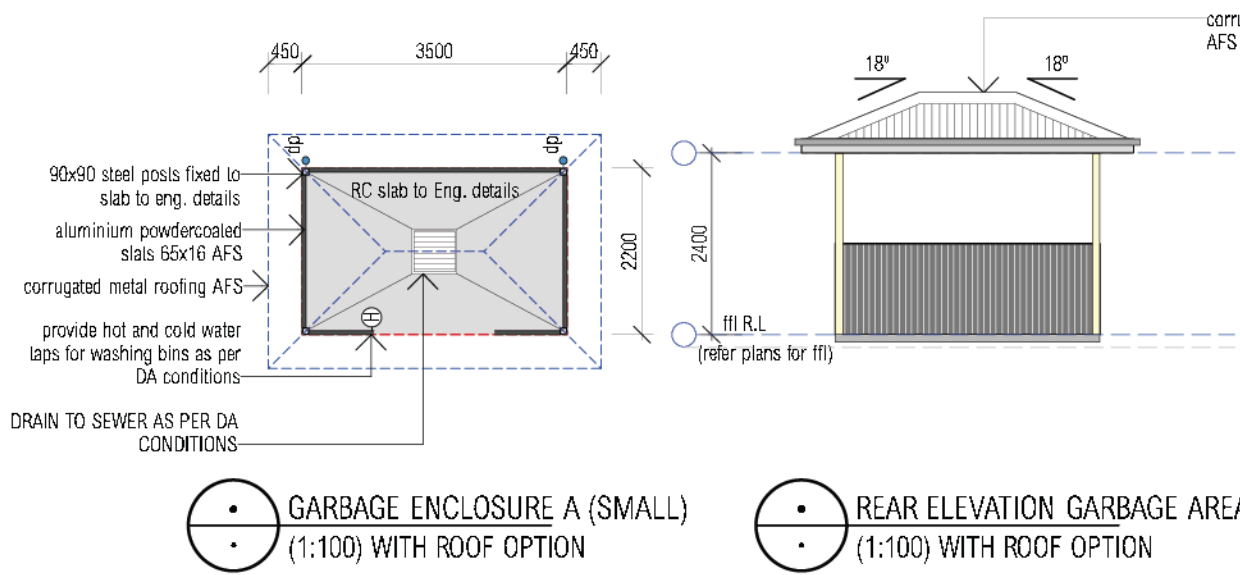
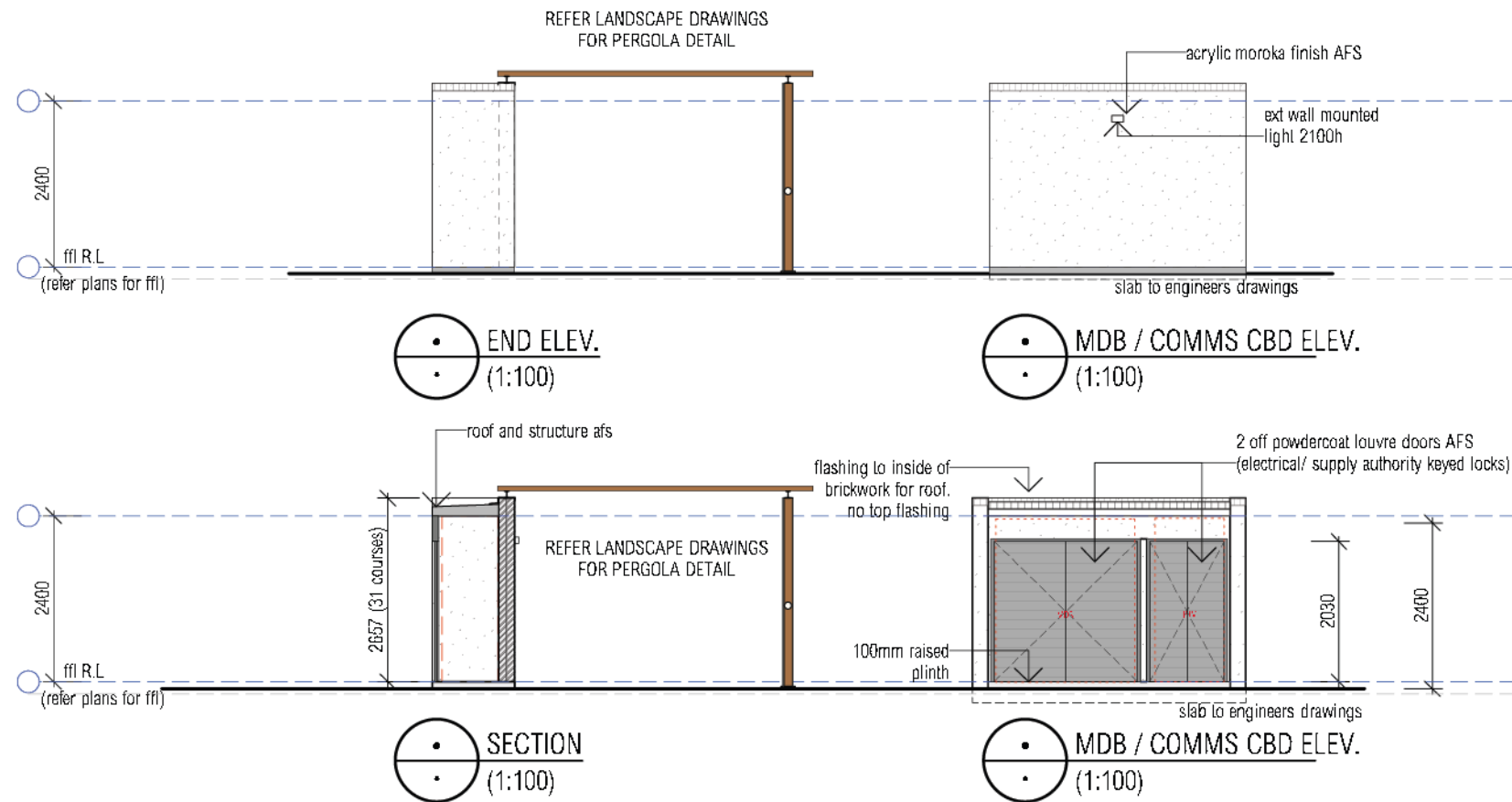
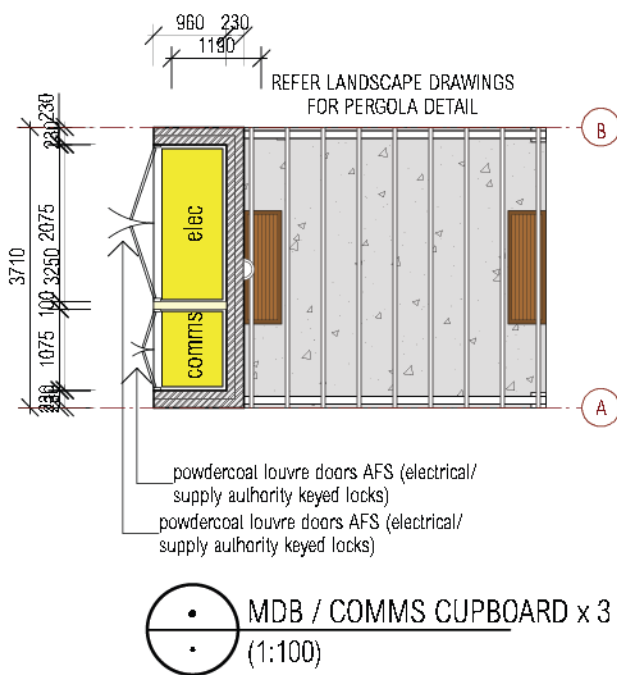
location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
ELEVATIONS - TYPE S2

stage	project no.	dwg no.	
CC / S96	731	S2 103	
chkd	drwn	date	issue
TW	CK	29/03/16	A

NO CHANGE FROM STAMPED CC



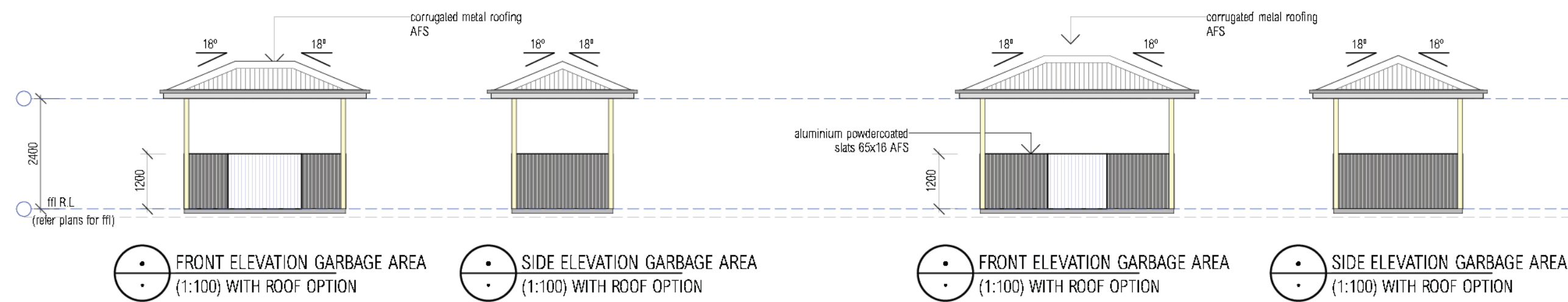
CITY PLAN SERVICES

Construction Certificate No: 142440/1

Approved Date: 25 Mar 2015

Rear Elevation Garbage Area (1:100) WITH ROOF OPTION

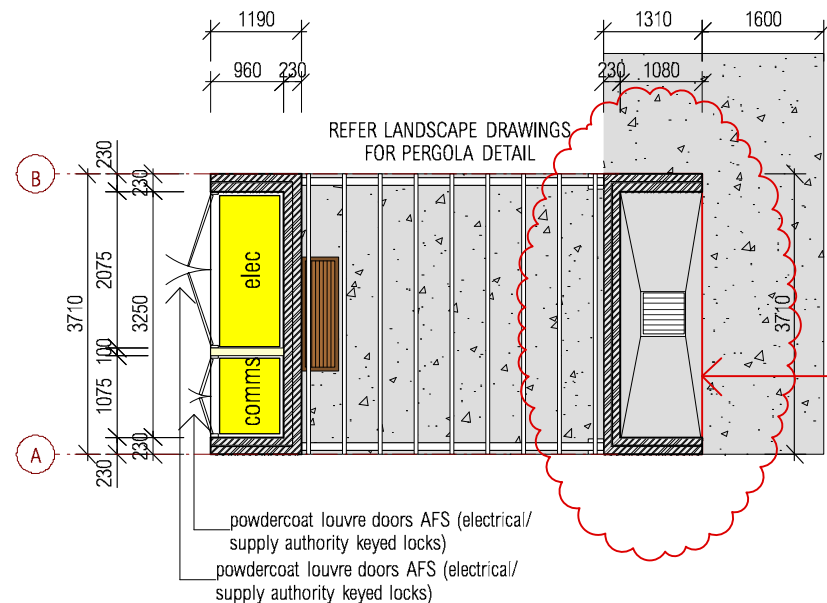
Accreditation No: BPB 0027



APPROVED CC

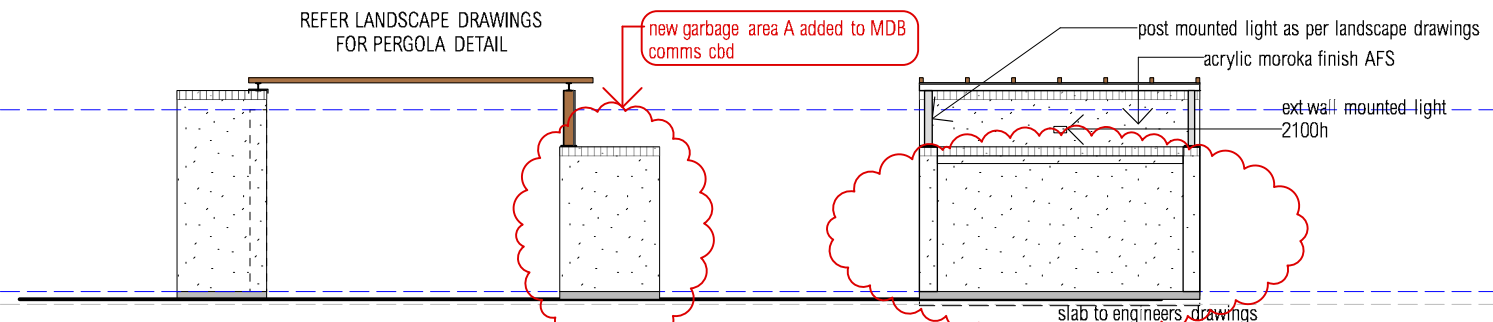
notes		
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rev	date	amendment
A	04.07.14	DRAFT CC / tender issue
B	01.08.14	DRAFT CC issue
C	20.08.14	TENDER ISSUE
D	23.10.14	ISSUE FOR CERTIFIER
E	28.10.14	AMENDED ISSUE FOR CERTIFIER: ILLU type Ca.D1a amended for access. garage requirements: ILLU 8/9/10/11 moved 410mm west.
NOTE:		
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environa studio		
19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239		
project		
ARV AT WARRIEWOOD BROOK		
for client		
ARV Villages		
location		
MACPHERSON STREET		
at		
WARRIEWOOD BROOK		
drawing		
MDB + COMMS CBD X 3 GARBAGE AREAS + ROOF OPTION		
stage	project no.	dwg no.
CC	731	CS 105
chkd	down	date
TW	CK	29/10/14
		issue
		E

*NOTE: MIN 1550mm CONCRETE PATHWAY AT MAX 1:33 IN FRONT OF BIN STORE



● ○ MDB / COMMS CUPBOARD x 3 + GARBAGE AREA B (1:100)

REFER LANDSCAPE DRAWINGS FOR PERGOLA DETAIL

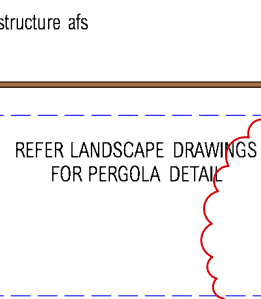


● ○ END ELEV. (1:100)

● ○ GARBAGE AREA ELEV. (1:100)

new garbage area A added to MDB comms cbd

new garbage area A added to MDB comms cbd



● ○ SECTION (1:100)

NOTE 120/120/120 FIRE RATING TO MDB CUPBOARD

● ○ MDB / COMMS CBD ELEV. (1:100)

new garbage area A added to MDB comms cbd

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project
ARV AT WARRIWOOD BROOK



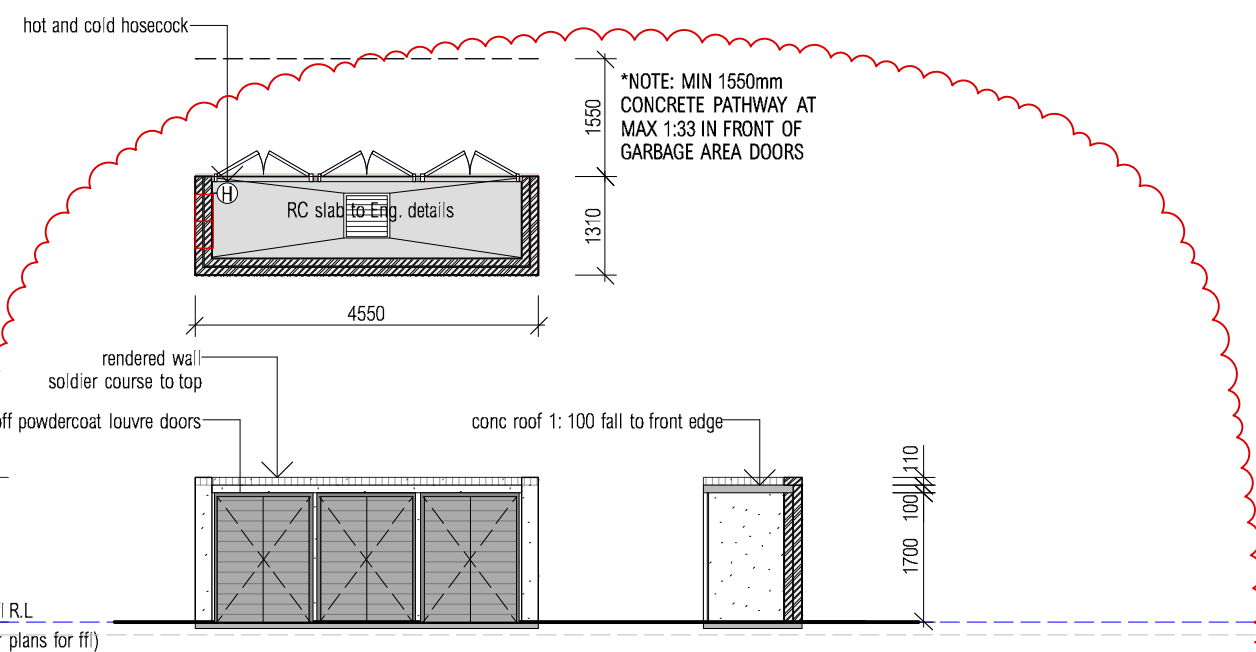
location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
**MDB X 3
GARBAGE AREAS / MAILBOX UNITS**

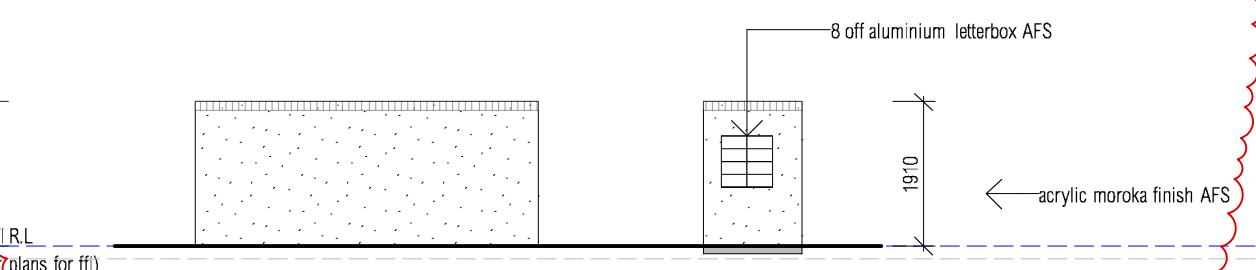
stage CC / S96	project no. 731	dwg no. CS 105
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chkd TW	dwn CK	date 29/03/16	issue A
------------	-----------	------------------	------------



● ○ GARBAGE AREA / MAILBOX UNIT A FRONT ELEVATION (1:100)

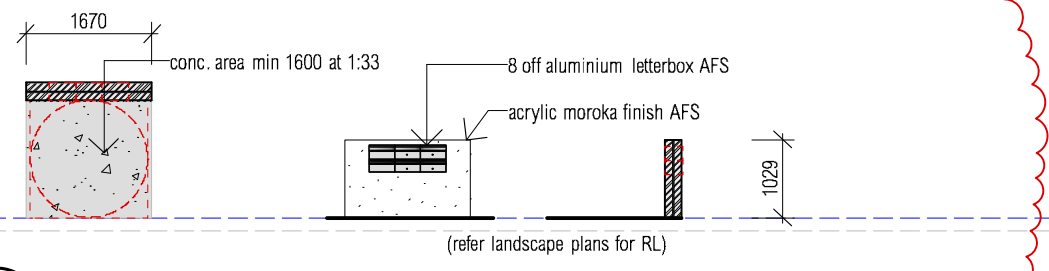
● ○ GARBAGE AREA / MAILBOX UNIT A SECTION (1:100)



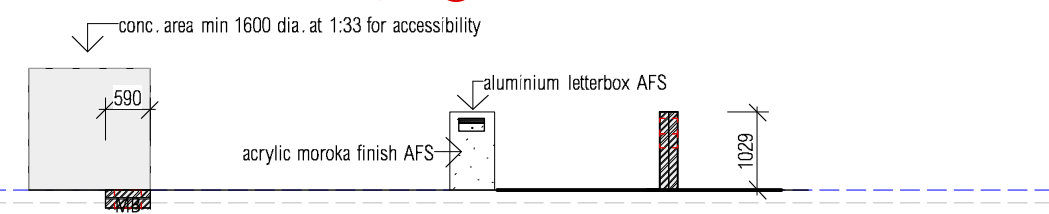
● ○ GARBAGE AREA / MAILBOX UNIT A REAR ELEVATION (1:100)

● ○ GARBAGE AREA / MAILBOX UNIT A SIDE ELEVATION (1:100)

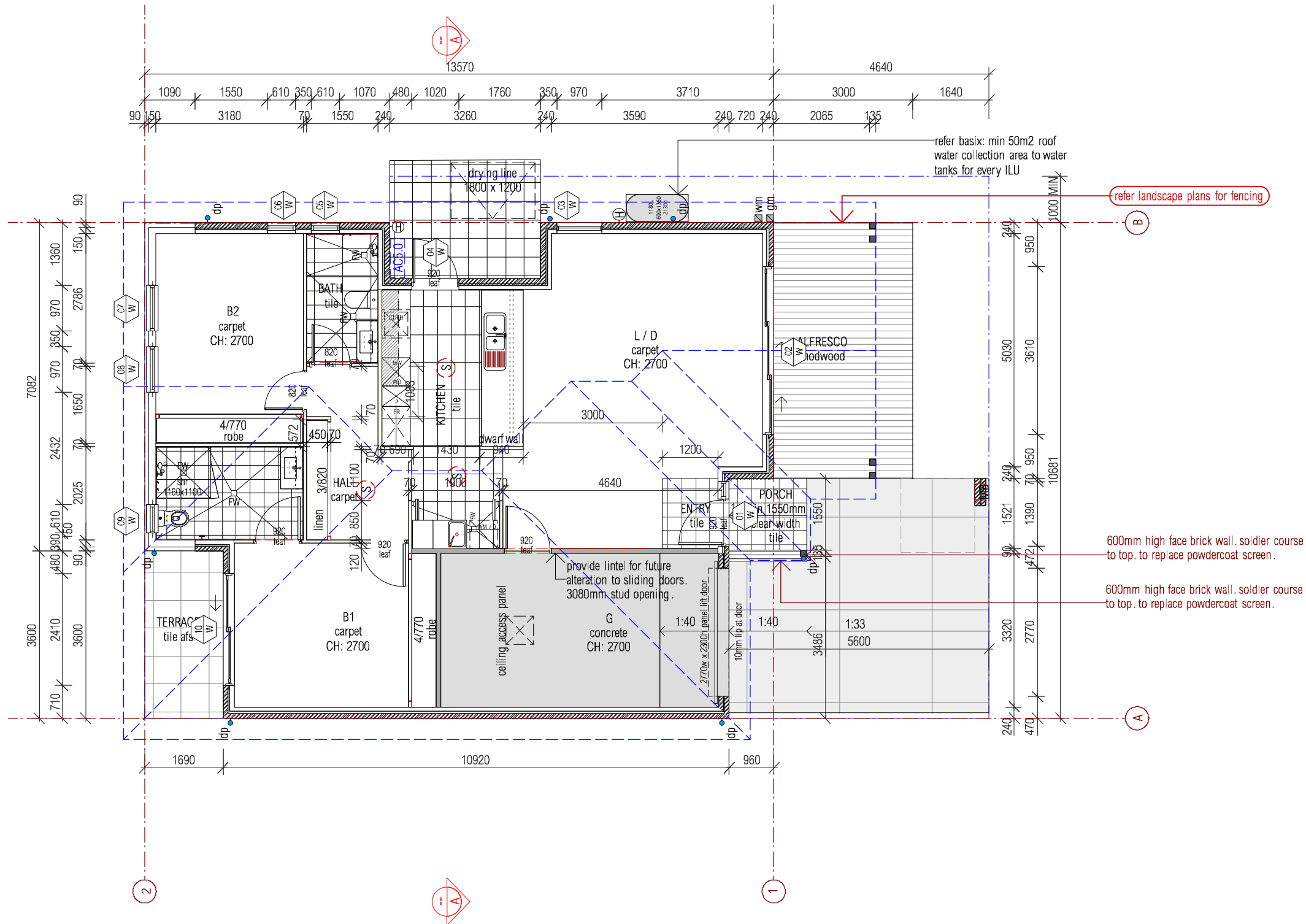
GARBAGE ENCLOSURES REDESIGNED TO BE SMALLER AND LESS OBTRUSIVE WITH THE DEVELOPMENT



● ○ STANDALONE MAILBOX BANK PLAN ELEV + SECTION (1:50 @ A3) MAILBOX UNITS GROUPED FOR ILU'S OUTSIDE OF THE CENTRE LOOP ROAD



● ○ STANDALONE MAILBOX UNIT PLAN ELEV + SECTION (1:50 @ A3) NOTE: FOR ILU'S INSIDE THE LOOP ROAD ONLY



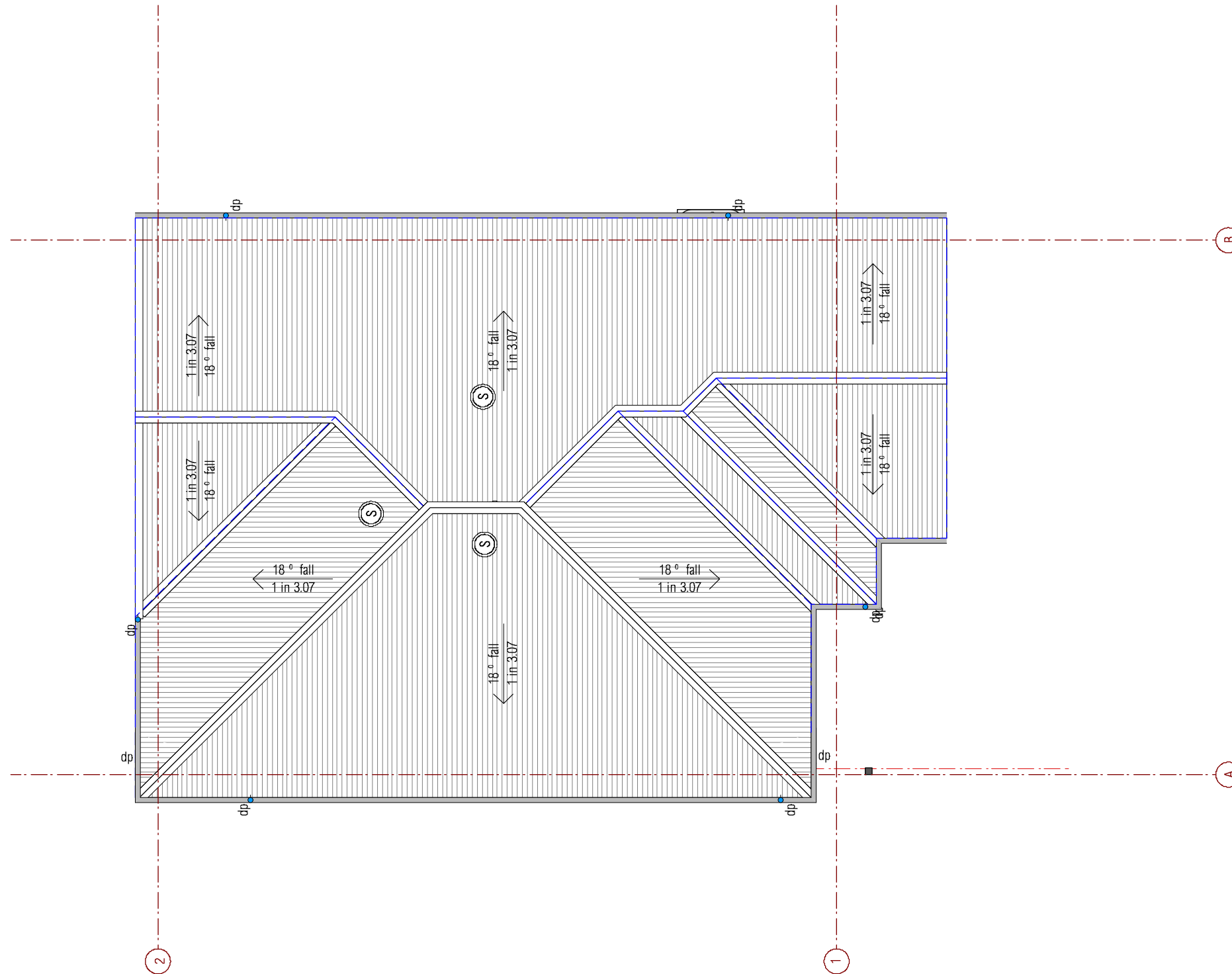
01 ILU TYPE A - SINGLE REVERSE FLOOR PLAN
1:100 @ A3

NOTES:
 • TYPE A-SINGLE REVERSE ILU # 55
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S
 REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

NO CHANGE FROM STAMPED CC

ILU -TYPE A - SINGLE REVERSE		
2 bed, 2 bath		
site area		
house area gfa (ext)	106.5 sqm	
house area nfa (int)	96.3 sqm	
Alfresco / deck	16.5 sqm	
garage	21.9sqm	
GFA + Alf	144.9 sqm	

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landscape architect JOHN LOCK & ASSOCIATES ph: 02 9969 9866		
engineer (civil / hydraulic) HENRY & HYMAS ph: 02 9417 8400		
environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239		
project ARV AT WARRIWOOD BROOK		
for/client 		
location MACPHERSON STREET		
at WARRIWOOD BROOK		
drawing PLAN: ILU TYPE A - SINGLE REVERSE		
stage	project no.	dwg no.
CC / S96	731	A-sR101
chkd	dwgn	date
TW	CK	29/03/16
		issue
		A



01 ROOF PLAN

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 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

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 architects registration : 6239

project
 ARV AT WARRIEWOOD BROOK



location
 MACPHERSON STREET

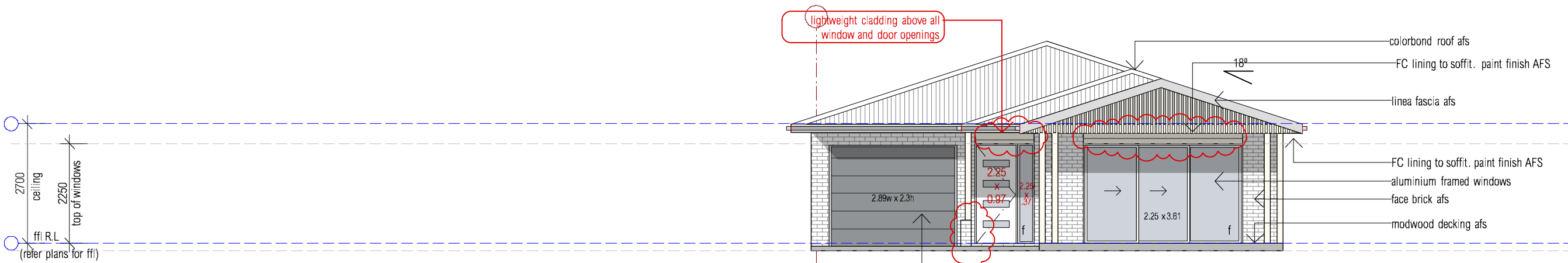
at
 WARRIEWOOD BROOK

drawing
 ROOF PLAN:
 ILU TYPE A - SINGLE REVERSE

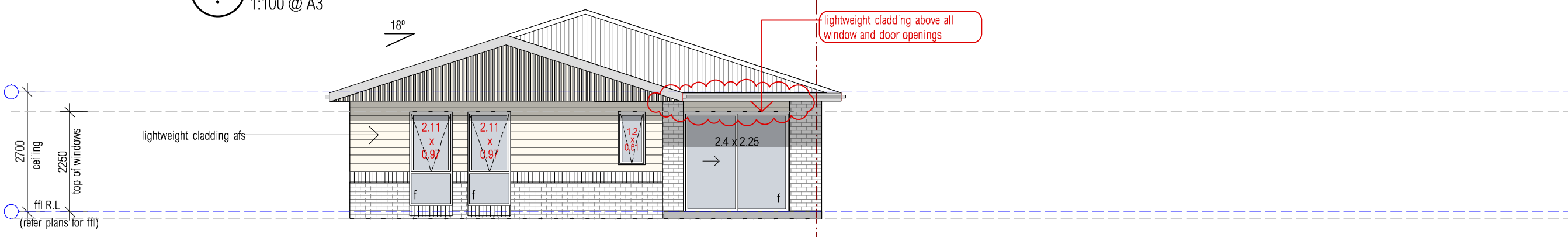
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CC / S96	731	A-sR102

chkd	drwn	date	issue
TW	CK	29/03/16	A

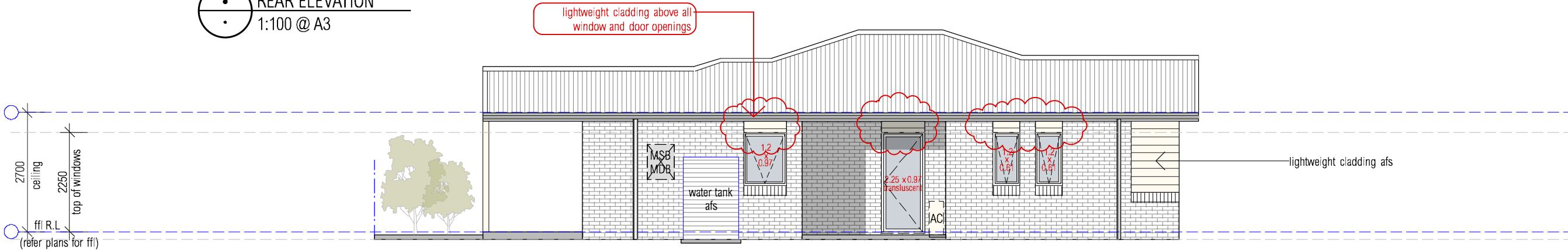
NO CHANGE FROM STAMPED CC
 NOTES:
 • TYPE A-SINGLE REVERSE ILU # 55
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S



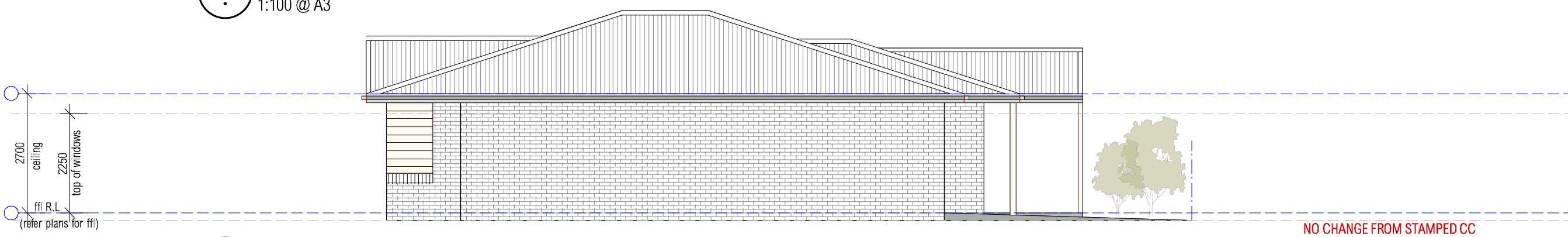
STREET ELEVATION
1:100 @ A3



REAR ELEVATION
1:100 @ A3



SIDE ELEVATION
1:100 @ A3



SIDE ELEVATION
1:100 @ A3

NO CHANGE FROM STAMPED CC

- NOTES:
- TYPE A-SINGLE REVERSE ILU # 55
 - REFER MASTERPLAN FOR FFL RL'S OF ILU'S

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIWOOD BROOK



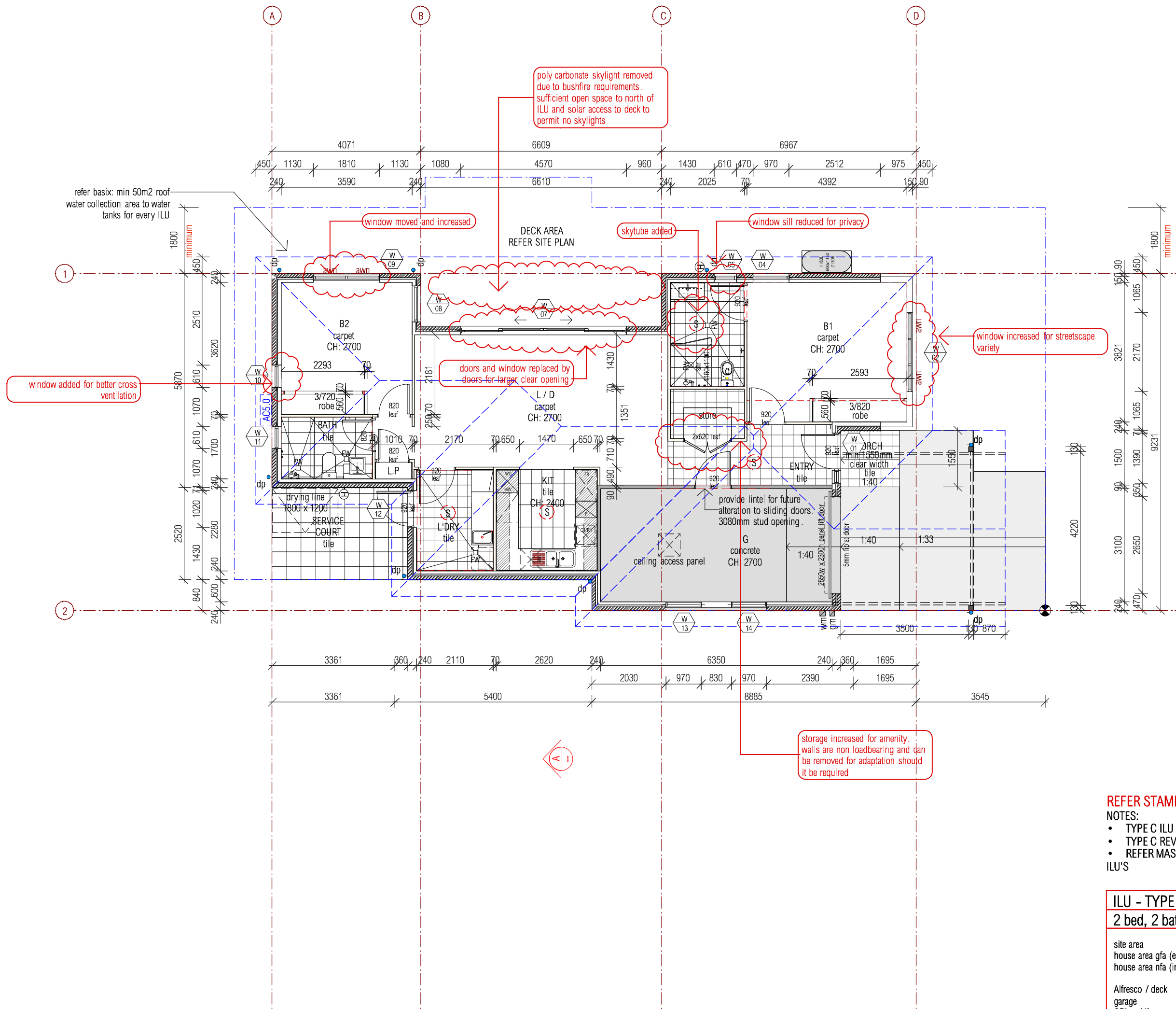
location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
ELEVATIONS:
ILU TYPE A - SINGLE REVERSE

stage	project no.	dwg no.
CC / S96	731	A-sR103

chkd	dwn	date	issue
TW	CK	29/03/16	A



notes

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rev	date	amendment
A	29.03.16	S96 ISSUE

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ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE C

stage	project no.	dwg no.	
CC / S96	731	C101	
chkd	drwn	date	issue
TW	CK	29/03/16	A

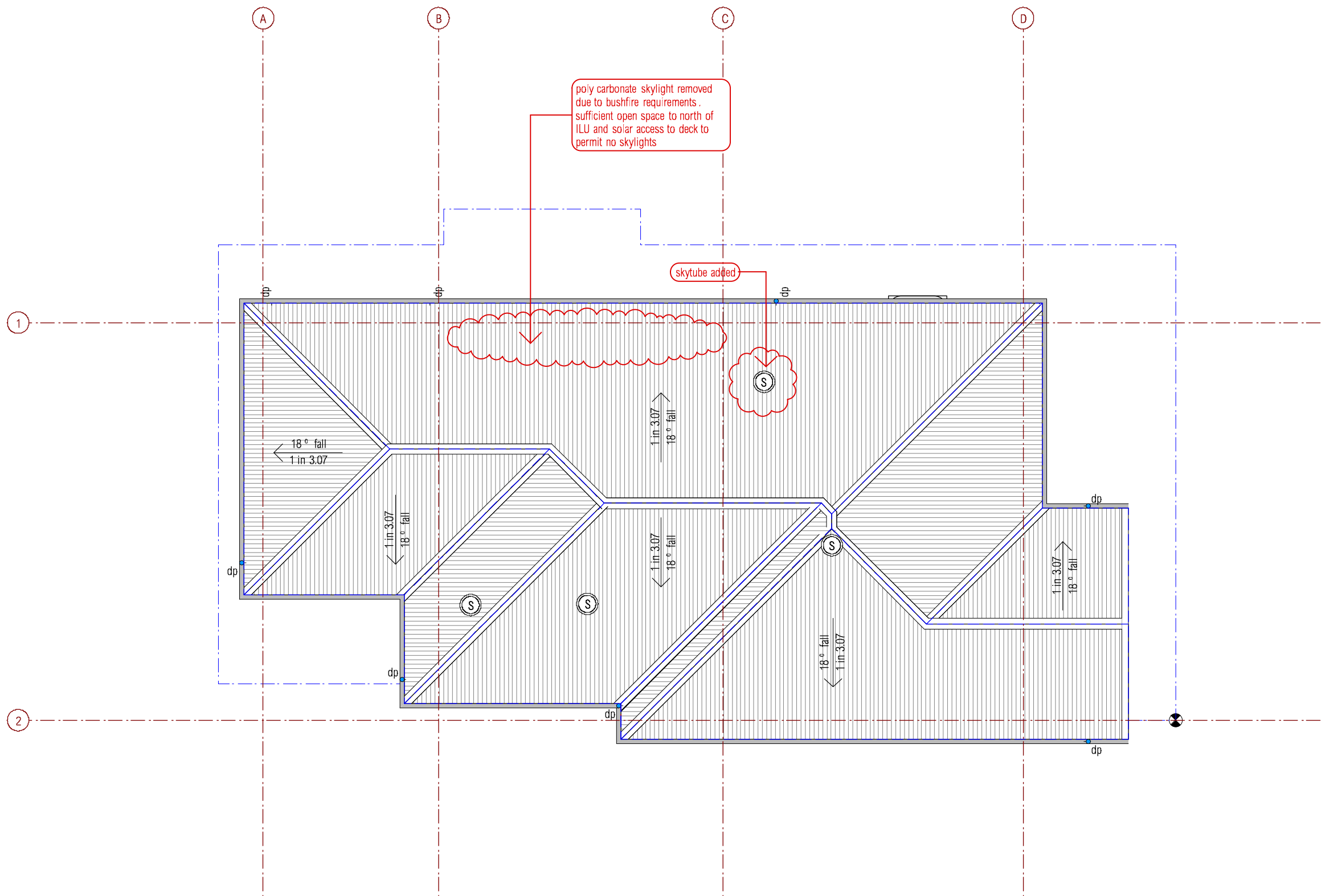
REFER STAMPED CC ILU TYPE C

NOTES:

- TYPE C ILU FOR #: 37
- TYPE C REVERSE ILU FOR #: 40
- REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE C	
2 bed, 2 bath	
site area	
house area gfa (ext)	103.9 sqm
house area nfa (int)	93.0 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6 sqm
GFA + Alf	151.5 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS



poly carbonate skylight removed due to bushfire requirements . sufficient open space to north of ILU and solar access to deck to permit no skylights

skytube added

01 ROOF PLAN

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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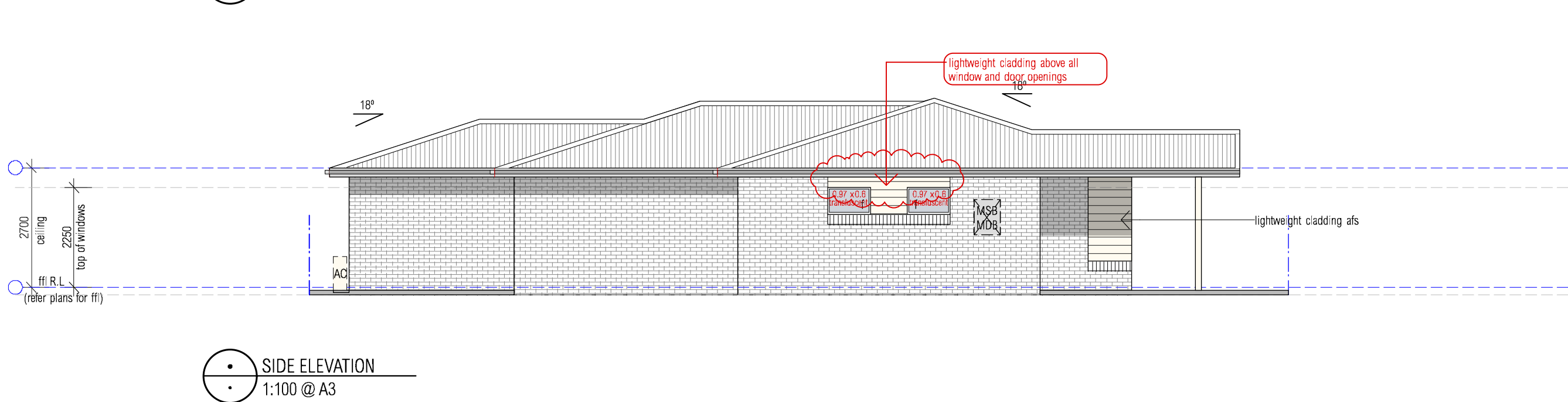
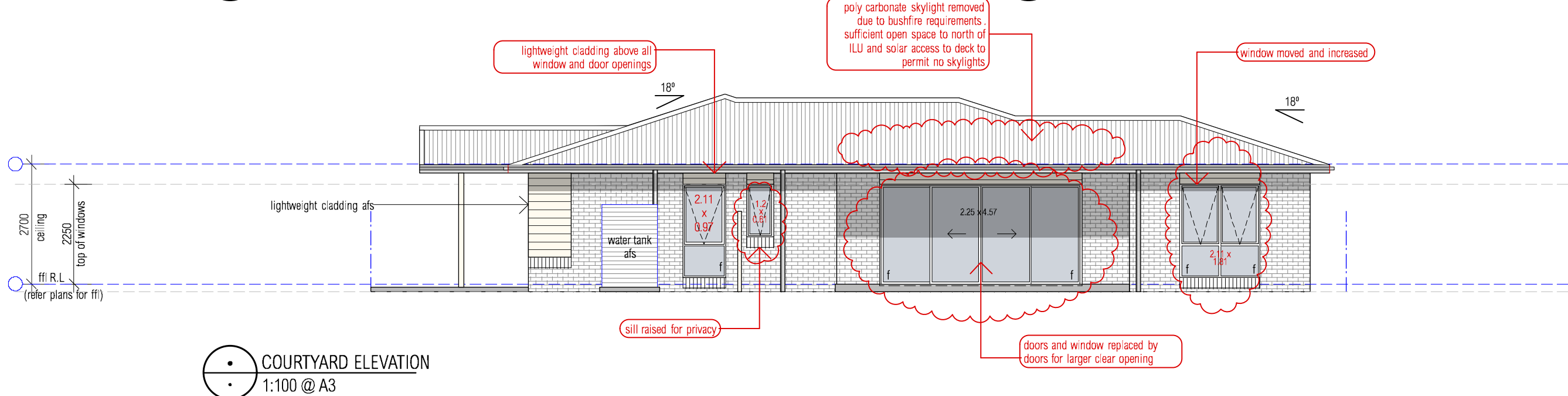
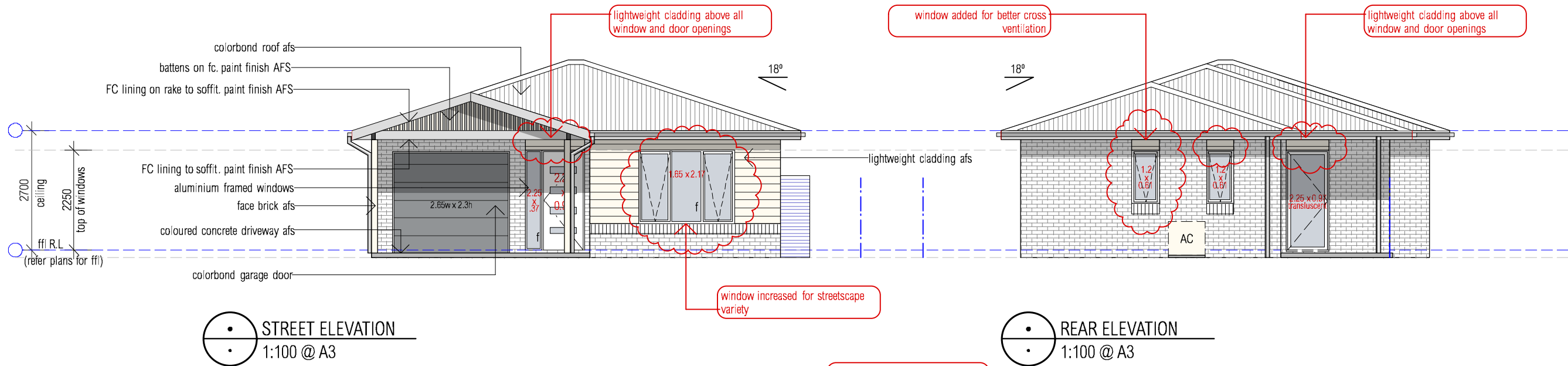


location
 MACPHERSON STREET

at
 WARRIWOOD BROOK

drawing
 ROOF PLAN - TYPE C

stage	project no.	dwg no.	
CC / S96	731	C102	
chkd	drwn	date	issue
TW	CK	29/03/16	A



notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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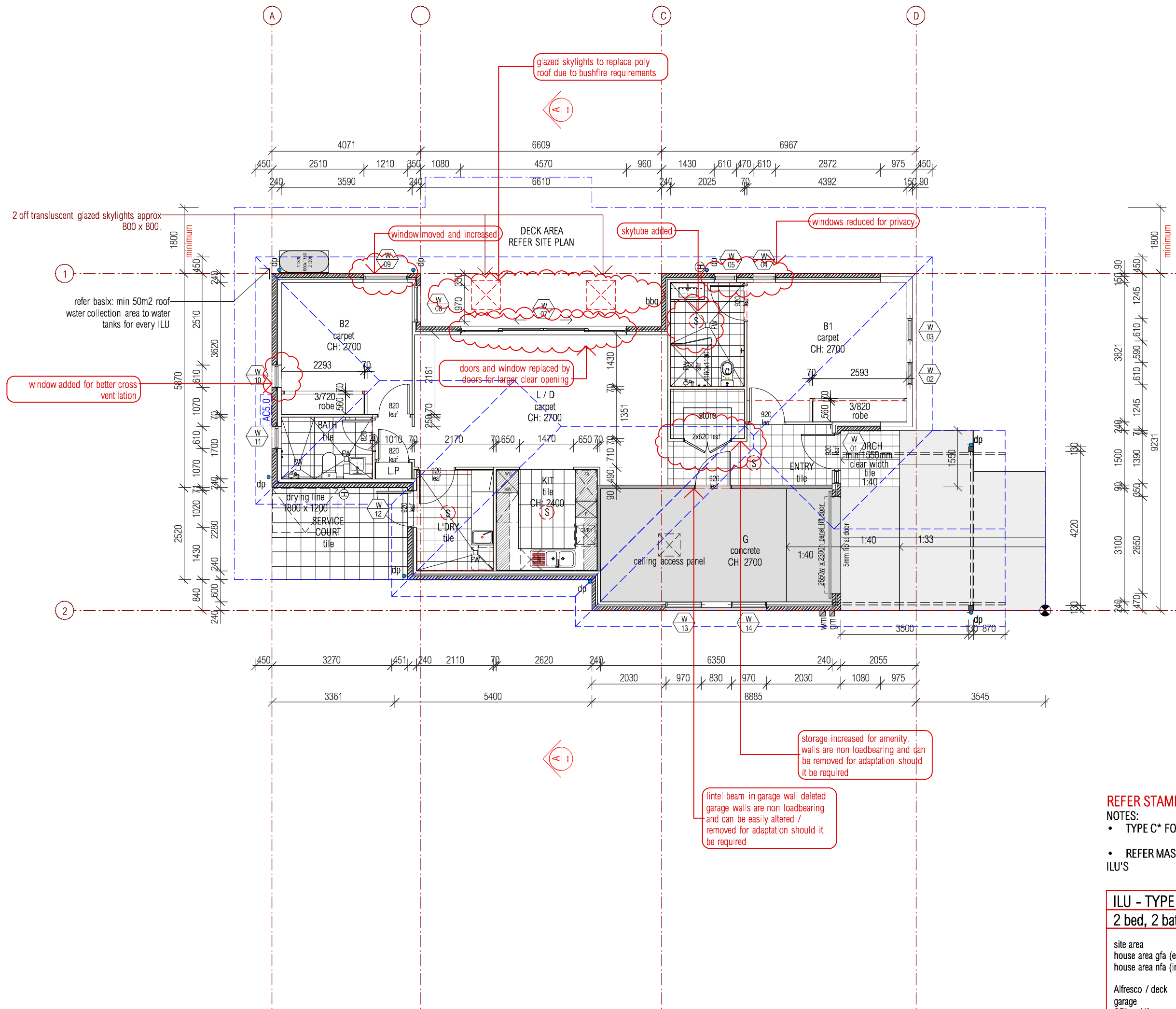


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
ELEVATIONS - TYPE C

stage	project no.	dwg no.	
CC / S96	731	C103	
chkd	dwgn	date	issue
TW	CK	29/03/16	A



notes

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rev	date	amendment
A	29.03.16	S96 ISSUE

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ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE C*

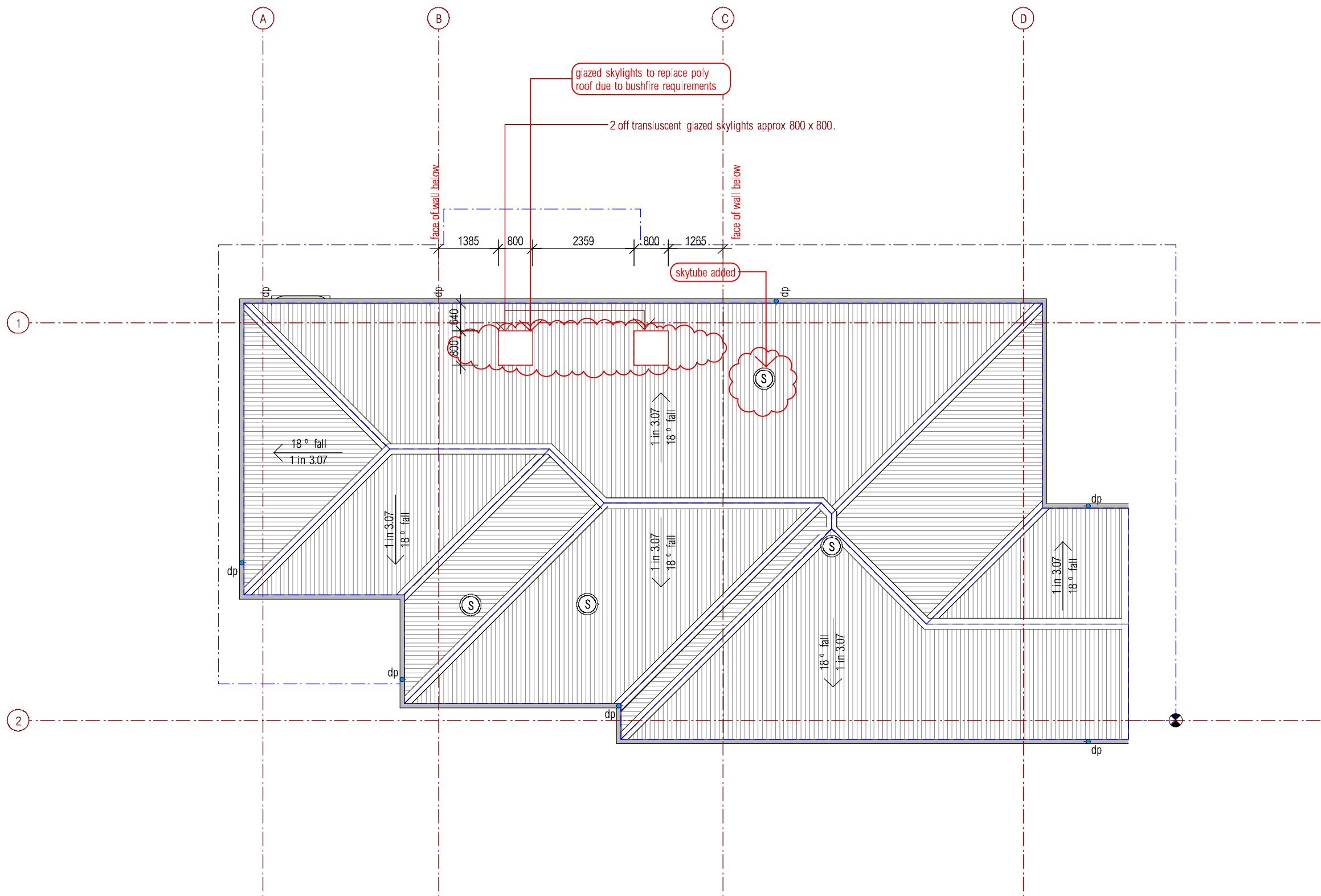
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CC / S96	731	C*101	
chkd	drwn	date	issue
TW	CK	29/03/16	A

REFER STAMPED CC ILU TYPE C

- NOTES:
- TYPE C* FOR ILU #. 56. 58
 - REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE C*	
2 bed, 2 bath	
site area	
house area gfa (ext)	103.9 sqm
house area nfa (int)	93.0 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6 sqm
GFA + Alf	151.5 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS



01 ROOF PLAN

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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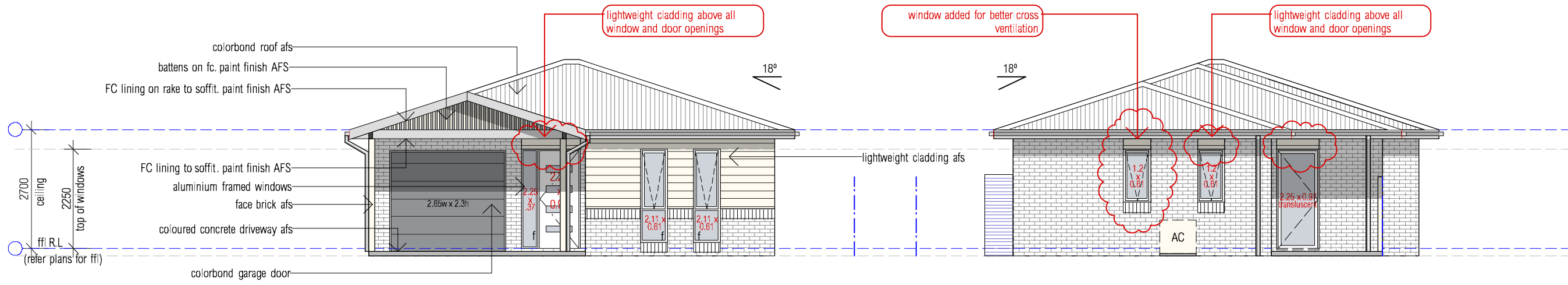


location
 MACPHERSON STREET

at
 WARRIWOOD BROOK

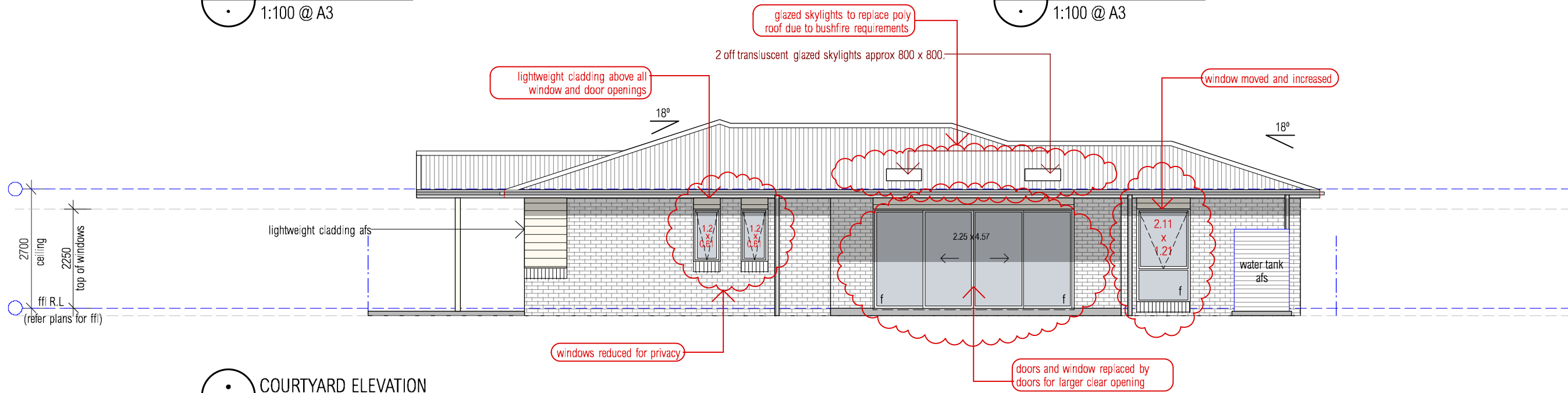
drawing
 ROOF PLAN - TYPE C*

stage	project no.	dwg no.	
CC / S96	731	C*102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

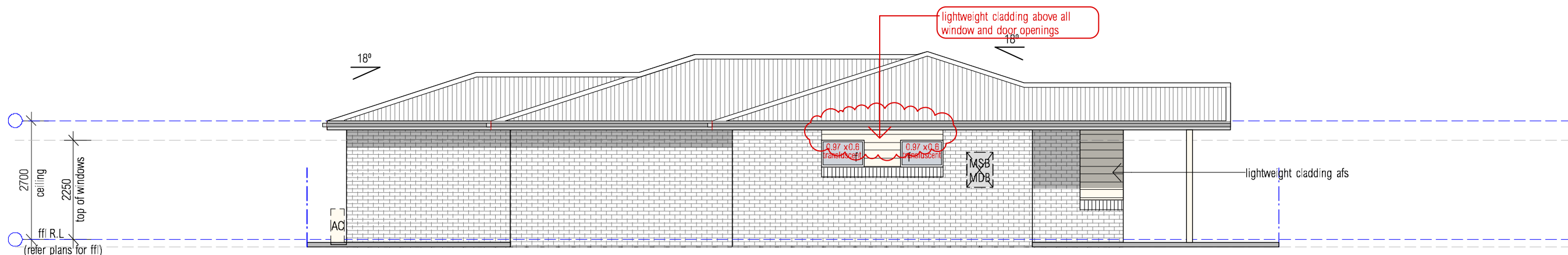


STREET ELEVATION
1:100 @ A3

REAR ELEVATION
1:100 @ A3



COURTYARD ELEVATION
1:100 @ A3



SIDE ELEVATION
1:100 @ A3

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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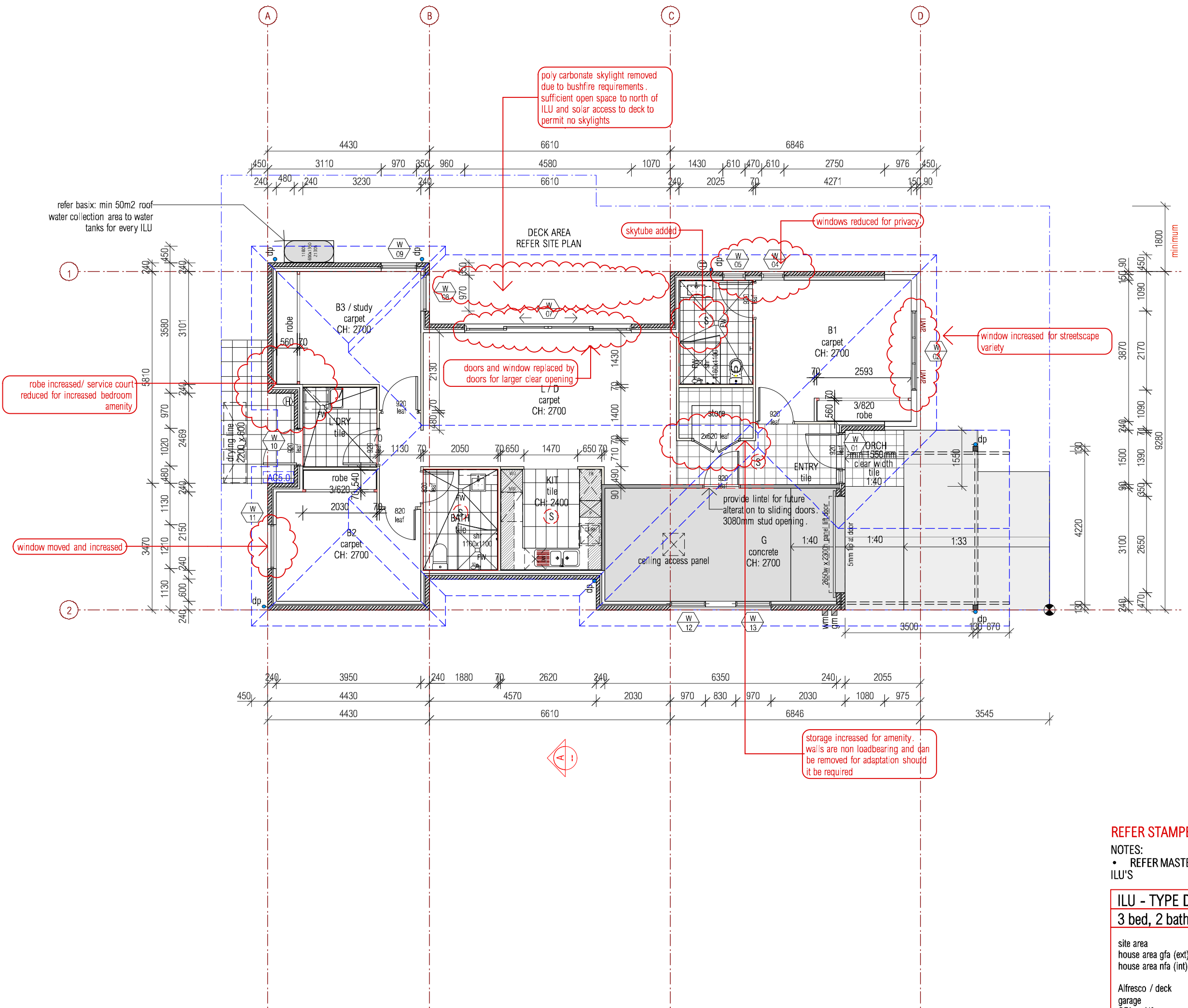


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
ELEVATIONS - TYPE C*

stage	project no.	dwg no.	
CC / S96	731	C*103	
chkd	down	date	issue
TW	CK	29/03/16	A



REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

REFER STAMPED CC ILU TYPE D

NOTES:
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE D*		
3 bed, 2 bath		
site area		
house area gfa (ext)	118.5 sqm	
house area nfa (int)	106.7 sqm	
Alfresco / deck	approx 25 sqm (varies)	
garage	22.6sqm	
GFA + Alf	166.1 sqm	

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIWOOD BROOK

for/client


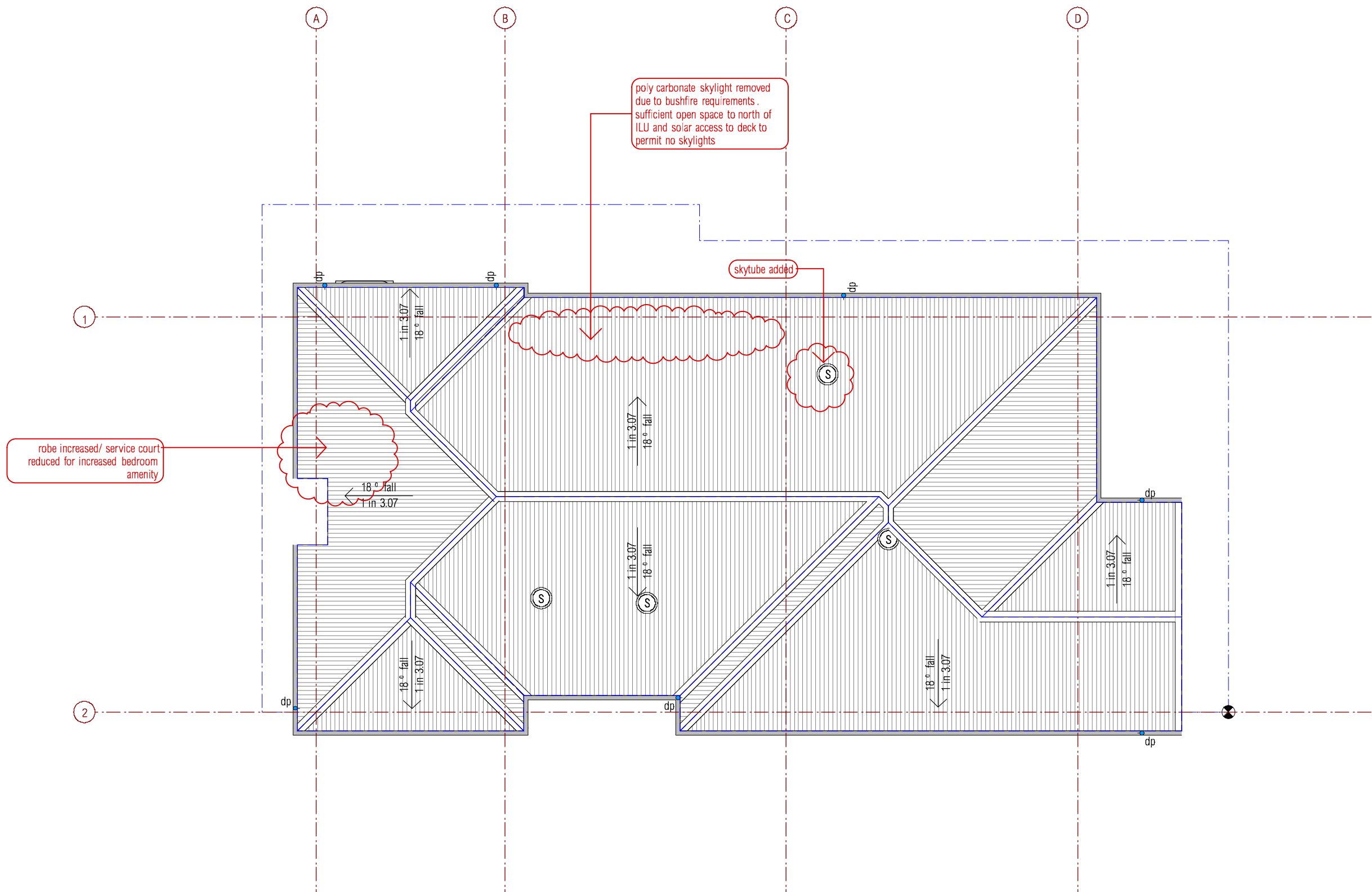
location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE D*

stage	project no.	dwg no.
CC / S96	731	D*101

chkd	dwgn	date	issue
TW	CK	29/03/16	A



01 ROOF PLAN

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rev	date	amendment
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ARV AT WARRIWOOD BROOK

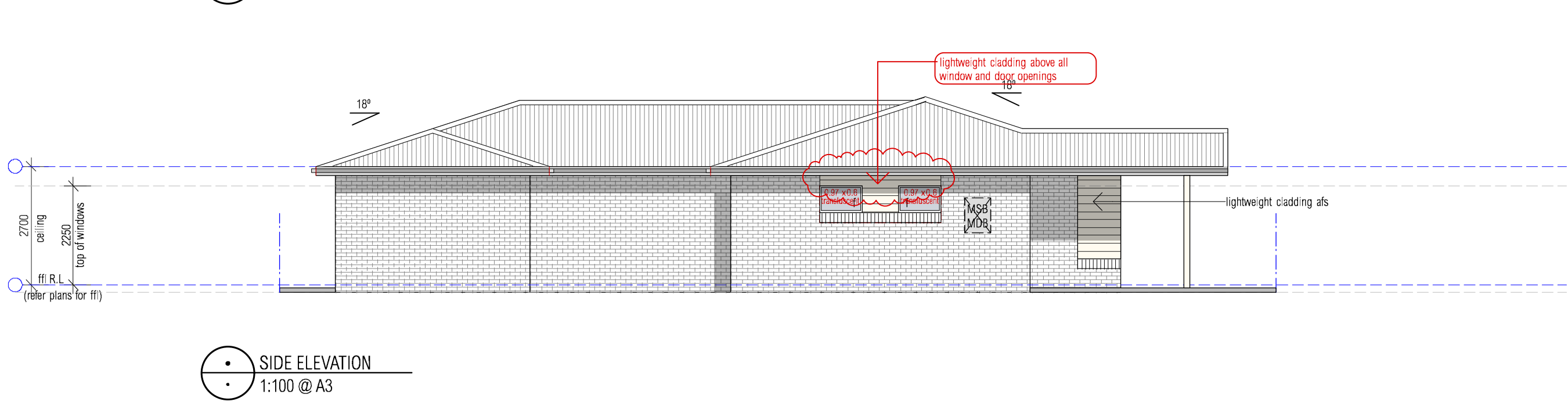
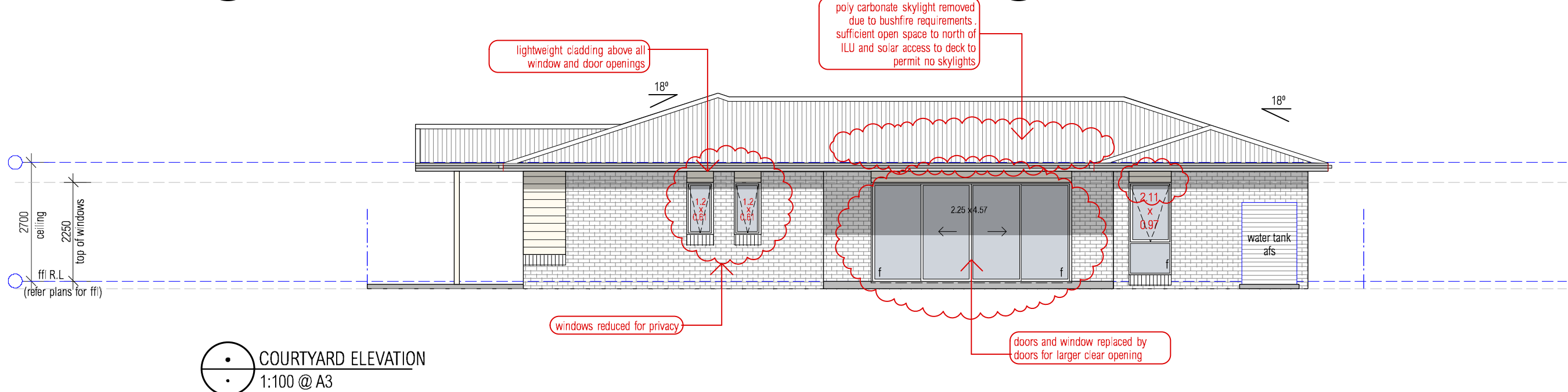
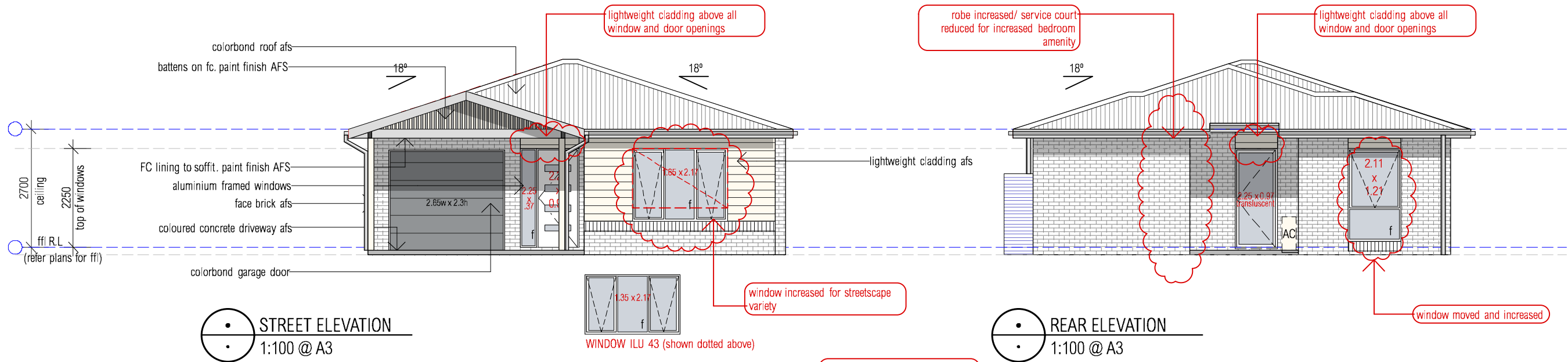



location
MACPHERSON STREET

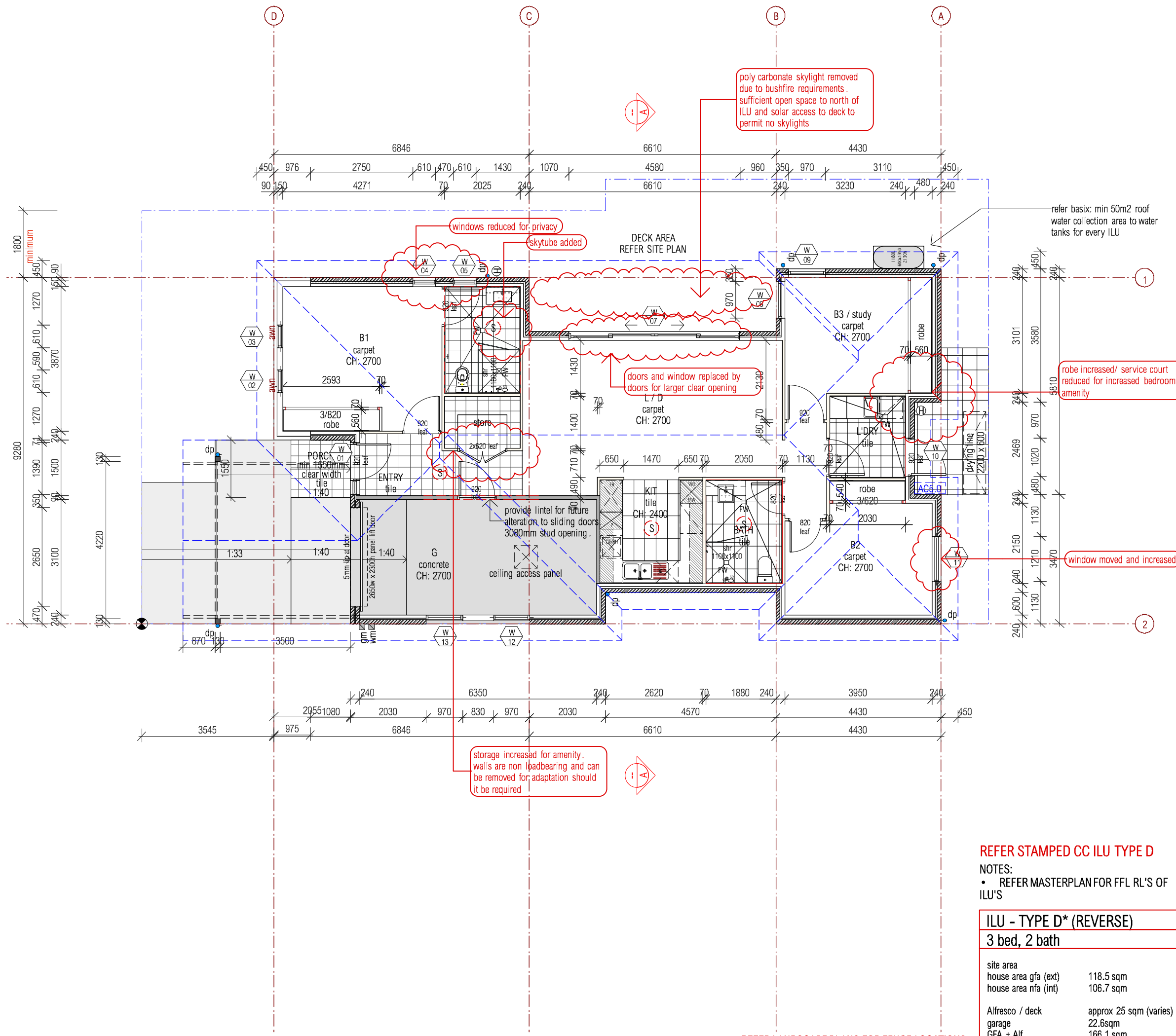
at
WARRIWOOD BROOK

drawing
ROOF PLAN - TYPE D*

stage	project no.	dwg no.	
CC / S96	731	D*102	
chkd	drwn	date	issue
TW	CK	29/03/16	A



notes		
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rev	date	amendment
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<p>project management</p> <p>MORGAN MOORE ph: 02 9957 6188</p>		
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<p>environa studio</p> <p>19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>		
<p>project</p> <p>ARV AT WARRIWOOD BROOK</p>		
<p>for/client</p> <p></p>		
<p>location</p> <p>MACPHERSON STREET</p>		
<p>at</p> <p>WARRIWOOD BROOK</p>		
<p>drawing</p> <p>ELEVATIONS - TYPE D*</p>		
stage	project no.	dwg no.
CC / S96	731	D*103
chkd	drwn	date
TW	CK	29/03/16
		issue
		A



notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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architects registration : 6239

project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

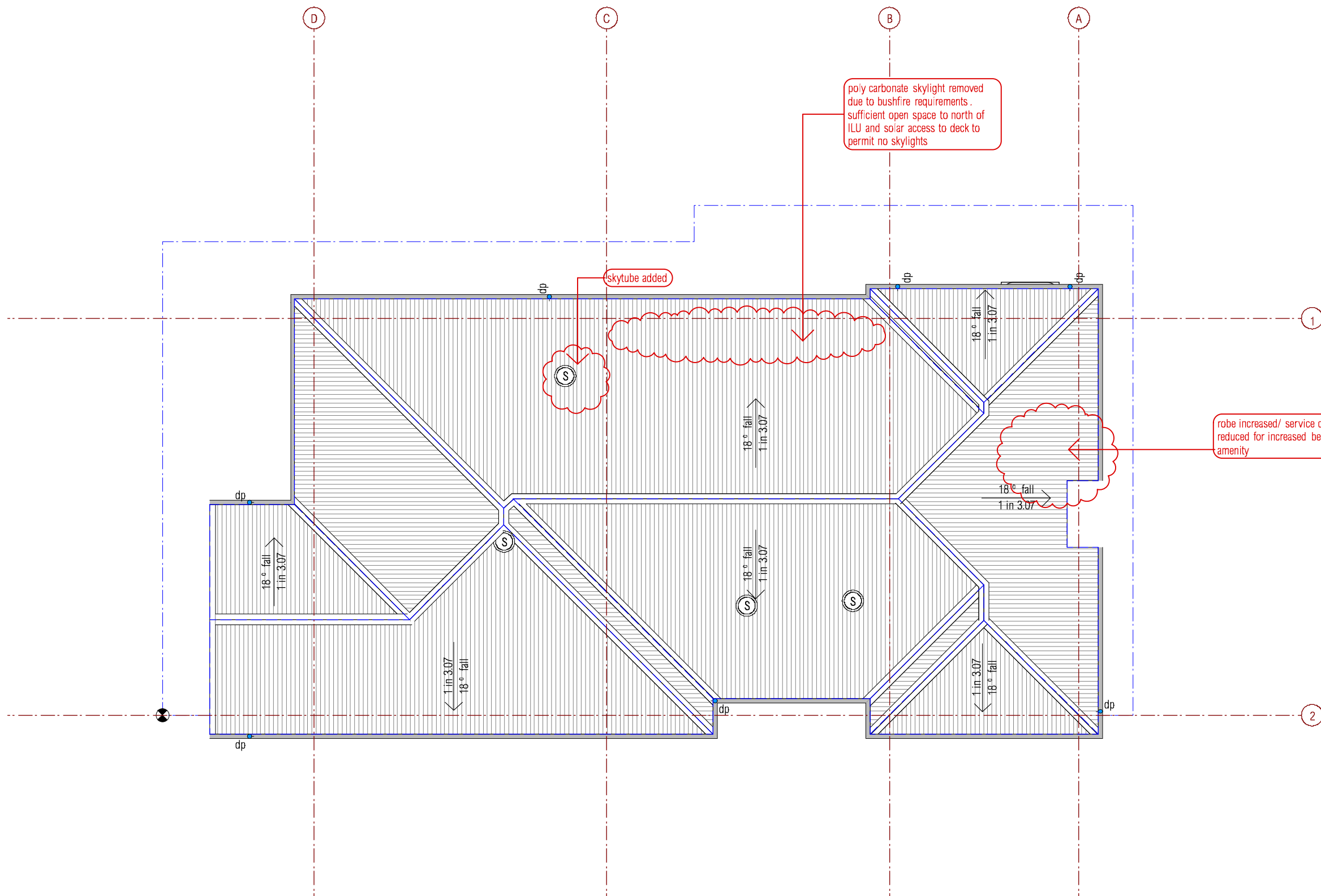
drawing
PLAN: ILU TYPE D* (REVERSE)


stage	project no.	dwg no.	
CC / S96	731	D*R101	
chkd	dwn	date	issue
TW	CK	29/03/16	A

REFER STAMPED CC ILU TYPE D
NOTES:
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S

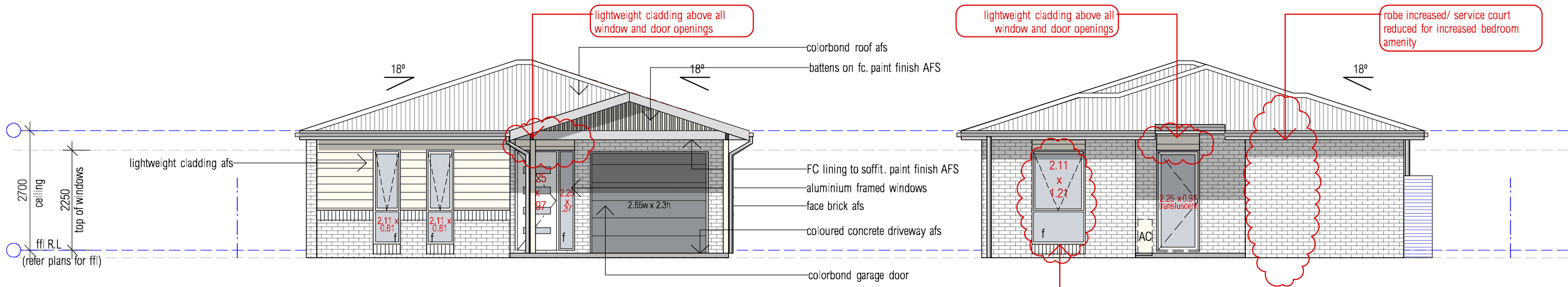
ILU - TYPE D* (REVERSE)	
3 bed, 2 bath	
site area	
house area gfa (ext)	118.5 sqm
house area nfa (int)	106.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	166.1 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS



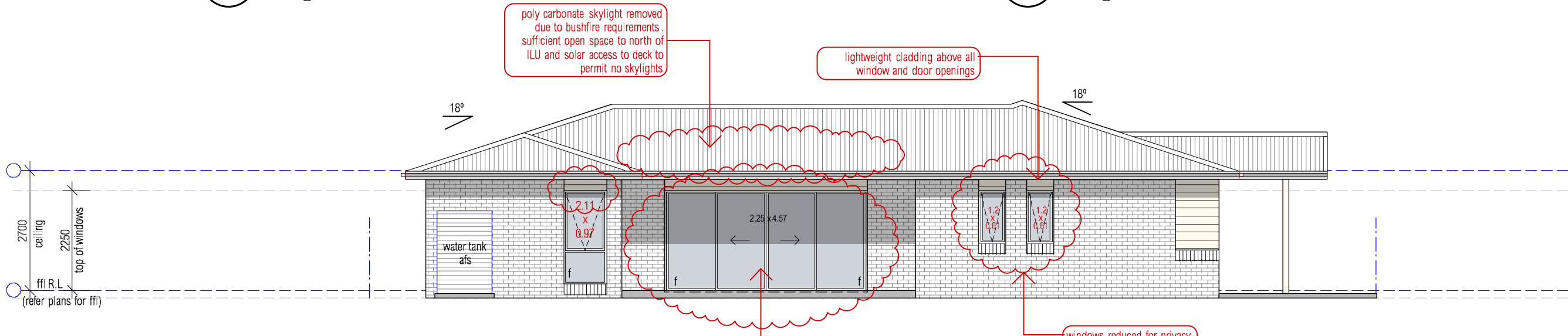
notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.			
rev	date	amendment	
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environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239			
project ARV AT WARRIWOOD BROOK			
for/client 			
location MACPHERSON STREET			
at WARRIWOOD BROOK			
drawing ROOF PLAN - TYPE D* (REVERSE)			
stage	project no.	dwg no.	
CC / S96	731	D*R102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

01 ROOF PLAN

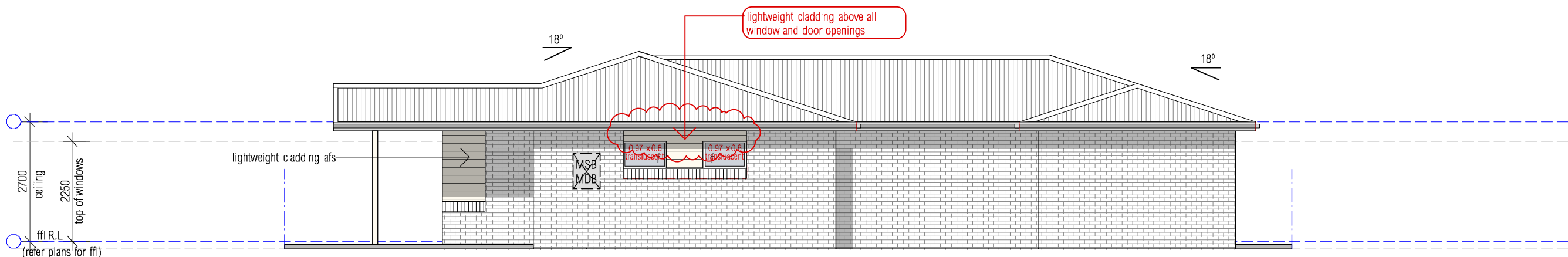


● STREET ELEVATION
● 1:100 @ A3

● REAR ELEVATION
● 1:100 @ A3



● COURTYARD ELEVATION
● 1:100 @ A3



● SIDE ELEVATION
● 1:100 @ A3

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

NOTE:
1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211
2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920
3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921

project management
MORGAN MOORE
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planner
DON FOX PLANNING
ph: 02 9980 6933

landscape architect
JOHN LOCK & ASSOCIATES
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engineer (civil / hydraulic)
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architects registration : 6239

project
ARV AT WARRIWOOD BROOK

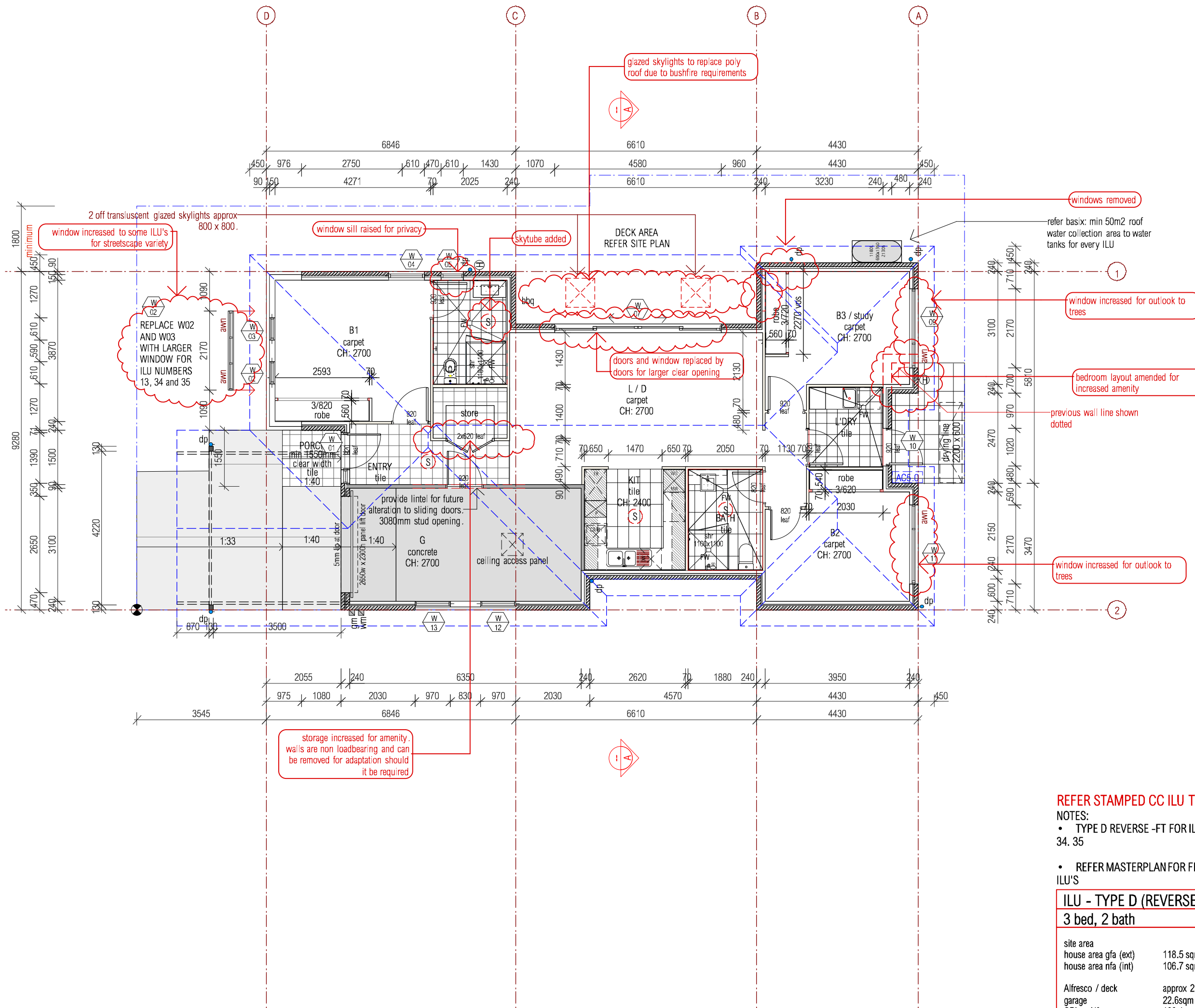


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
ELEVATIONS - TYPE D* (REVERSE)

stage	project no.	dwg no.	
CC / S96	731	D*R103	
chkd	drwn	date	issue
TW	CK	29/03/16	A



notes

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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE D (REVERSE)-FT

stage	project no.	dwg no.	
CC / S96	731	DR-ft 101	
chkd	dwn	date	issue
TW	CK	29/03/16	A

REFER STAMPED CC ILU TYPE D

NOTES:

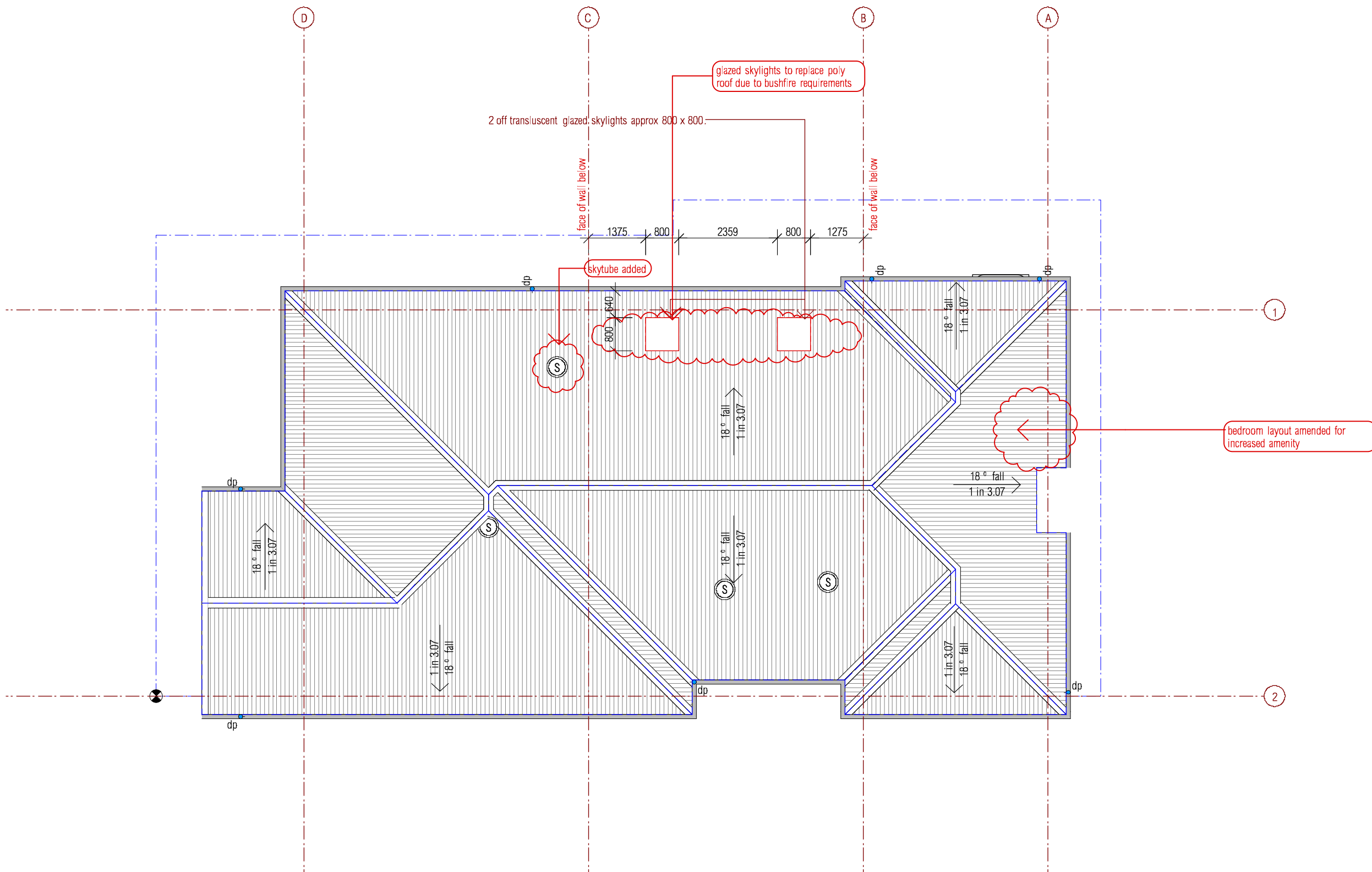
- TYPE D REVERSE -FT FOR ILU #: 13, 14, 34, 35
- REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE D (REVERSE)- FT


3 bed, 2 bath

site area	
house area gfa (ext)	118.5 sqm
house area nfa (int)	106.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	166.1 sqm

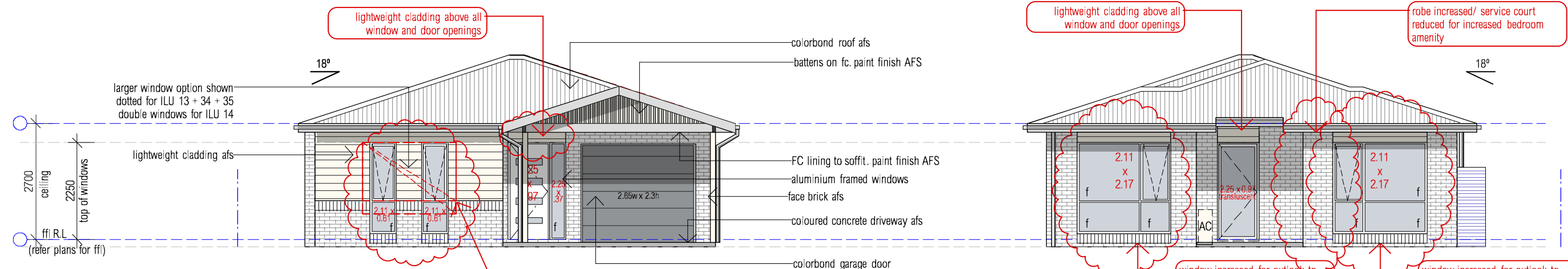
REFER LANDSCAPE PLANS FOR FENCE LOCATIONS



01 ROOF PLAN

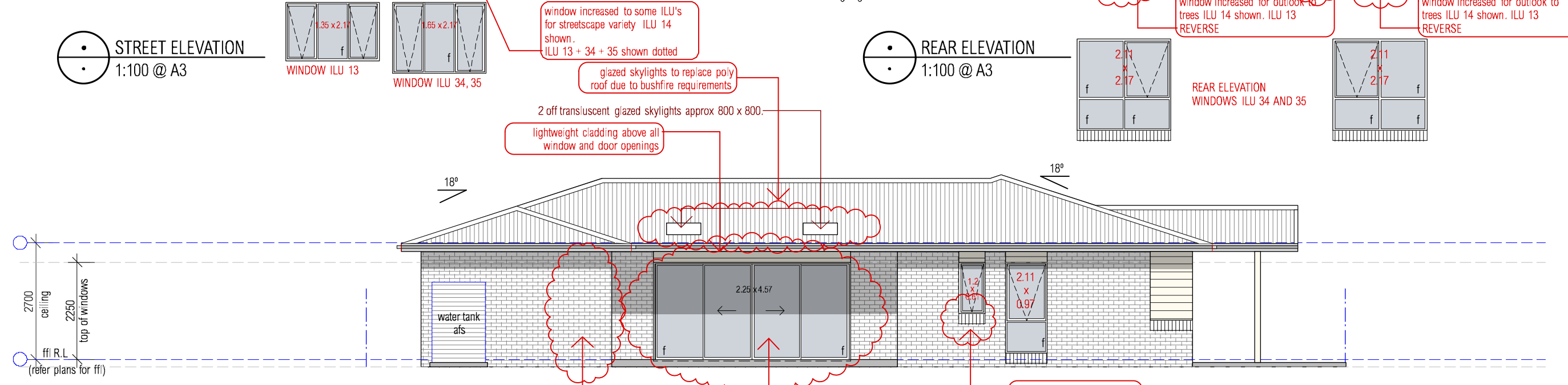
notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.			
rev	date	amendment	
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project ARV AT WARRIWOOD BROOK			
for/client 			
location MACPHERSON STREET			
at WARRIWOOD BROOK			
drawing ROOF PLAN: ILU TYPE D (REVERSE)-FT			
stage	project no.	dwg no.	
CC / S96	731	DR-ft 102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

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rev	date	amendment
A	29.03.16	S96 ISSUE



STREET ELEVATION
1:100 @ A3

REAR ELEVATION
1:100 @ A3



COURTYARD ELEVATION
1:100 @ A3

SIDE ELEVATION
1:100 @ A3

NOTE:
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project
ARV AT WARRIWOOD BROOK



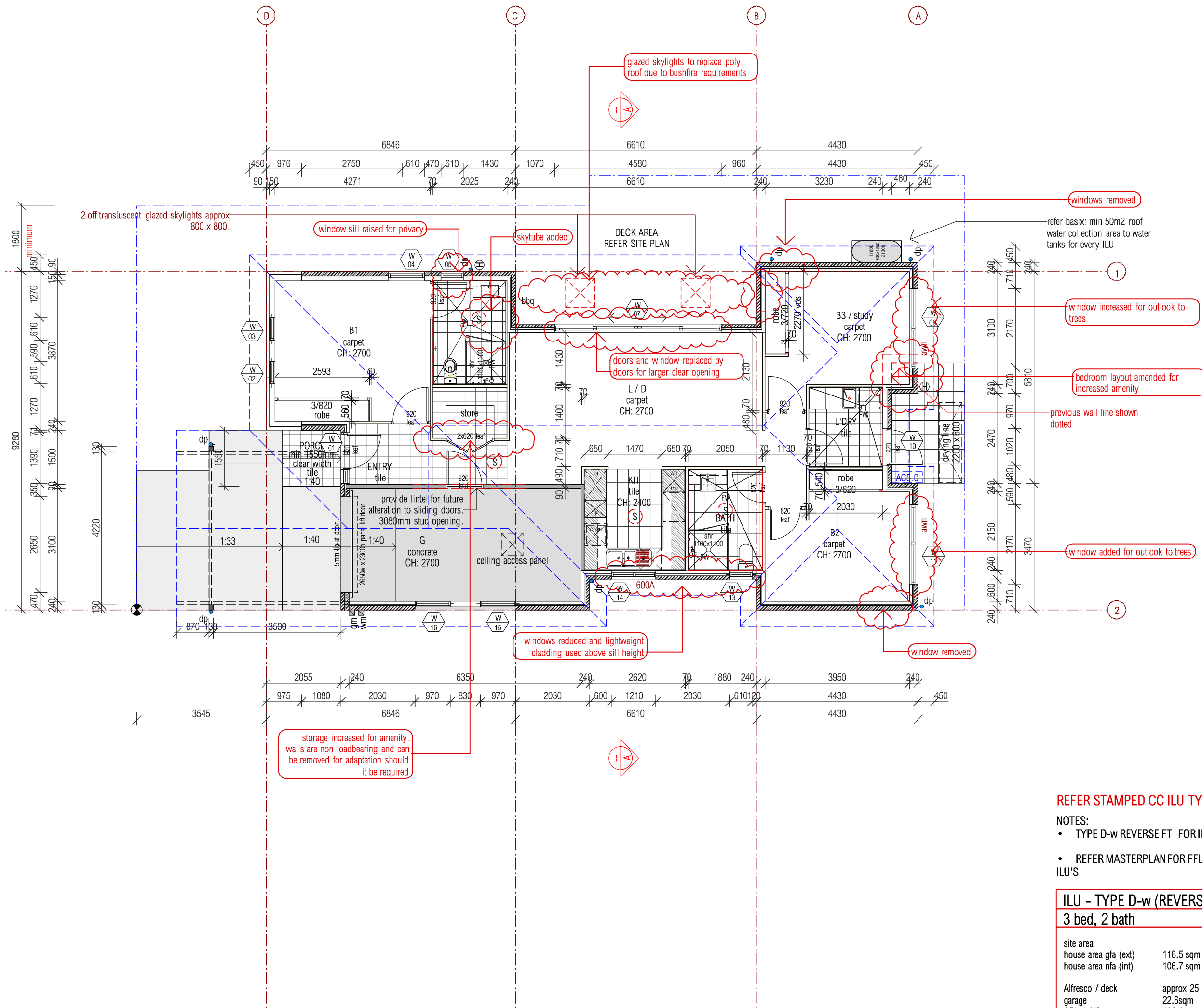
location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
ELEVATIONS - TYPE D (REVERSE) -FT

NOTES:
• TYPE D REVERSE -FT FOR ILU #: 13, 14, 34, 35
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S

stage	project no.	dwg no.	
CC / S96	731	DRft103	
chkd	drwn	date	issue
TW	CK	29/03/16	A



notes

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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
PLAN: ILU TYPE D - w (REVERSE) FT

stage	project no.	dwg no.	
CC / S96	731	DwR-ft101	
chkd	dwn	date	issue
TW	CK	29/03/16	A

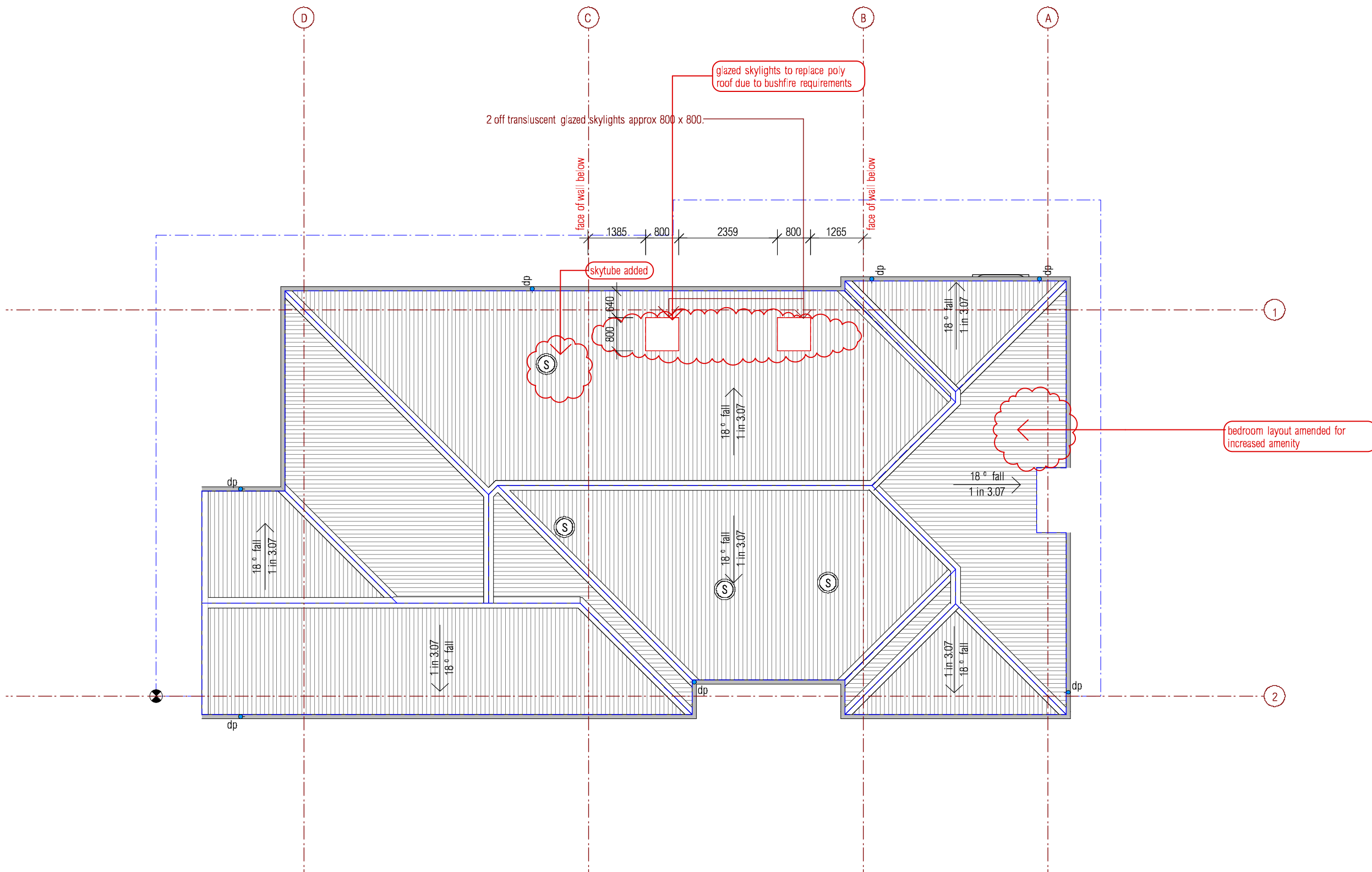
REFER STAMPED CC ILU TYPE D

- NOTES:
- TYPE D-w REVERSE FT FOR ILU #: 36
 - REFER MASTERPLAN FOR FFL RL'S OF ILU'S


ILU - TYPE D-w (REVERSE) - FT
3 bed, 2 bath

site area	
house area gfa (ext)	118.5 sqm
house area nfa (int)	106.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	166.1 sqm

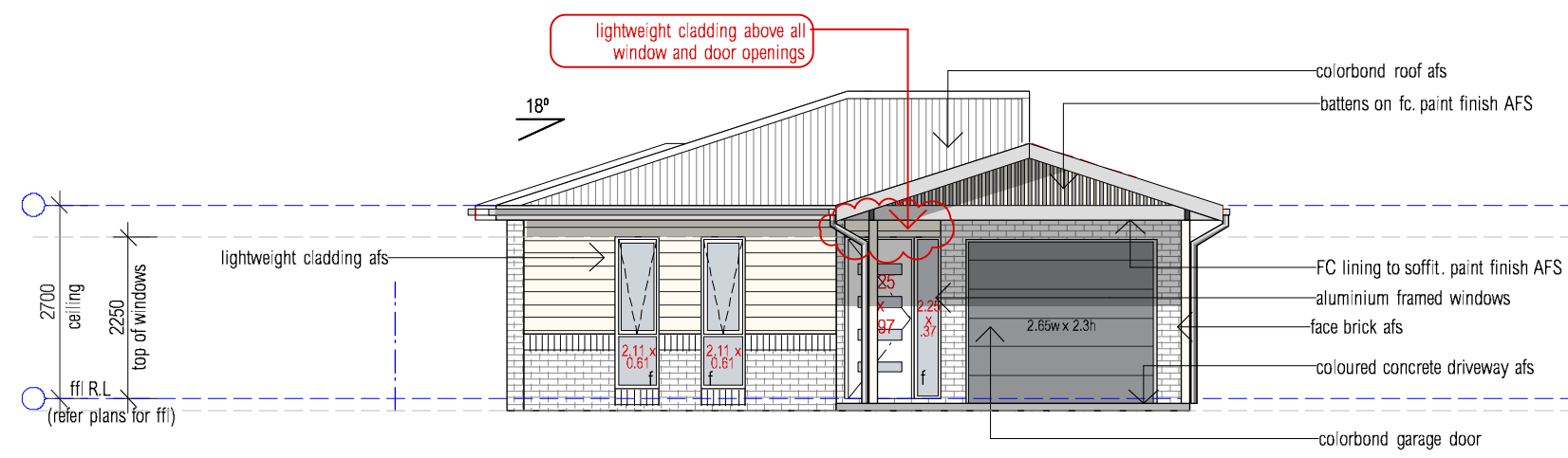
REFER LANDSCAPE PLANS FOR FENCE LOCATIONS



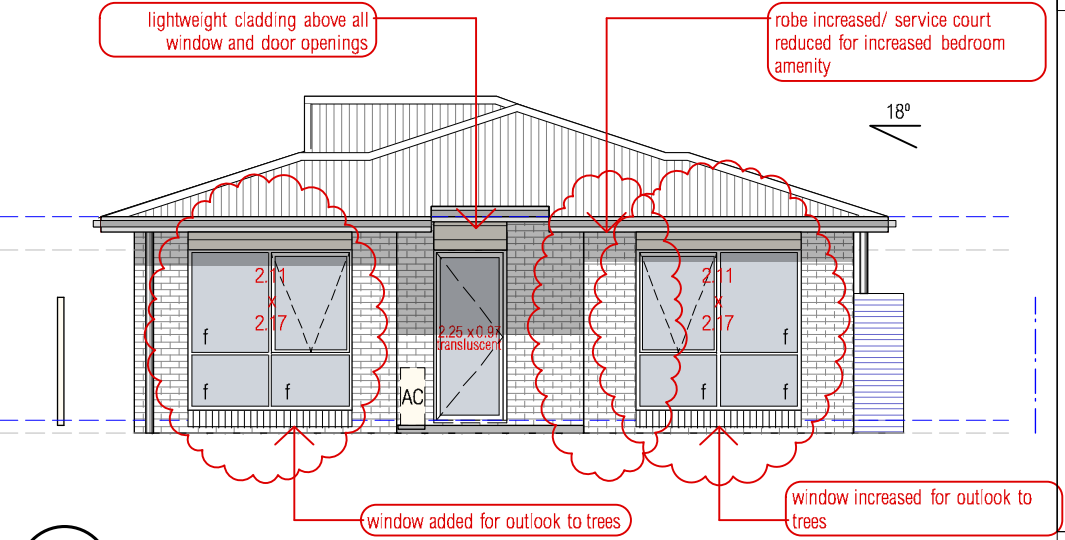
01 ROOF PLAN

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A	29.03.16	S96 ISSUE	
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project management MORGAN MOORE ph: 02 9957 6188			
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project ARV AT WARRIWOOD BROOK			
for/client 			
location MACPHERSON STREET			
at WARRIWOOD BROOK			
drawing ROOF PLAN: ILU TYPE D - w (REVERSE) FT			
stage	project no.	dwg no.	
CC / S96	731	DwR-ft102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

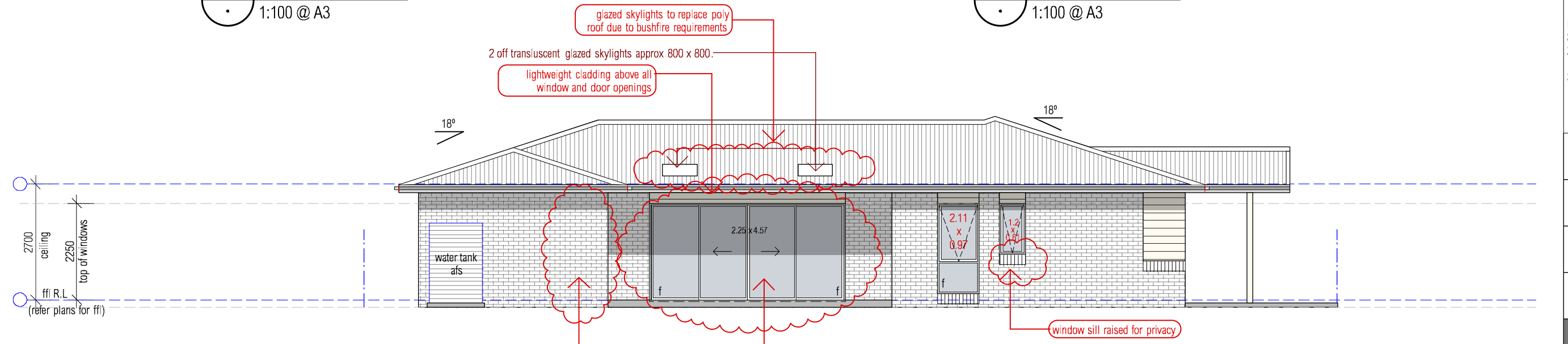
notes		
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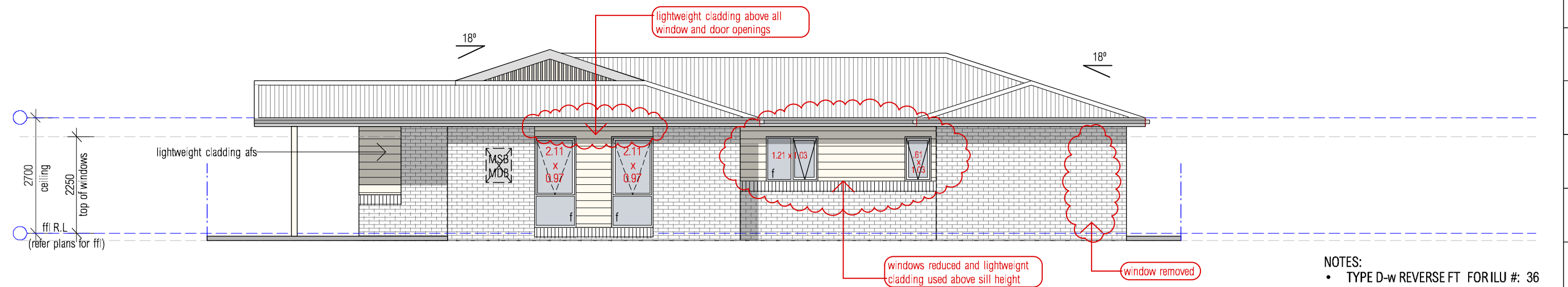
● STREET ELEVATION
● 1:100 @ A3



● REAR ELEVATION
● 1:100 @ A3



● COURTYARD ELEVATION
● 1:100 @ A3



● SIDE ELEVATION
● 1:100 @ A3

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architects registration : 6239

project
ARV AT WARRIWOOD BROOK



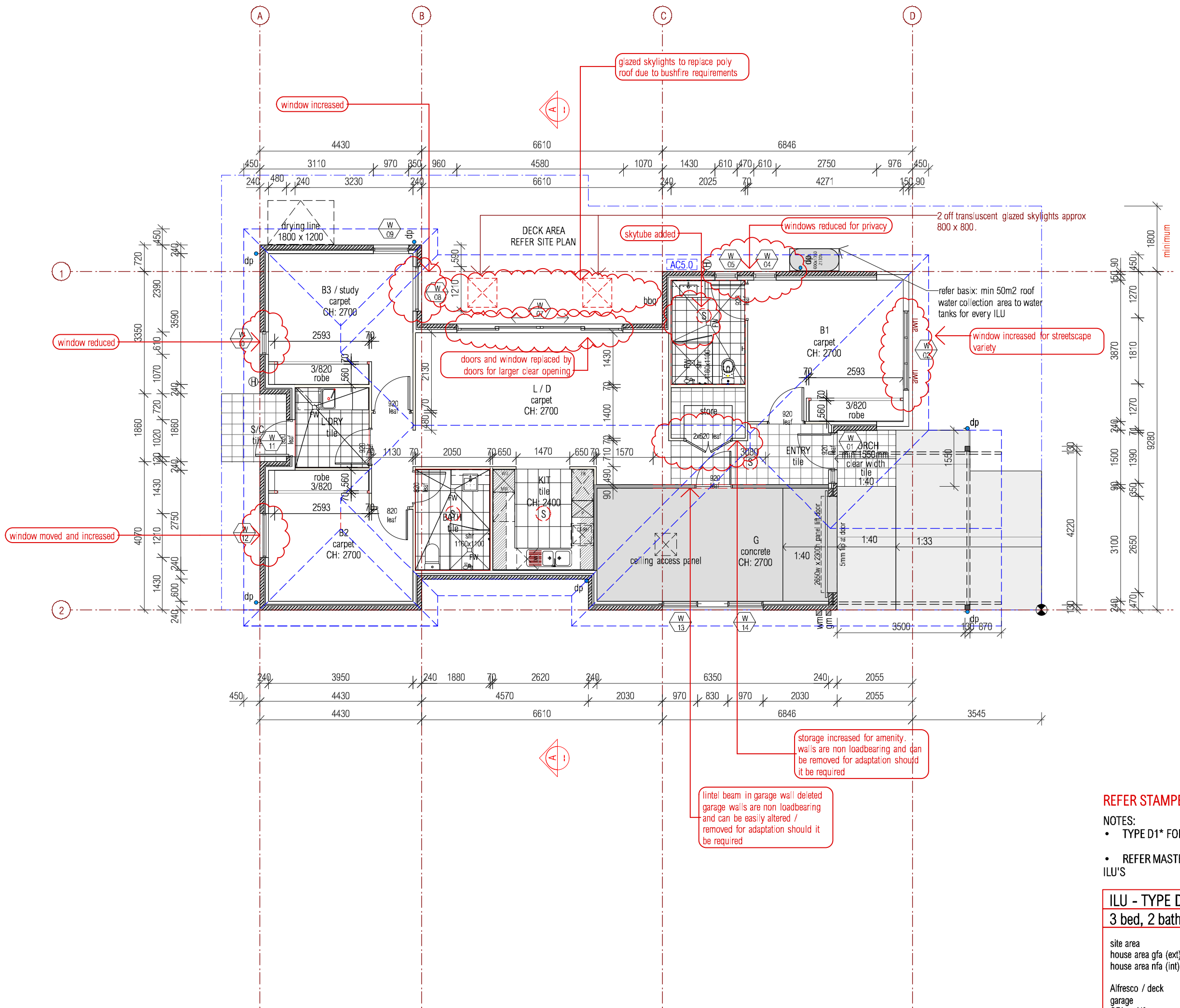
location
MACPHERSON STREET


at
WARRIWOOD BROOK

drawing
ELEVATIONS -TYPE D-w(REVERSE) FT

stage	project no.	dwg no.	
CC / S96	731	DwR-ft103	
chkd	dwn	date	issue
TW	CK	29/03/16	A

NOTES:
• TYPE D-w REVERSE FT FOR ILU #: 36
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S



notes all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.								
<table border="1"> <thead> <tr> <th>rev</th> <th>date</th> <th>amendment</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>29.03.16</td> <td>S96 ISSUE</td> </tr> </tbody> </table>	rev	date	amendment	A	29.03.16	S96 ISSUE		
rev	date	amendment						
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environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239								
project ARV AT WARRIWOOD BROOK								
								
location MACPHERSON STREET								
at WARRIWOOD BROOK								
drawing PLAN: ILU TYPE D1*								
stage CC / S96	project no. 731	dwg no. D1*101						
chkd TW	dwn CK	date 29/03/16						
		issue A						

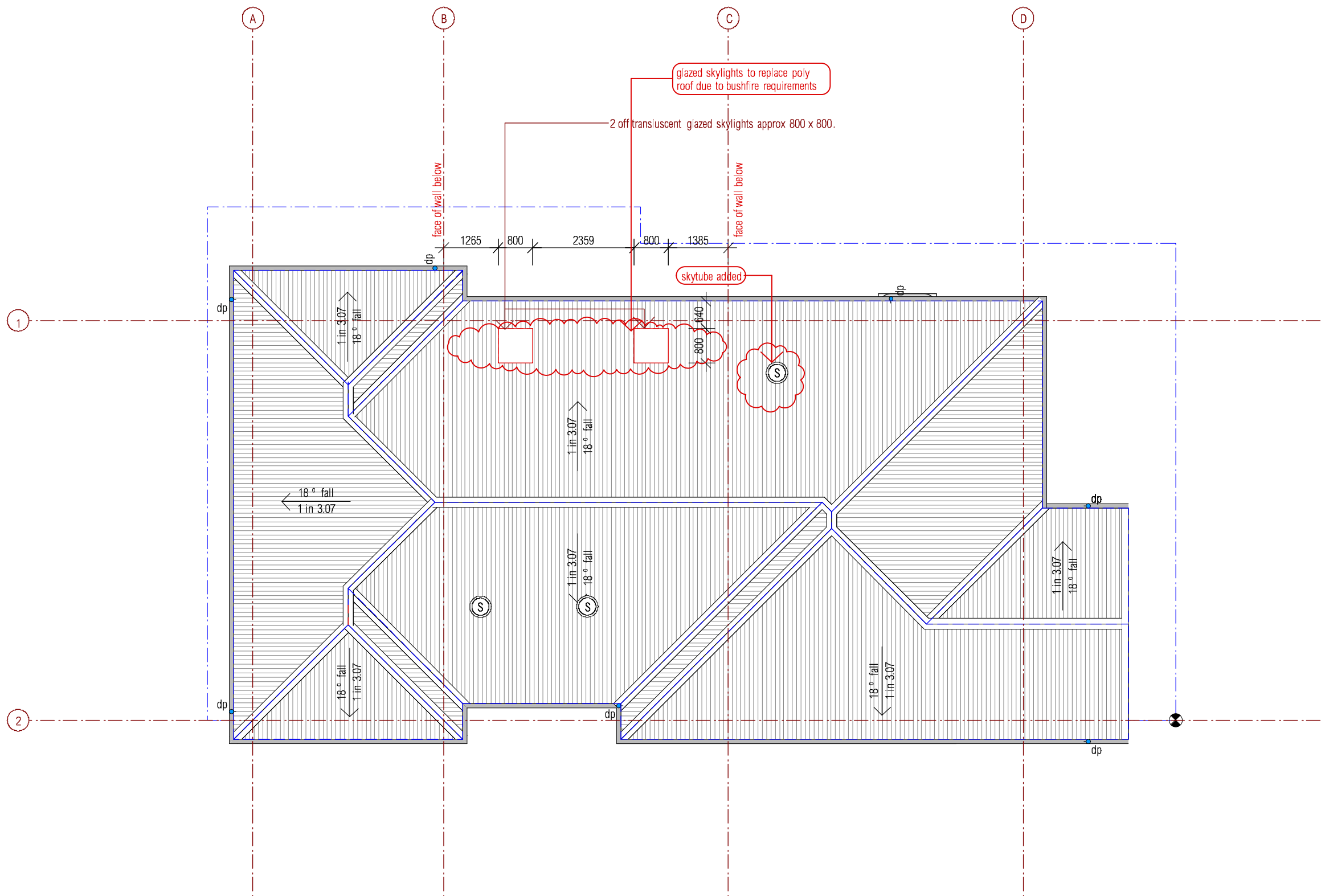
REFER STAMPED CC ILU TYPE D1

NOTES:


- TYPE D1* FOR ILU #: 57
- REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE D1*	
3 bed, 2 bath	
site area	
house area gfa (ext)	121.7 sqm
house area nfa (int)	109.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	169.3 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS



01 ROOF PLAN

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rev	date	amendment	
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<p>project</p> <p>ARV AT WARRIEWOOD BROOK</p>			
<p>for/client</p> 			
<p>location</p> <p>MACPHERSON STREET</p>			
<p>at</p> <p>WARRIEWOOD BROOK</p>			
<p>drawing</p> <p>ROOF PLAN - TYPE D1*</p>			
stage	project no.	dwg no.	
CC / S96	731	D1*102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

notes		
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 architects registration : 6239

project
ARV AT WARRIWOOD BROOK

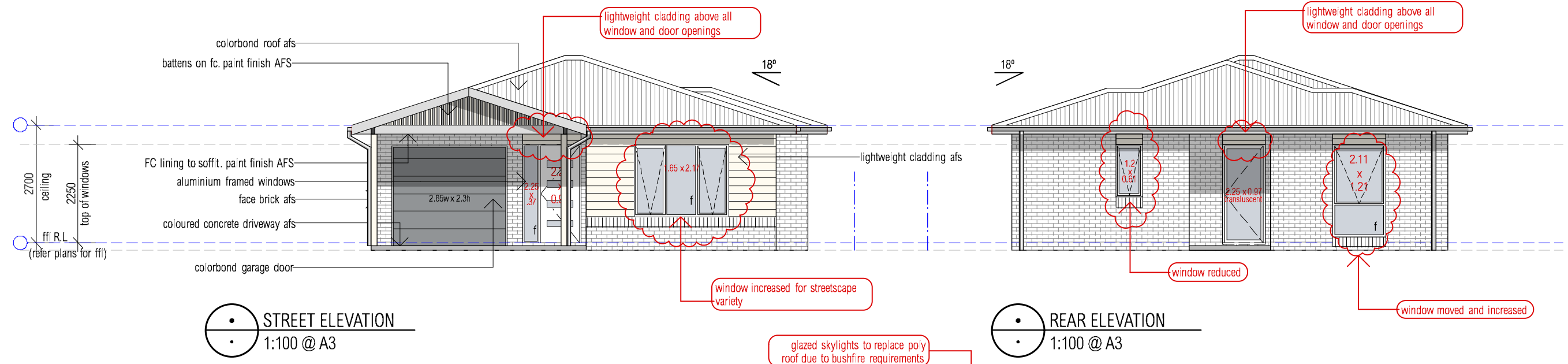


location
MACPHERSON STREET

at
WARRIWOOD BROOK

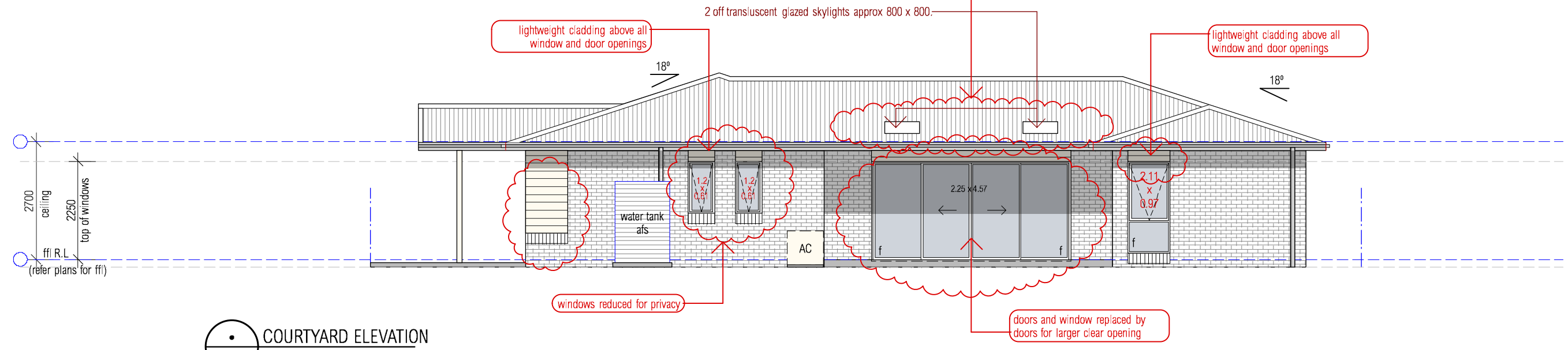
drawing
ELEVATIONS - TYPE D1*

stage	project no.	dwg no.	
CC / S96	731	D1*103	
chkd	drwn	date	issue
TW	CK	29/03/16	A

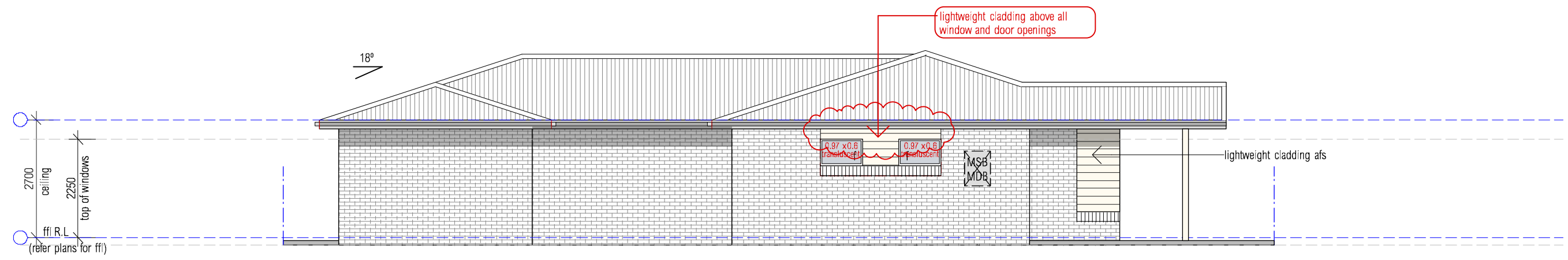


STREET ELEVATION
 1:100 @ A3

REAR ELEVATION
 1:100 @ A3

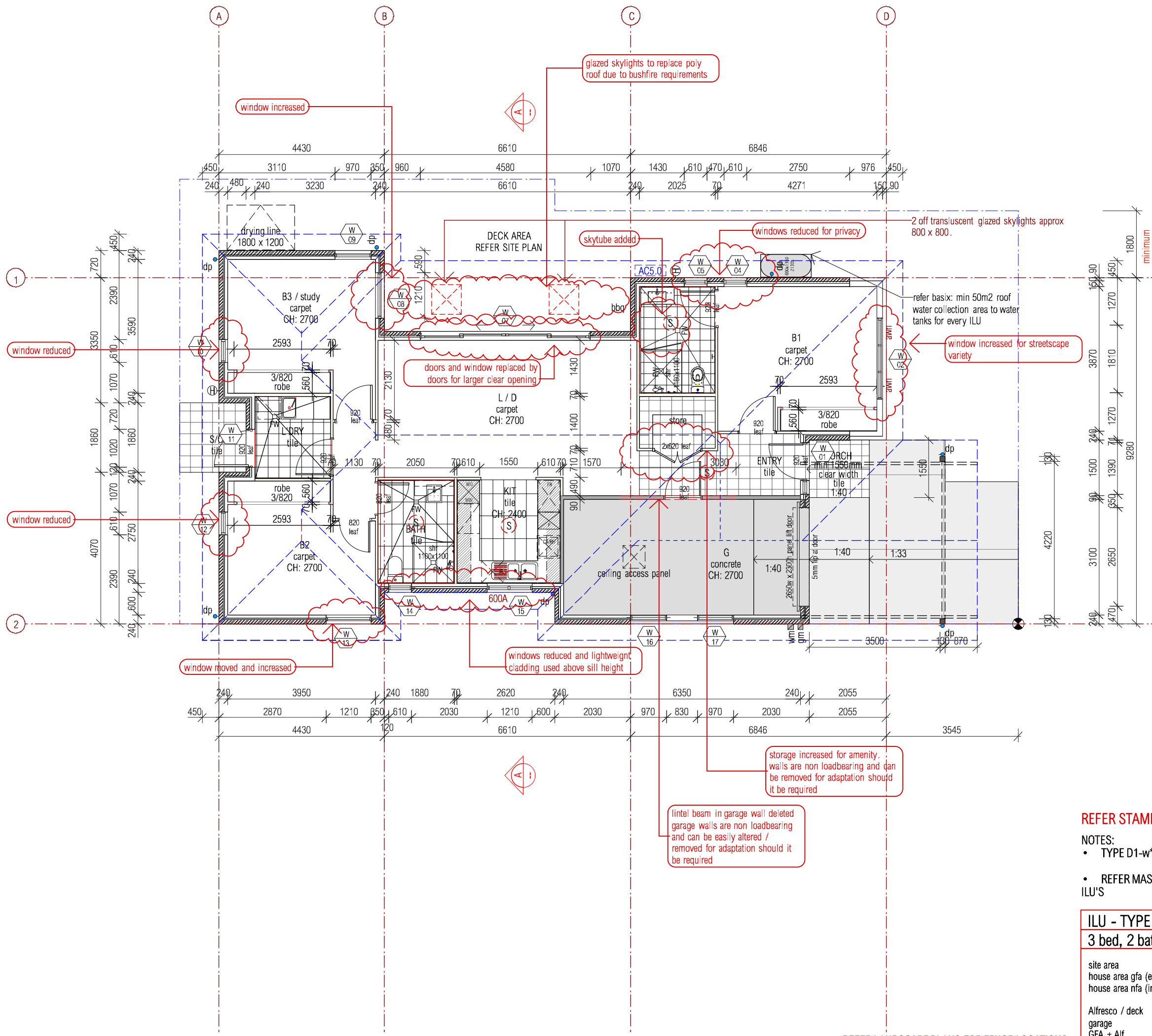


COURTYARD ELEVATION
 1:100 @ A3



SIDE ELEVATION
 1:100 @ A3

NOTES:
 • TYPE D1* FOR ILU #: 57
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S



notes

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 architects registration : 6239

project
 ARV AT WARRIWOOD BROOK



location
 MACPHERSON STREET

at
 WARRIWOOD BROOK

drawing
 PLAN: ILU TYPE D1 - w*

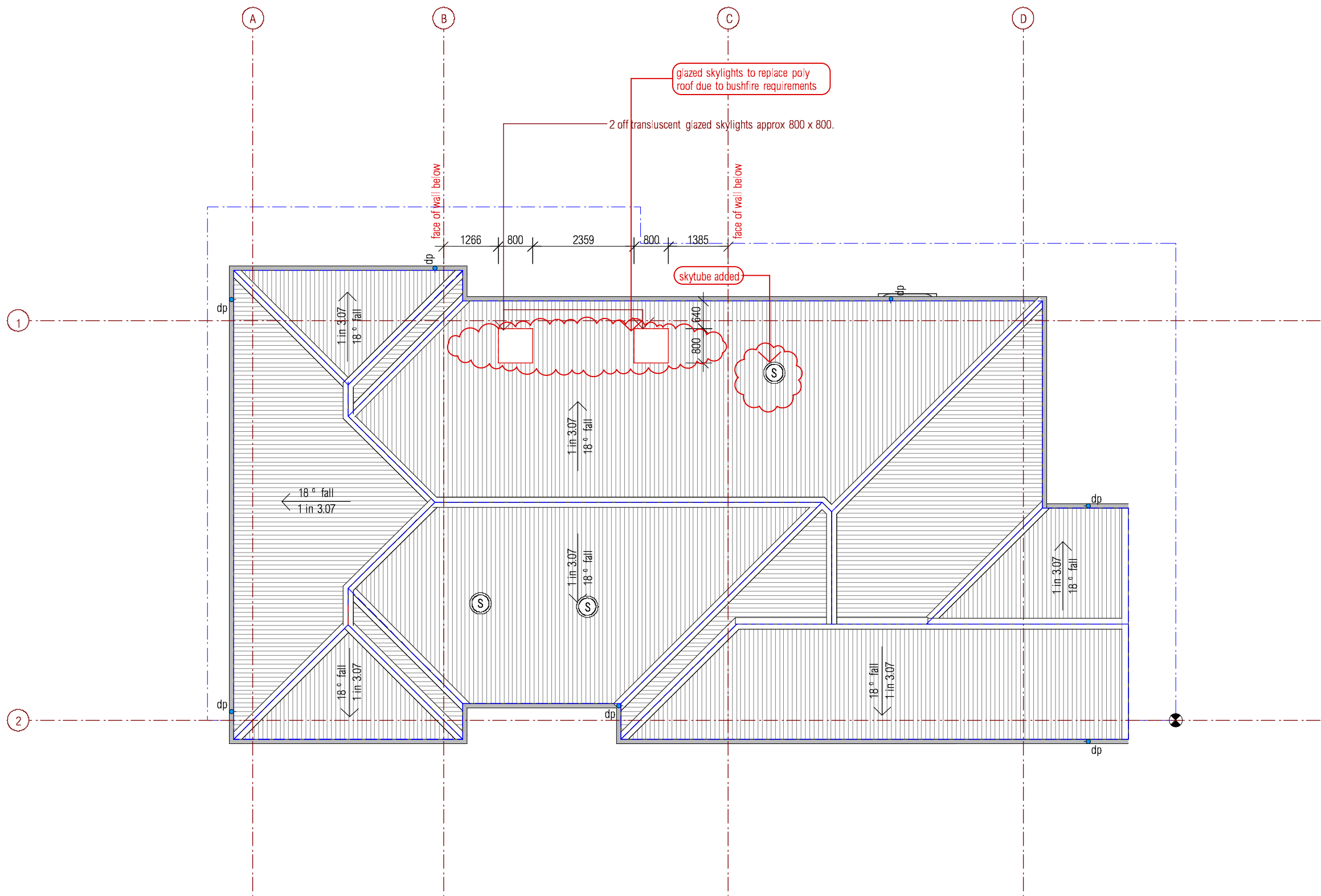
stage	project no.	dwg no.	
CC / S96	731	D1w*101	
chkd	dwn	date	issue
TW	CK	29/03/16	A

REFER STAMPED CC ILU TYPE D1


- NOTES:
- TYPE D1-w* FOR ILU #: 59
 - REFER MASTERPLAN FOR FFL RL'S OF ILU'S

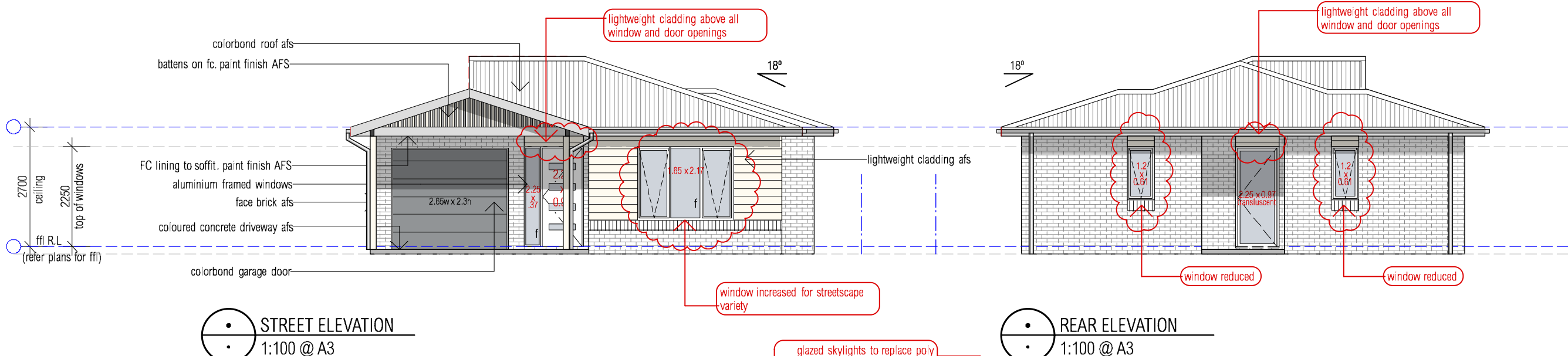
ILU - TYPE D1 - w*	
3 bed, 2 bath	
site area	
house area gfa (ext)	121.7 sqm
house area nfa (int)	109.7 sqm
Alfresco / deck	approx 25 sqm (varies)
garage	22.6sqm
GFA + Alf	169.3 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS



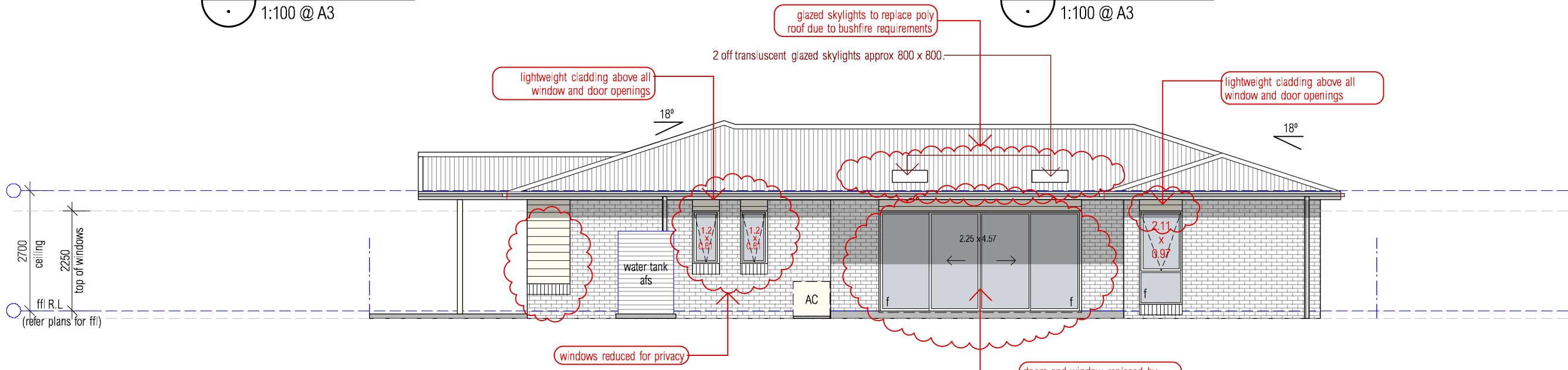
01 ROOF PLAN

notes			
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<p>project</p> <p>ARV AT WARRIWOOD BROOK</p>			
<p>for/client</p> 			
<p>location</p> <p>MACPHERSON STREET</p>			
<p>at</p> <p>WARRIWOOD BROOK</p>			
<p>drawing</p> <p>ROOF PLAN - TYPE D1 - w*</p>			
stage	project no.	dwg no.	
CC / S96	731	D1w*102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

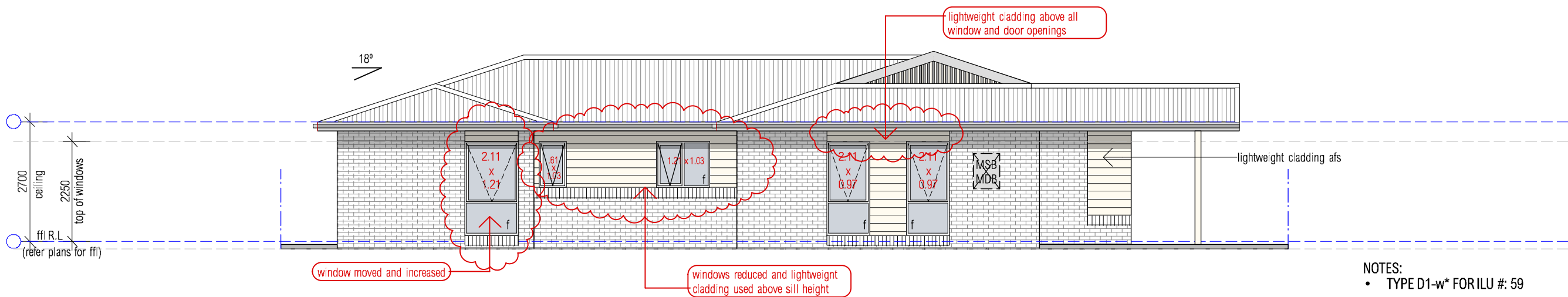


STREET ELEVATION
1:100 @ A3

REAR ELEVATION
1:100 @ A3




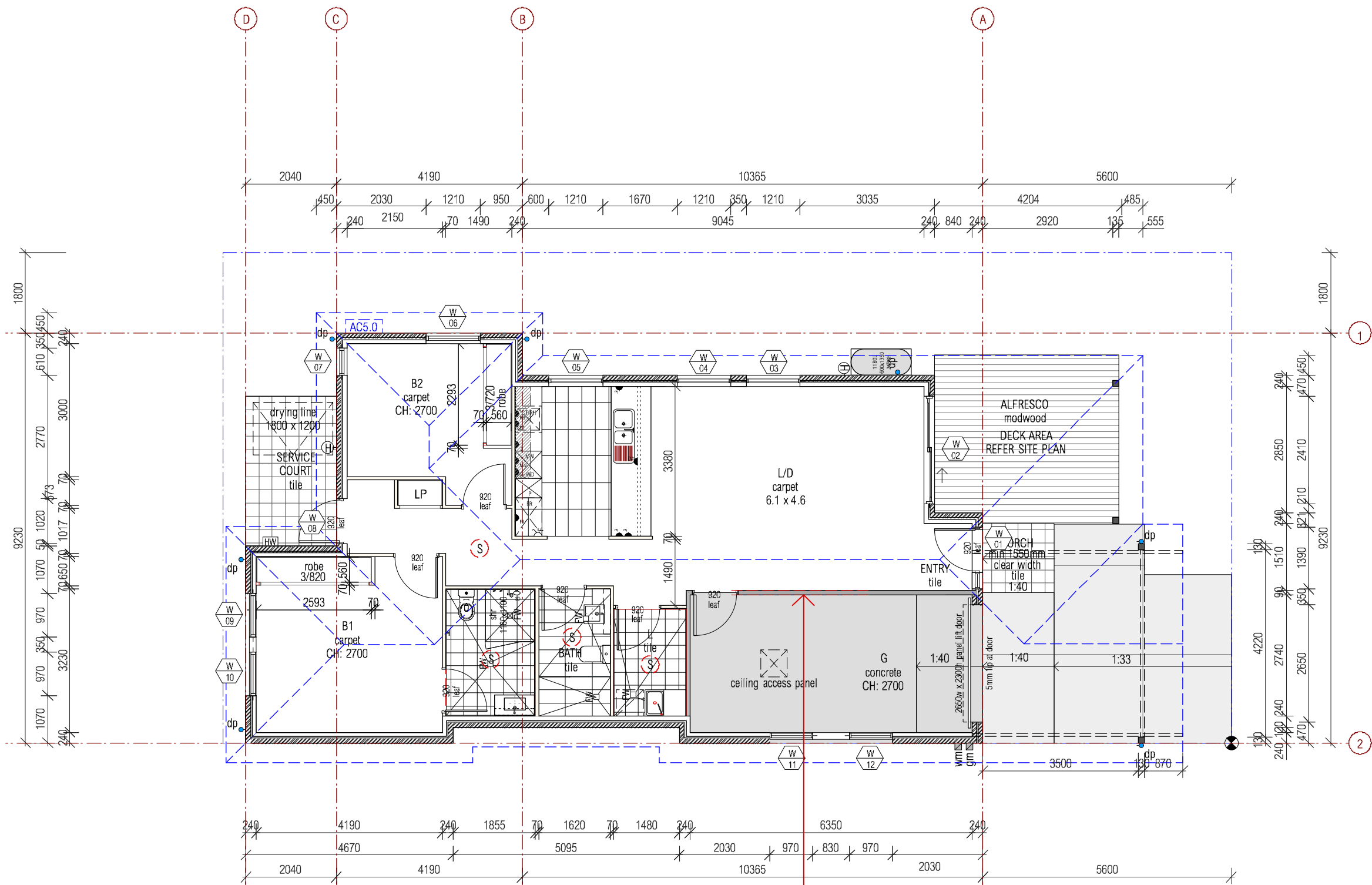
COURTYARD ELEVATION
1:100 @ A3



SIDE ELEVATION
1:100 @ A3

NOTES:
 • TYPE D1-w* FORILU # 59
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE
<p>NOTE: 1. FOR ALL BASIX/SECTION J REQUIREMENTS, REFER TO SCHEDULE - SHEETS 210, 211 2. FOR CERTIFICATION REQUIREMENTS REFER TO SCHEDULE - SHEET 920 3. FOR BAL 12.5 REQUIREMENTS REFER TO SCHEDULE - SHEET 921</p>		
project management		
MORGAN MOORE ph: 02 9957 6188		
planner		
DON FOX PLANNING ph: 02 9980 6933		
landscape architect		
JOHN LOCK & ASSOCIATES ph: 02 9969 9866		
engineer (civil / hydraulic)		
HENRY & HYMAS ph: 02 9417 8400		
<p>environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239</p>		
project		
ARV AT WARRIWOOD BROOK		
for/client		
		
location		
MACPHERSON STREET		
at		
WARRIWOOD BROOK		
drawing		
ELEVATIONS - TYPE D1 - w*		
stage	project no.	dwg no.
CC / S96	731	D1w*103
chkd	drwn	date
TW	CK	29/03/16
		issue
		A



lintel beam in garage wall deleted
garage walls are non loadbearing
and can be easily altered /
removed for adaptation should it
be required

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

NOTES:
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE E		
2 bed, 2 bath		
site area		
house area gfa (ext)	105.6 sqm	
house area nfa (int)	95.4 sqm	
Alfresco / deck	15.4 sqm varies	
garage	22.6 sqm	
GFA + Alf	143.6 sqm	

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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architects registration : 6239

project
ARV AT WARRIWOOD BROOK

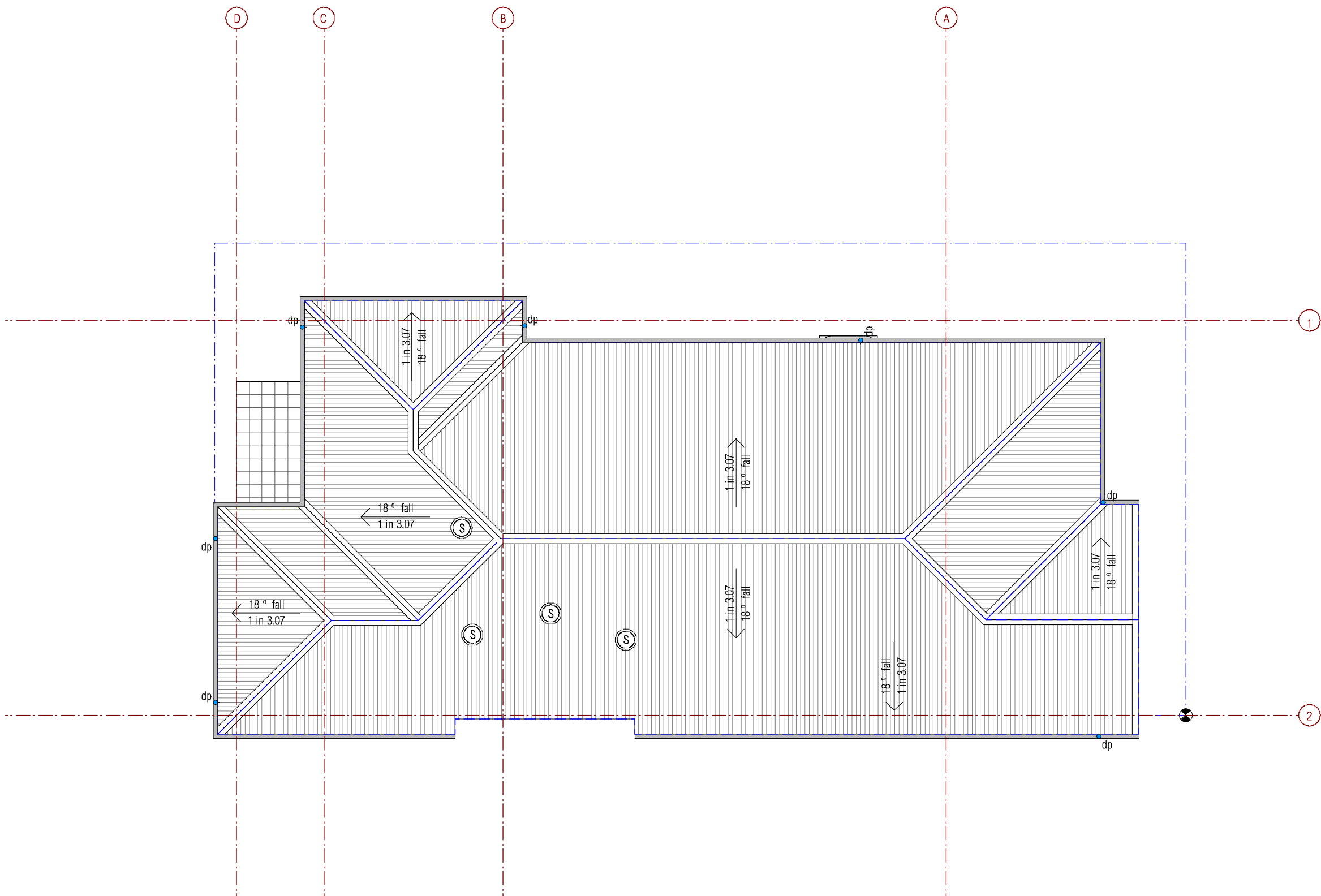


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
NEW ILU TYPE
PLAN: ILU TYPE E

stage	project no.	dwg no.	
CC / S96	731	E101	
chkd	dwn	date	issue
TW	CK	29/03/16	A



notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIWOOD BROOK

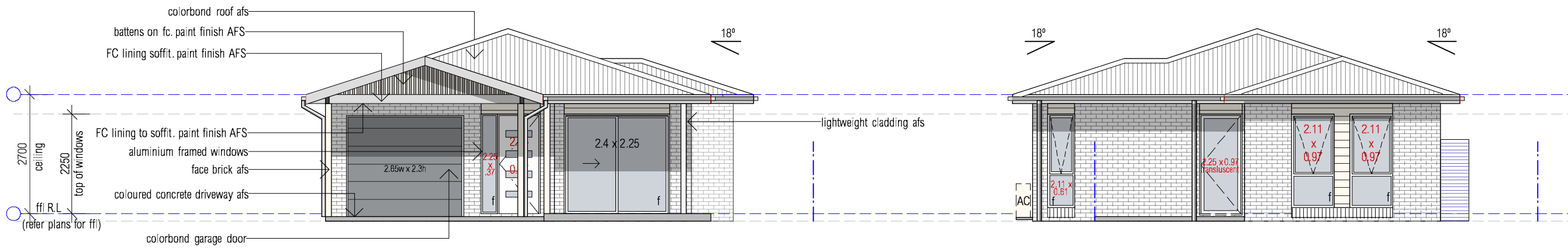


location
MACPHERSON STREET

at
WARRIWOOD BROOK

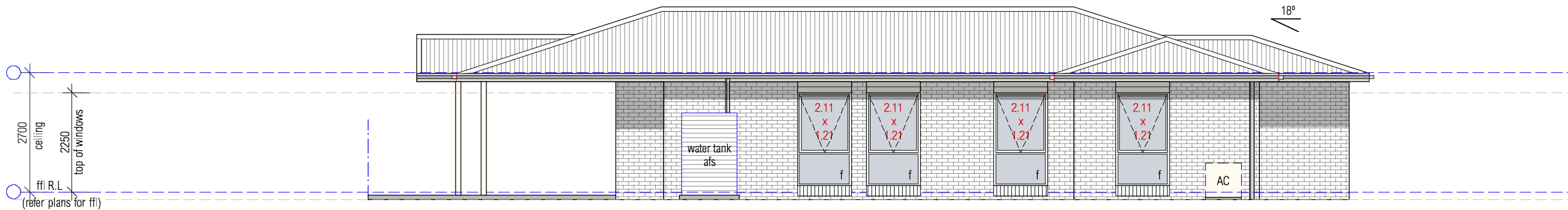
drawing **NEW ILU TYPE**
ROOF PLAN: ILU TYPE E

stage	project no.	dwg no.	
CC / S96	731	E102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

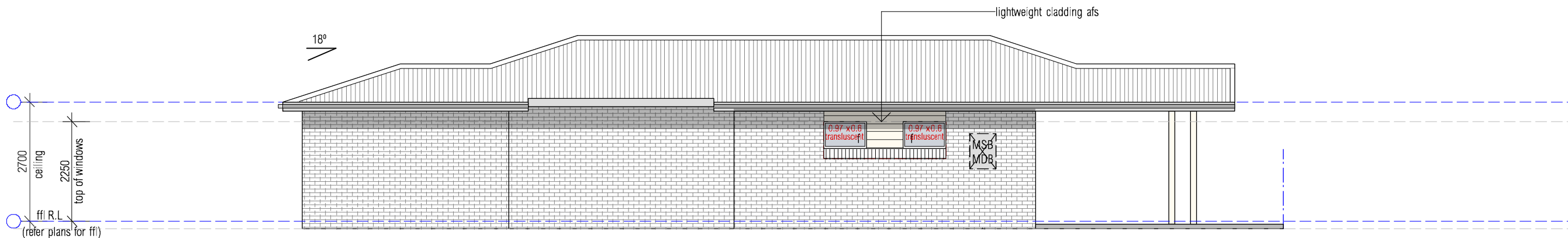


● STREET ELEVATION
● 1:100 @ A3

● REAR ELEVATION
● 1:100 @ A3



● COURTYARD ELEVATION
● 1:100 @ A3



● SIDE ELEVATION
● 1:100 @ A3

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
NEW ILU TYPE
ELEVATIONS - TYPE E

stage	project no.	dwg no.	
CC / S96	731	E103	
chkd	drwn	date	issue
TW	CK	29/03/16	A

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIWOOD BROOK

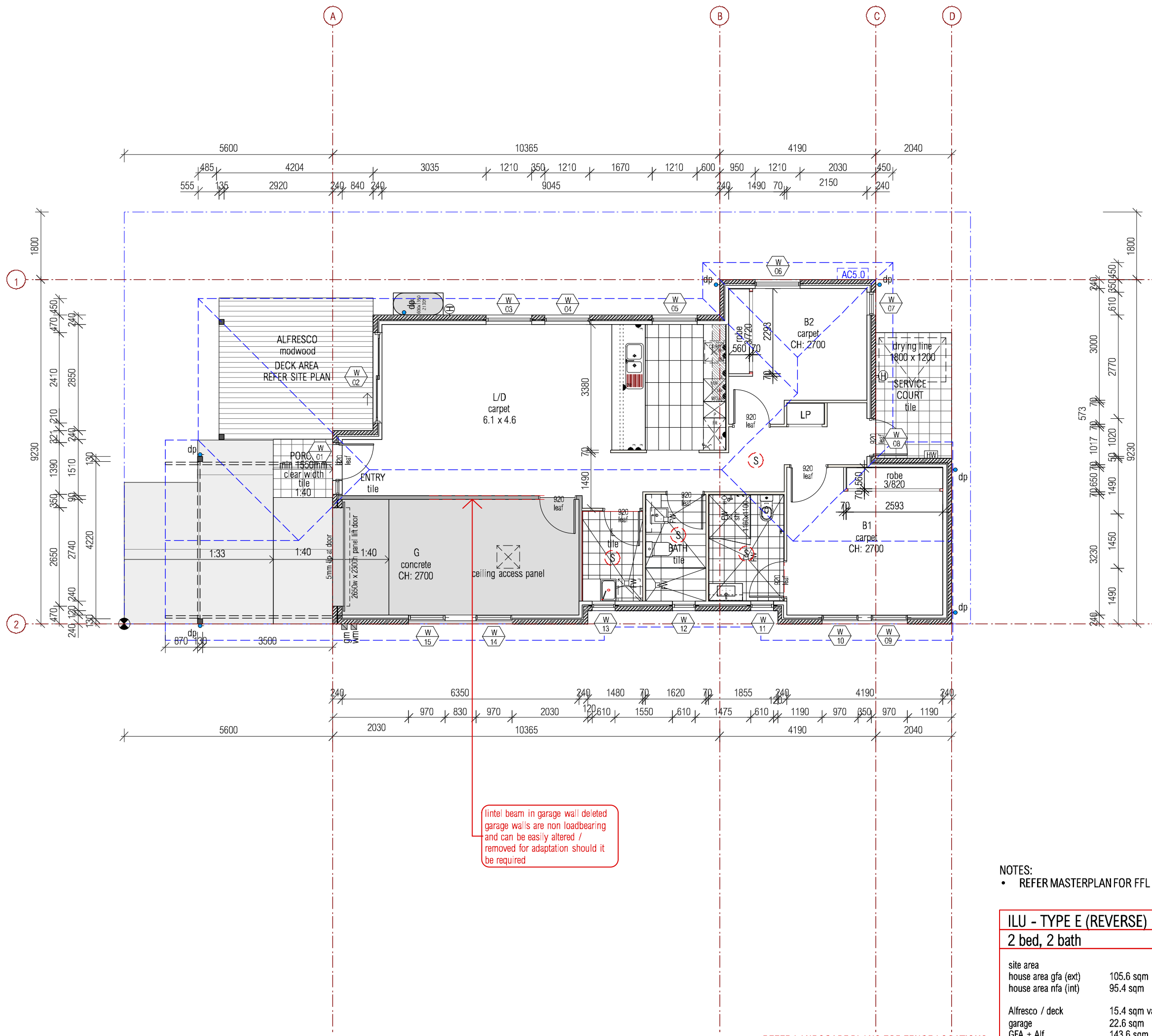


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
NEW ILU TYPE
 PLAN: ILU TYPE E (REVERSE)

stage	project no.	dwg no.	
CC / S96	731	ER101	
chkd	drwn	date	issue
TW	CK	29/03/16	A



lintel beam in garage wall deleted
 garage walls are non loadbearing
 and can be easily altered /
 removed for adaptation should it
 be required

NOTES:
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE E (REVERSE)	
2 bed, 2 bath	
site area	
house area gfa (ext)	105.6 sqm
house area nfa (int)	95.4 sqm
Alfresco / deck	15.4 sqm varies
garage	22.6 sqm
GFA + Alf	143.6 sqm

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIEWOOD BROOK



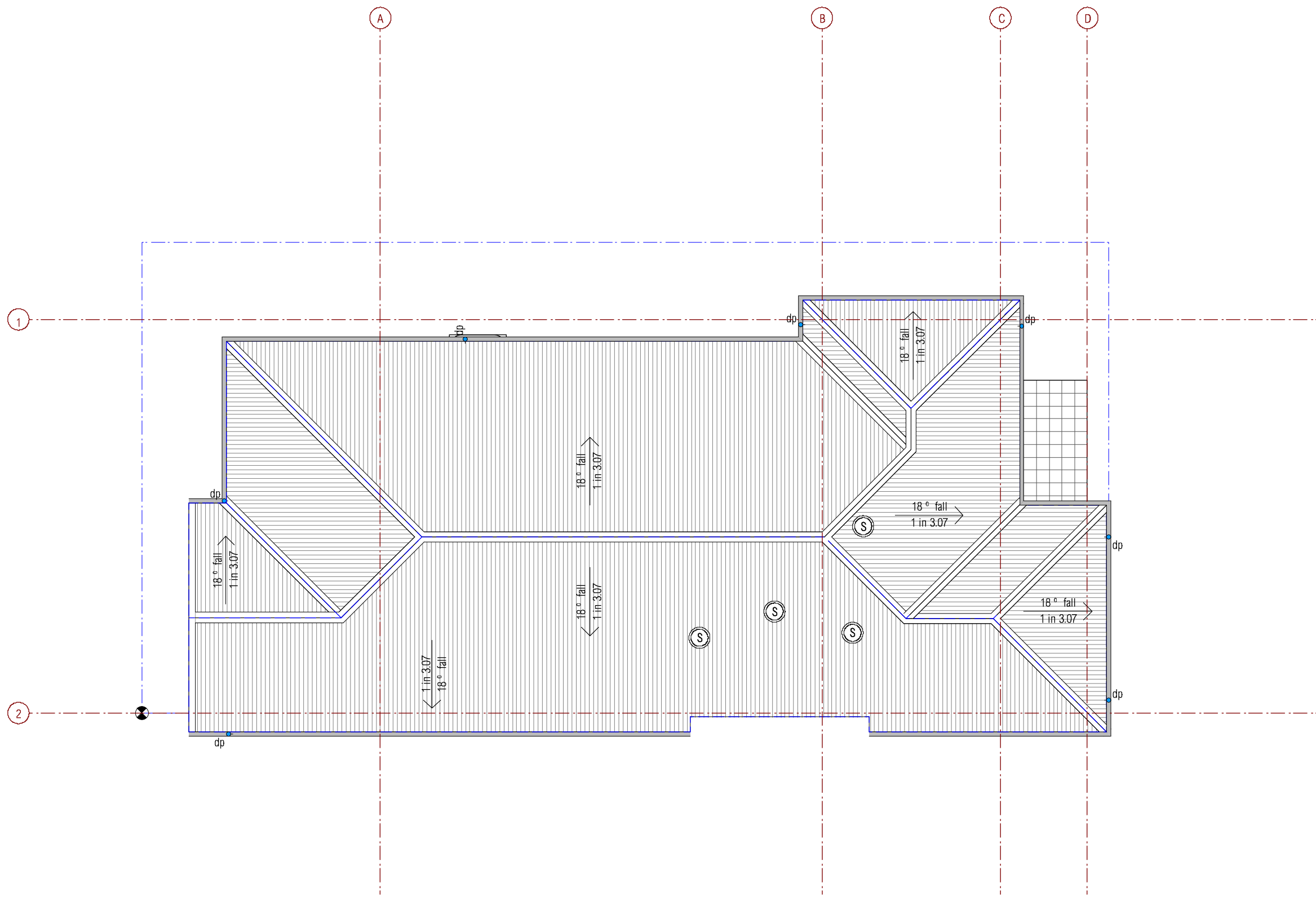
location
MACPHERSON STREET

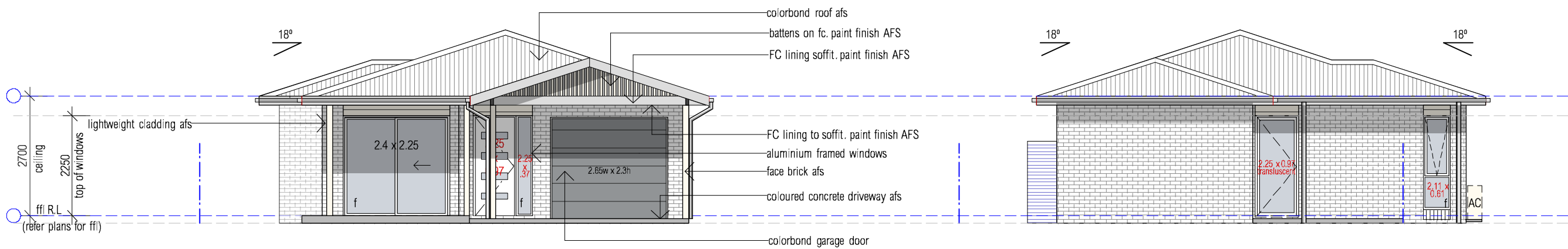
at
WARRIEWOOD BROOK

drawing **NEW ILU TYPE**
ROOF PLAN: ILU TYPE E (REVERSE)

stage	project no.	dwg no.
CC / S96	731	ER102

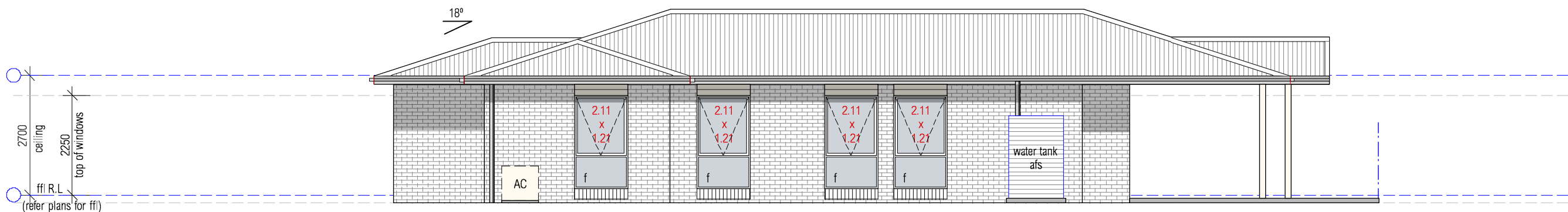
chkd	drwn	date	issue
TW	CK	29/03/16	A



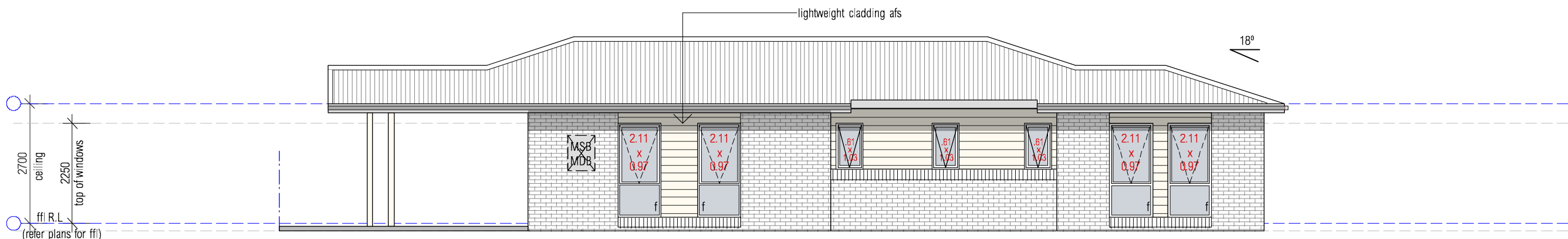


•
•
•
STREET ELEVATION
1:100 @ A3

•
•
•
REAR ELEVATION
1:100 @ A3



•
•
•
COURTYARD ELEVATION
1:100 @ A3



•
•
•
SIDE ELEVATION
1:100 @ A3

notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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architects registration : 6239

project
ARV AT WARRIWOOD BROOK



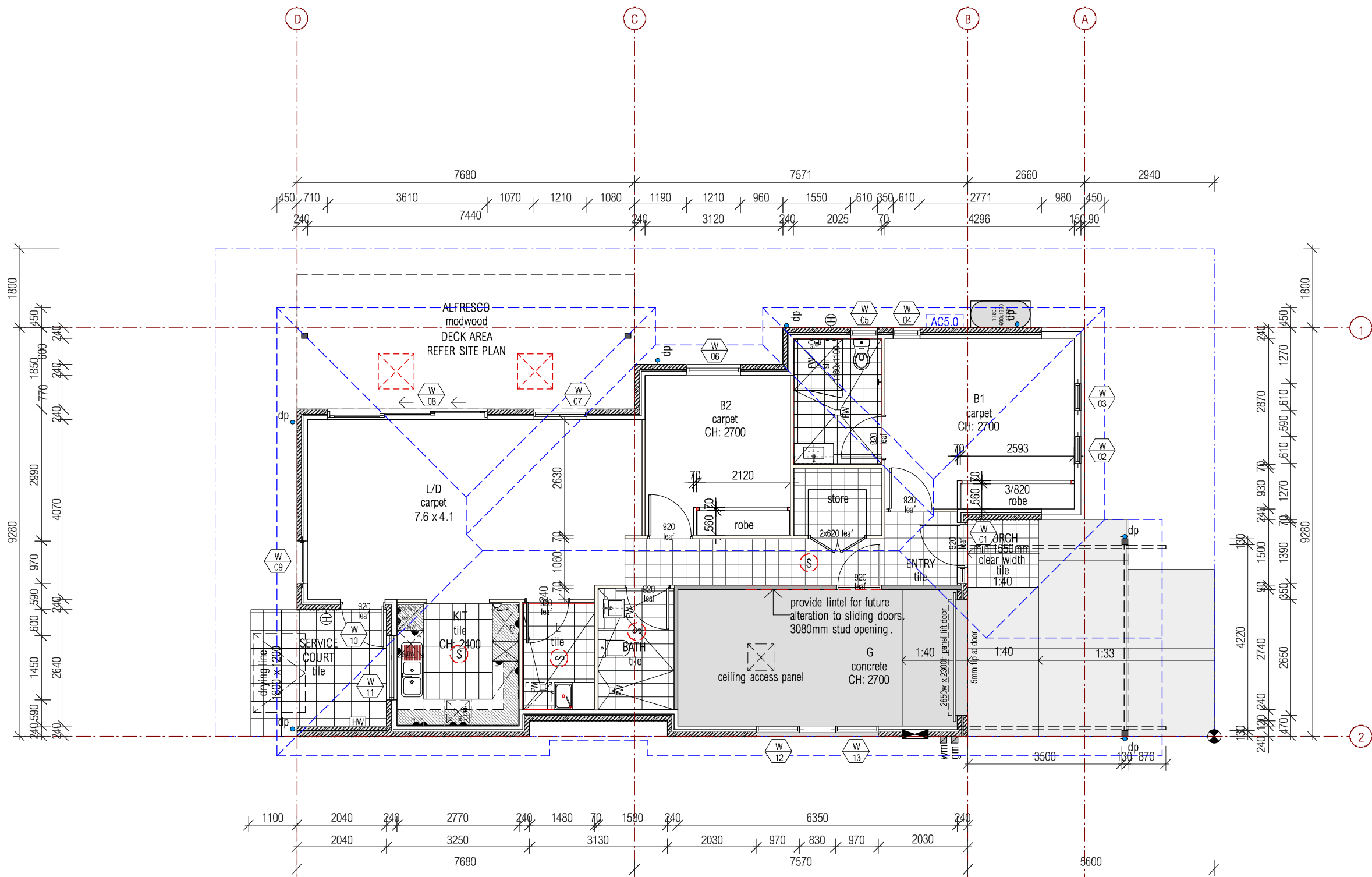
location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
NEW ILU TYPE
ELEVATIONS - TYPE E (REVERSE)

stage	project no.	dwg no.
CC / S96	731	ER103

chkd	drwn	date	issue
TW	CK	29/03/16	A



REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

NOTES:
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE F	
2 bed, 2 bath	
site area	
house area gfa (ext)	106.8 sqm
house area nfa (int)	95.8 sqm
Alfresco / deck	23.0 sqm varies
garage	22.6 sqm
GFA + Alf	152.4 sqm

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project management
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 architects registration : 6239

project
ARV AT WARRIWOOD BROOK

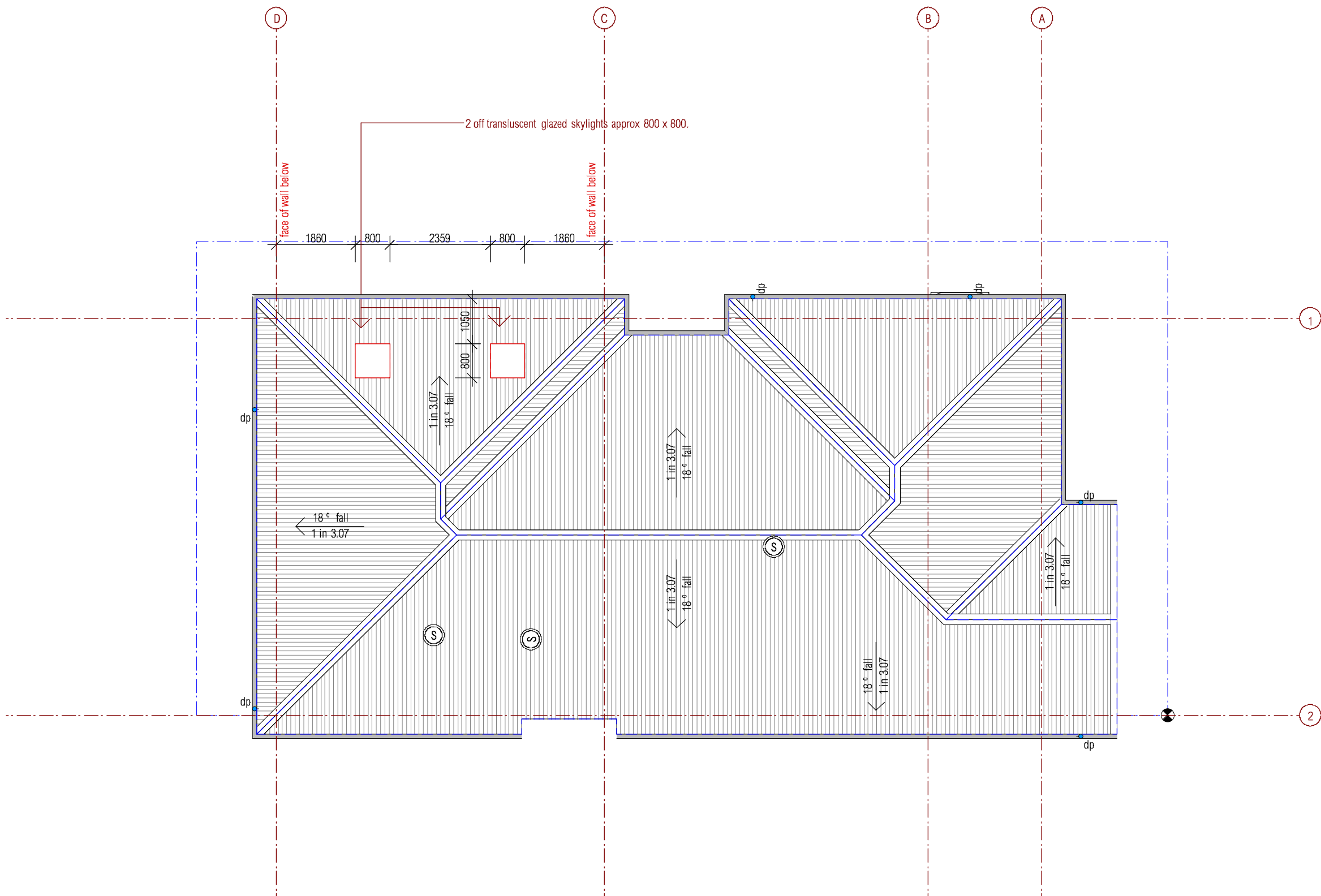


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
NEW ILU TYPE
 PLAN: ILU TYPE F

stage	project no.	dwg no.	
CC / S96	731	F101	
chkd	dwn	date	issue
TW	CK	29/03/16	A



notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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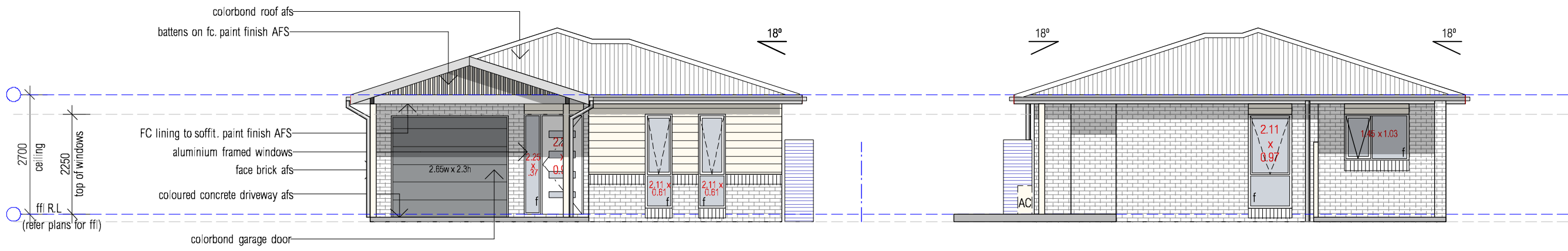
location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing **NEW ILU TYPE**
ROOF PLAN: ILU TYPE F

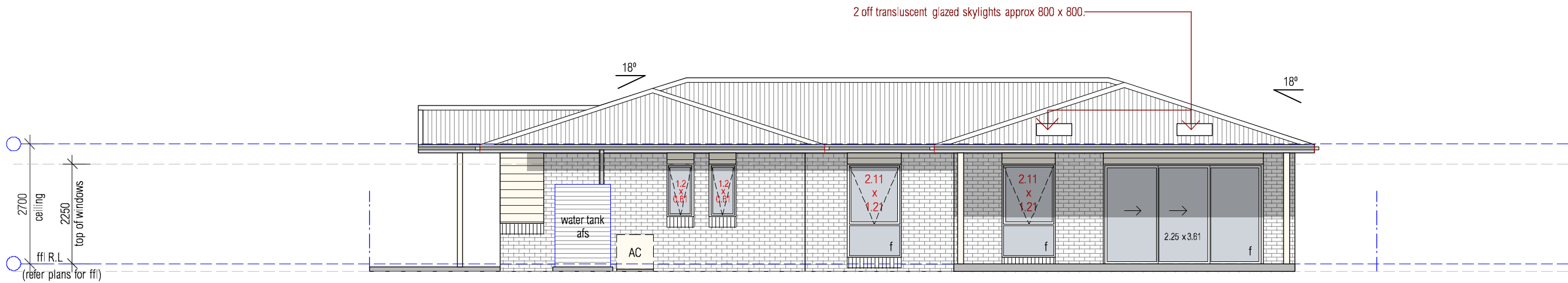
stage	project no.	dwg no.
CC / S96	731	F102

chkd	drwn	date	issue
TW	CK	29/03/16	A

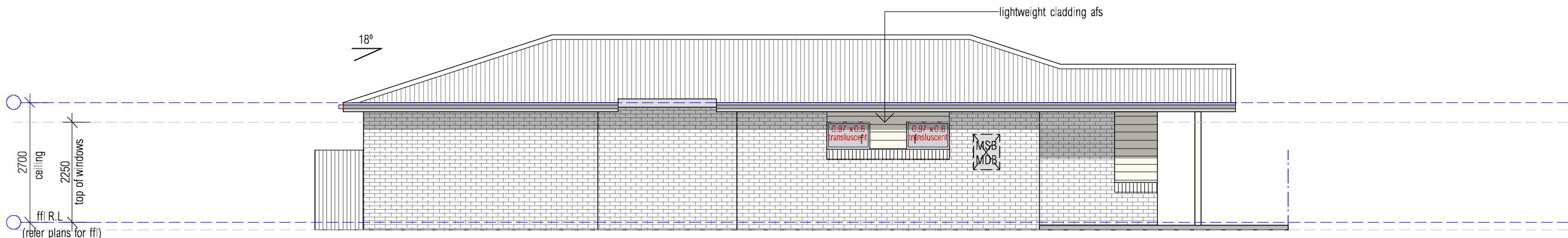


STREET ELEVATION
1:100 @ A3


REAR ELEVATION
1:100 @ A3

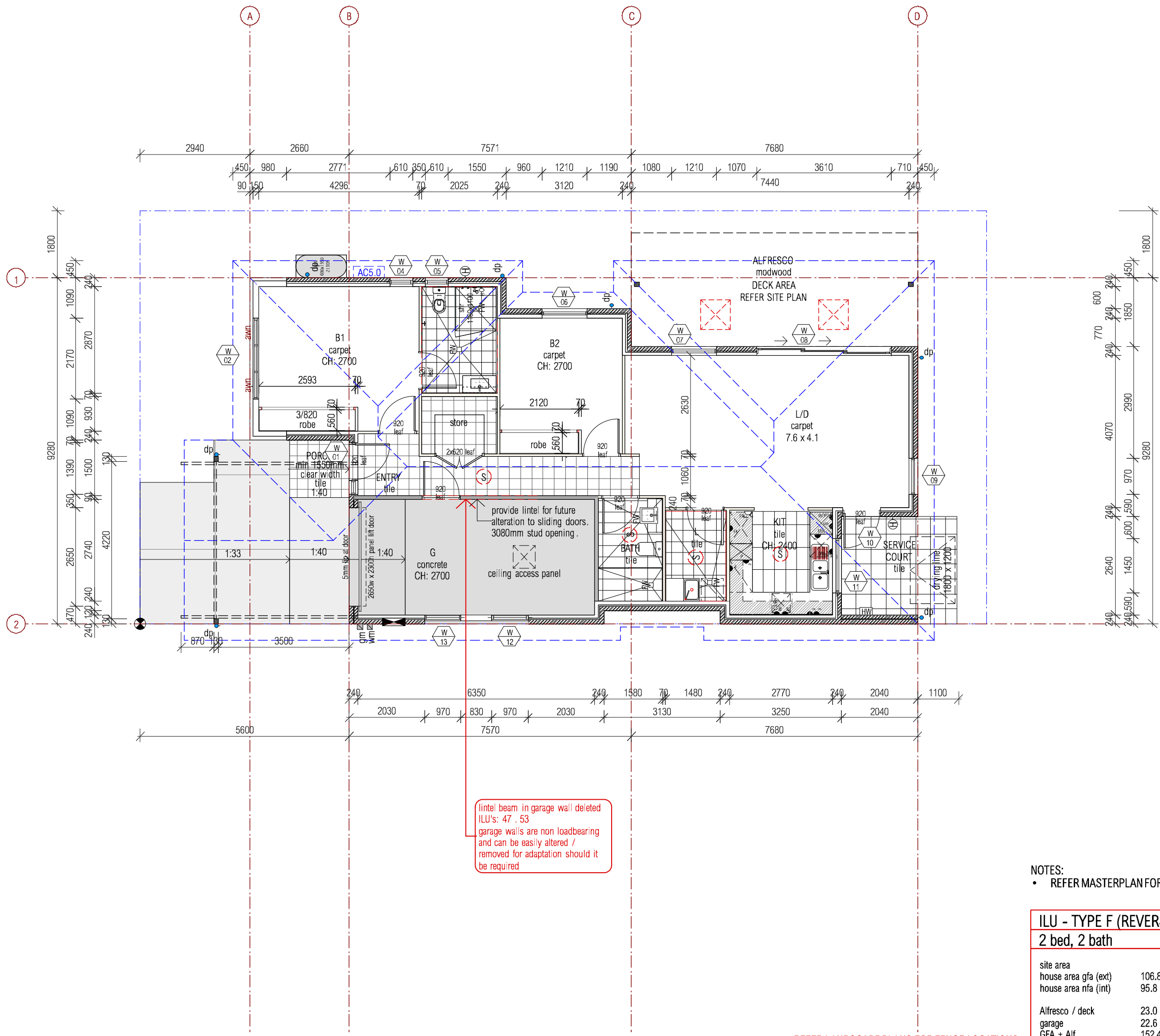


COURTYARD ELEVATION
1:100 @ A3



SIDE ELEVATION
1:100 @ A3

notes		
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project management MORGAN MOORE ph: 02 9957 6188		
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project ARV AT WARRIWOOD BROOK		
for/client 		
location MACPHERSON STREET		
at WARRIWOOD BROOK		
drawing NEW ILU TYPE ELEVATIONS - TYPE F		
stage CC / S96	project no. 731	dwg no. F103
chkd TW	drwn CK	date 29/03/16
		issue A



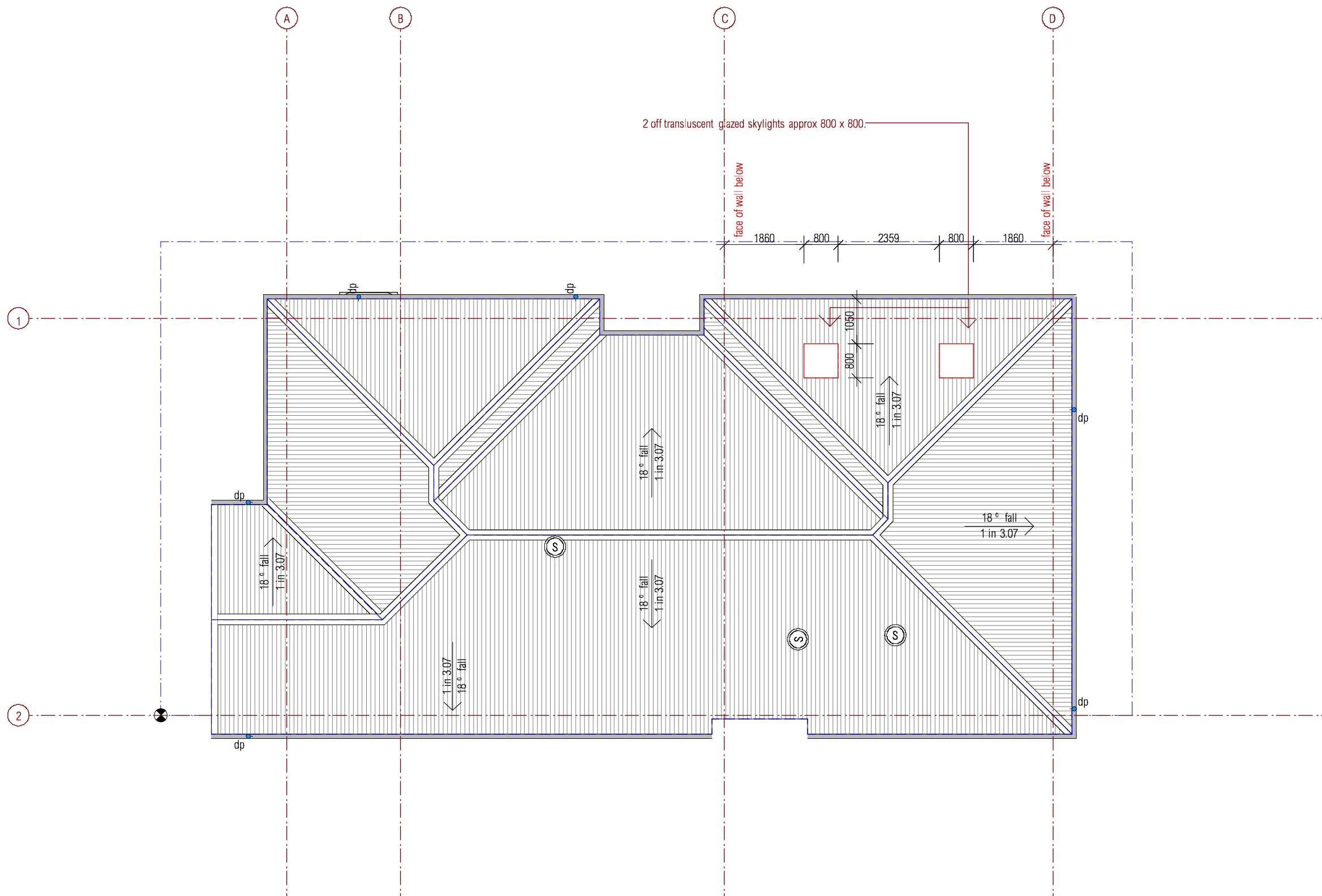
lintel beam in garage wall deleted
 ILU's: 47 . 53
 garage walls are non loadbearing
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REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

NOTES:
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE F (REVERSE)		
2 bed, 2 bath		
site area		
house area gfa (ext)	106.8 sqm	
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Alfresco / deck	23.0 sqm varies	
garage	22.6 sqm	
GFA + Alf	152.4 sqm	

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environa studio 19/151 foveaux St surry hills 2010 t: 02 9332 1211 f: 02 9332 1355 e: info@environastudio.com.au architects registration : 6239		
project ARV AT WARRIWOOD BROOK		
for/client 		
location MACPHERSON STREET		
at WARRIWOOD BROOK		
drawing NEW ILU TYPE PLAN: ILU TYPE F (REVERSE)		
stage	project no.	dwg no.
CC / S96	731	FR101
chkd	dwn	date
TW	CK	29/03/16
		issue
		A



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project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

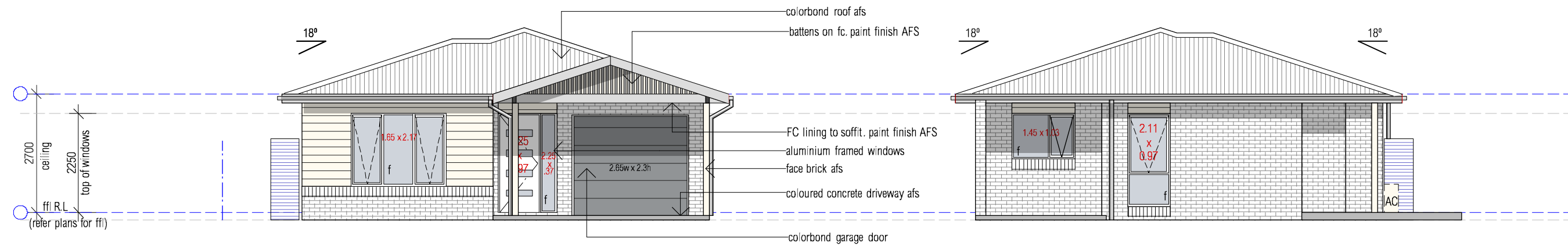
at
WARRIWOOD BROOK

drawing **NEW ILU TYPE**
ROOF PLAN: ILU TYPE F (REVERSE)

stage	project no.	dwg no.
CC / S96	731	FR102

chkd	drwn	date	issue
TW	CK	29/03/16	A

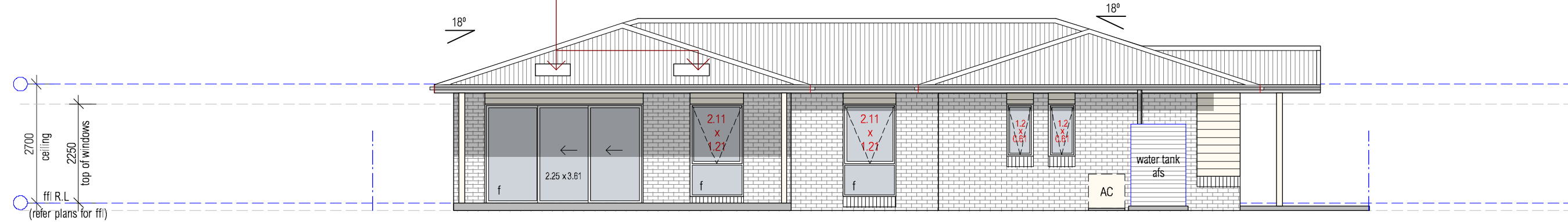
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rev	date	amendment
A	29.03.16	S96 ISSUE



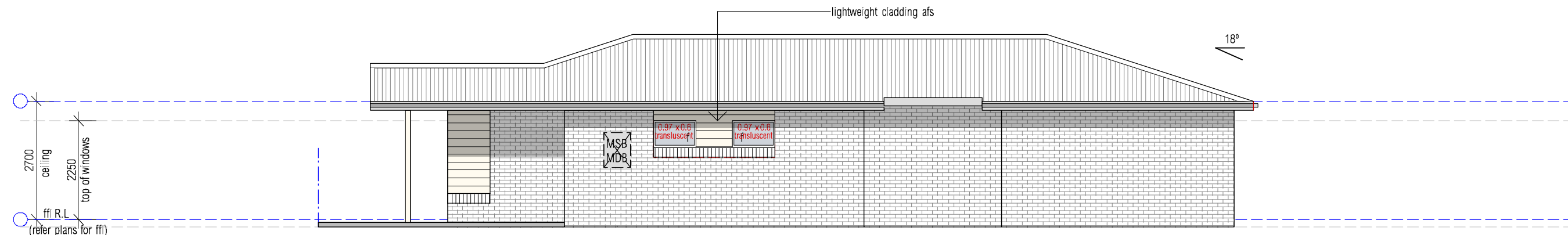
• STREET ELEVATION
• 1:100 @ A3

• REAR ELEVATION
• 1:100 @ A3

2 off transuscent glazed skylights approx 800 x 800.



• COURTYARD ELEVATION
• 1:100 @ A3



• SIDE ELEVATION
• 1:100 @ A3

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project management
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ph: 02 9957 6188

planner
DON FOX PLANNING
ph: 02 9980 6933

landscape architect
JOHN LOCK & ASSOCIATES
ph: 02 9969 9866

engineer (civil / hydraulic)
HENRY & HYMAS
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e: info@environastudio.com.au
architects registration : 6239

project
ARV AT WARRIWOOD BROOK

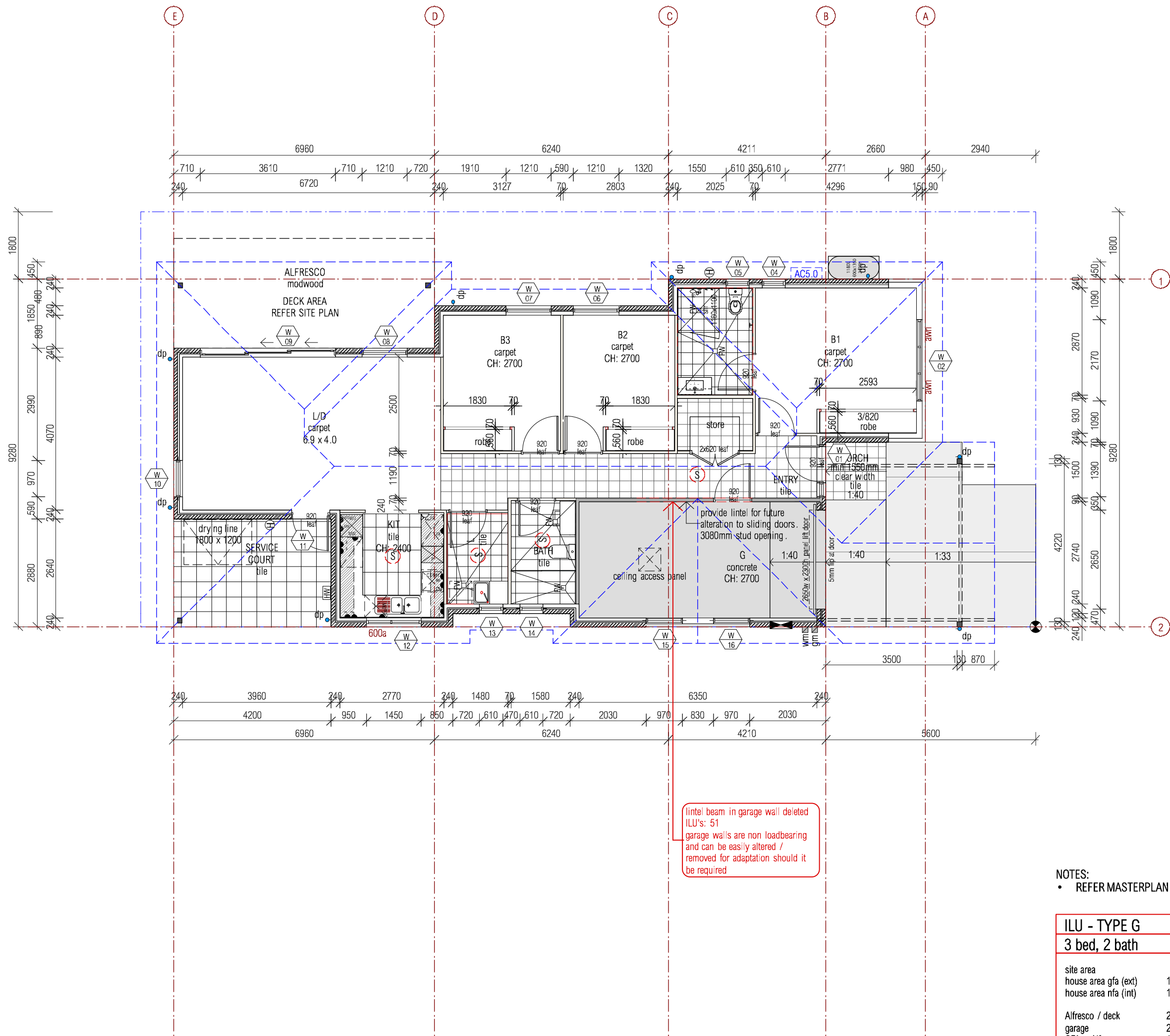


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
NEW ILU TYPE ELEVATIONS - TYPE F (REVERSE)

stage CC / S96	project no. 731	dwg no. FR103
chkd TW	drwn CK	date 29/03/16
		issue A



intel beam in garage wall deleted
 ILU's: 51
 garage walls are non loadbearing
 and can be easily altered /
 removed for adaptation should it
 be required

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

NOTES:
 • REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE G		
3 bed, 2 bath		
site area		
house area gfa (ext)	119.5sqm	
house area nfa (int)	107.5 sqm	
Alfresco / deck	20.8 sqm varies	
garage	22.6sqm	
GFA + Alf	162.9 sqm	

notes
 all work to be carried out in accordance with bca, saa codes and conditions of council . measurements in mm's unless noted . use figured dimensions. do not scale drawings . site measure before starting work . refer all discrepancies to the architect.

rev	date	amendment
A	29.03.16	S96 ISSUE

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ARV AT WARRIWOOD BROOK

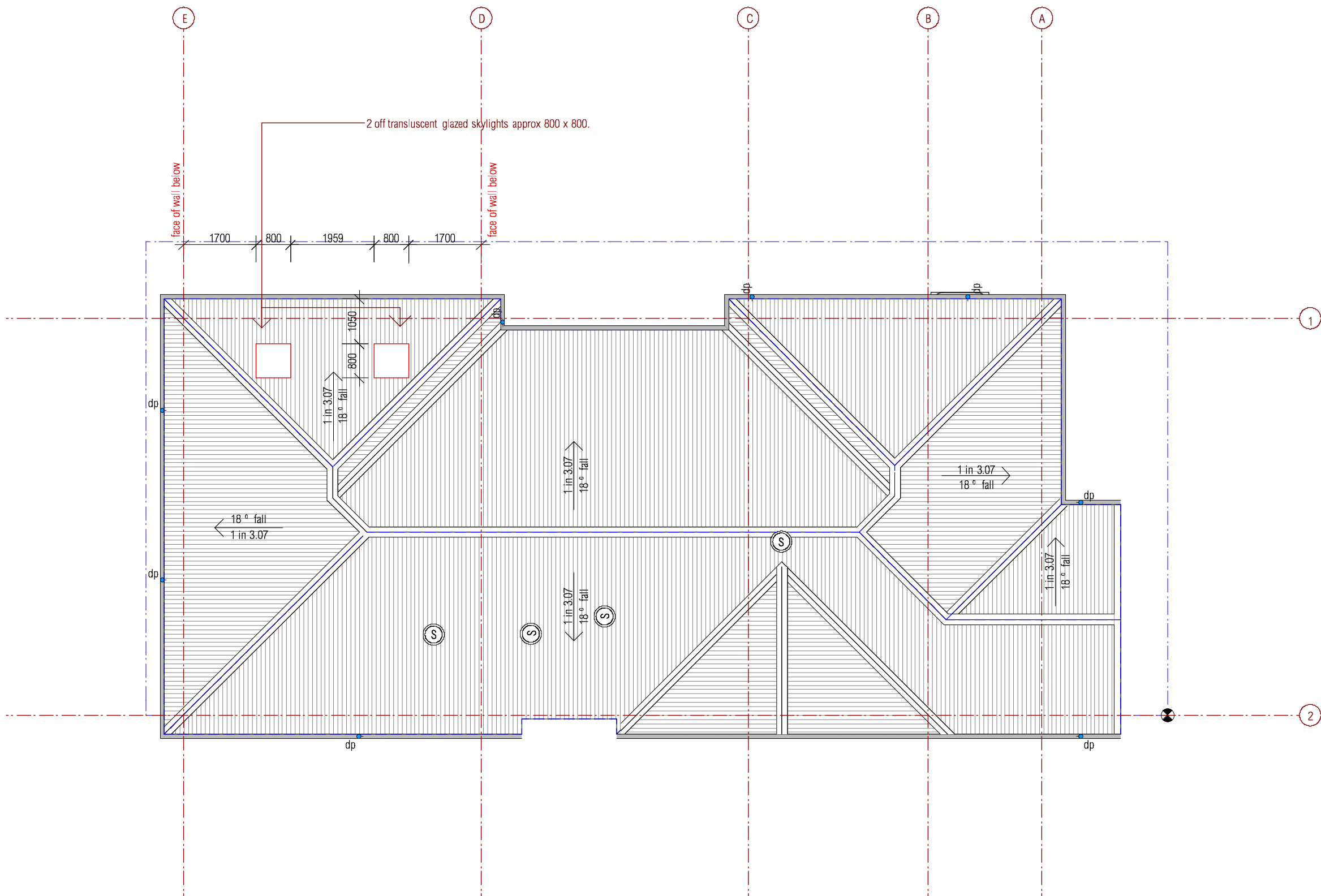
for/client


location
MACPHERSON STREET

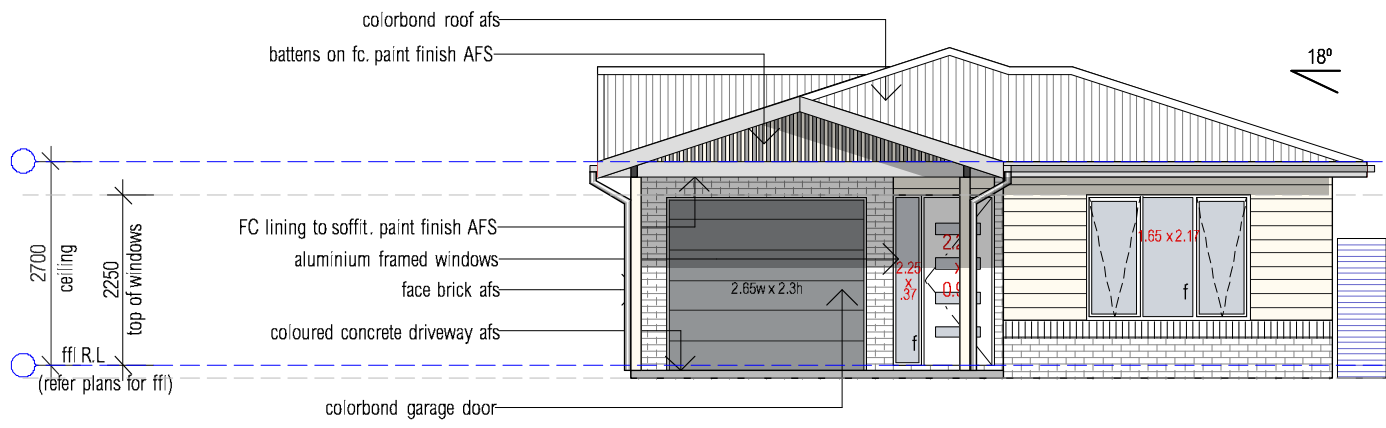
at
WARRIWOOD BROOK

drawing
NEW ILU TYPE
 PLAN: ILU TYPE G

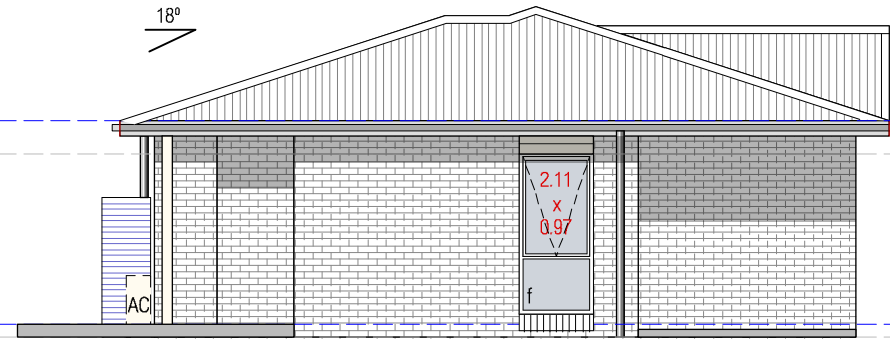
stage	project no.	dwg no.
CC / S96	731	G101
chkd	dwn	date
TW	CK	29/03/16
		issue
		A



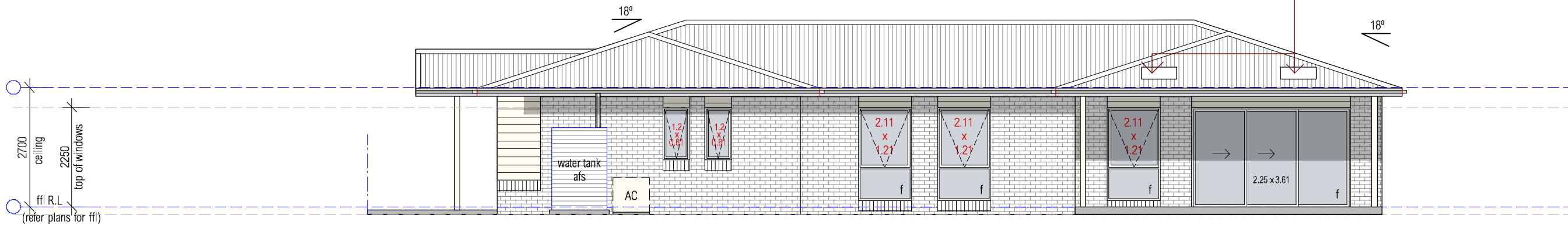
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rev	date	amendment	
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project ARV AT WARRIWOOD BROOK			
for/client 			
location MACPHERSON STREET			
at WARRIWOOD BROOK			
drawing NEW ILU TYPE ROOF PLAN: ILU TYPE G			
stage	project no.	dwg no.	
CC / S96	731	G102	
chkd	drwn	date	issue
TW	CK	29/03/16	A



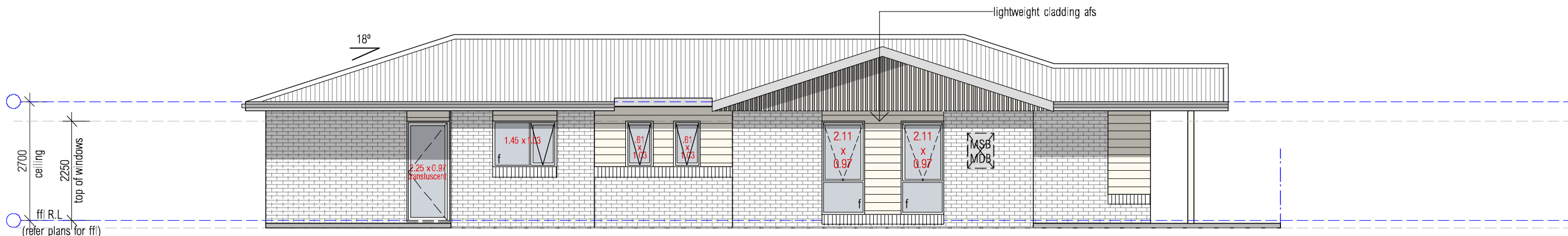
● STREET ELEVATION
● 1:100 @ A3



● REAR ELEVATION
● 1:100 @ A3



● COURTYARD ELEVATION
● 1:100 @ A3



● SIDE ELEVATION
● 1:100 @ A3

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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ARV AT WARRIWOOD BROOK

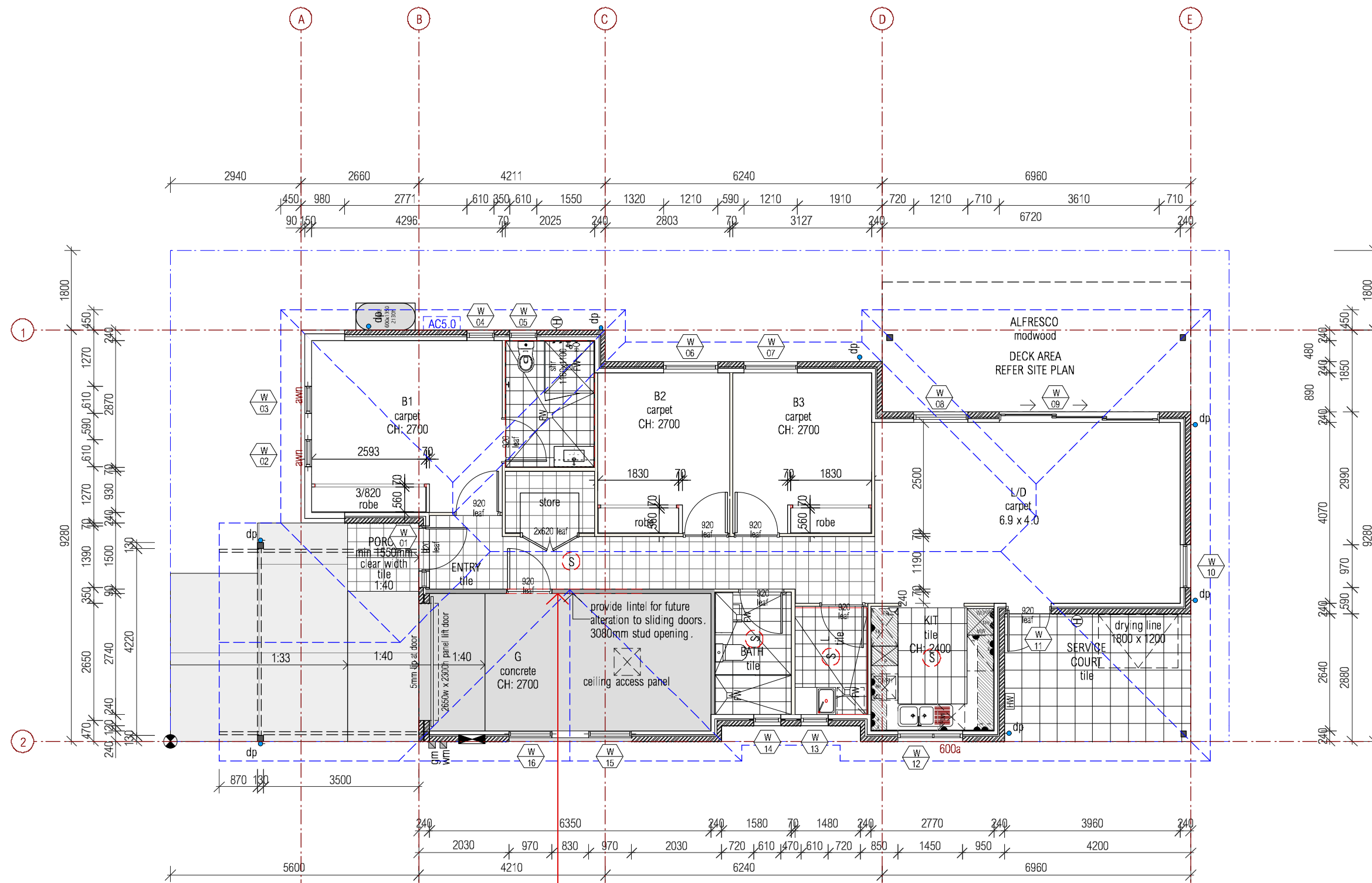


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
NEW ILU TYPE
ELEVATIONS - TYPE G

stage	project no.	dwg no.	
CC / S96	731	G103	
chkd	drwn	date	issue
TW	CK	29/03/16	A



lintel beam in garage wall deleted
 ILLU's: 48
 garage walls are non loadbearing
 and can be easily altered /
 removed for adaptation should it
 be required

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

NOTES:
 • REFER MASTERPLAN FOR FFL RL'S OF ILLU'S

ILLU - TYPE G (REVERSE)		
3 bed, 2 bath		
site area		
house area gfa (ext)	119.5sqm	
house area nfa (int)	107.5 sqm	
Alfresco / deck	20.8 sqm varies	
garage	22.6sqm	
GFA + Alf	162.9 sqm	

notes
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
ARV AT WARRIWOOD BROOK

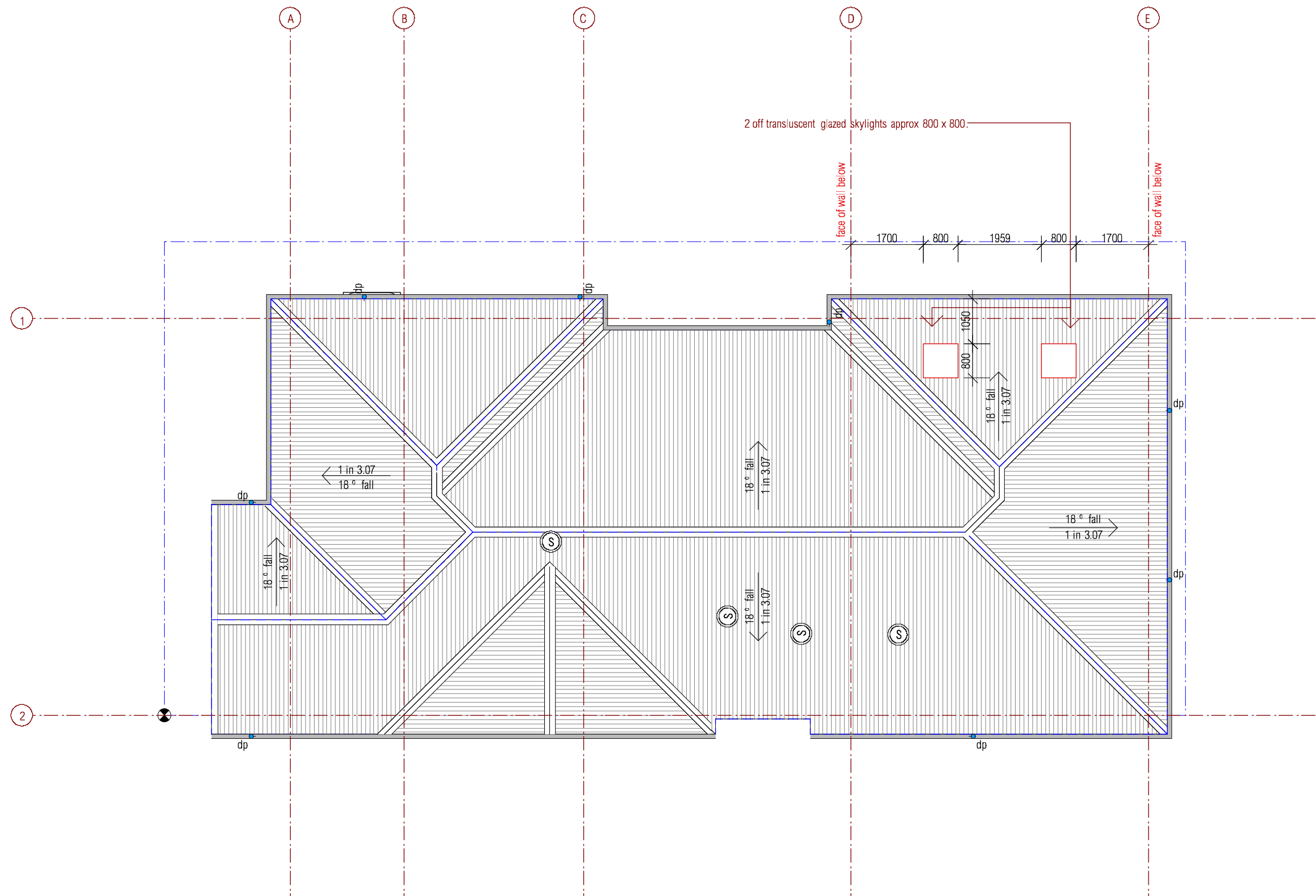
for/client

location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
NEW ILLU TYPE PLAN: ILLU TYPE G (REVERSE)

stage	project no.	dwg no.
CC / S96	731	GR101
chkd	dwn	date
TW	CK	29/03/16
		issue
		A



notes		
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rev	date	amendment
A	29.03.16	S96 ISSUE

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project
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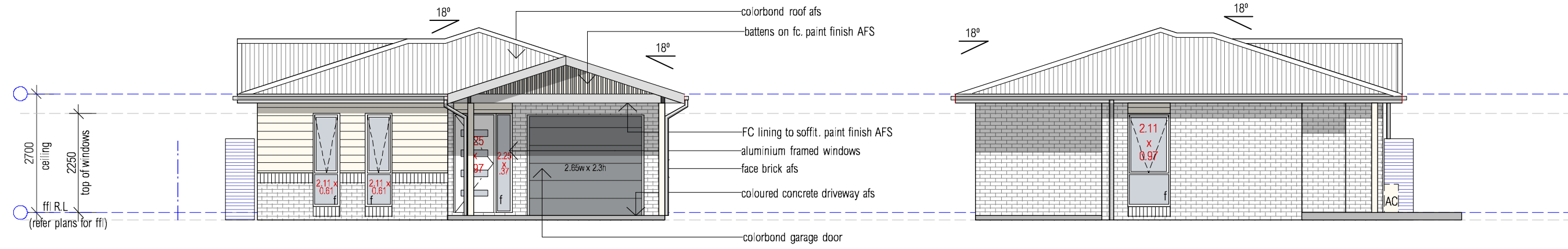
location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing **NEW ILU TYPE**
ROOF PLAN: ILU TYPE G (REVERSE)

stage	project no.	dwg no.	
CC / S96	731	GR102	
chkd	drwn	date	issue
TW	CK	29/03/16	A

notes		
all work to be carried out in accordance with bca, saa codes and conditions of council. measurements in mm's unless noted. use figured dimensions. do not scale drawings. site measure before starting work. refer all discrepancies to the architect.		
rev	date	amendment
A	29.03.16	S96 ISSUE



• STREET ELEVATION
• 1:100 @ A3

• REAR ELEVATION
• 1:100 @ A3

NOTE:
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project management
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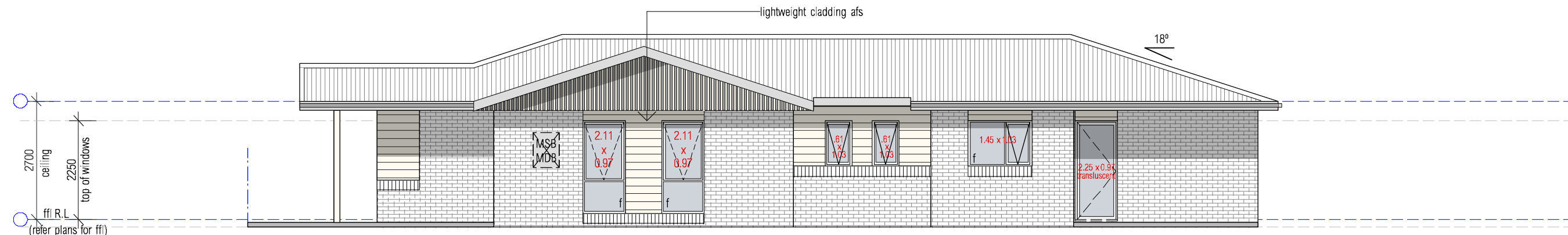
planner
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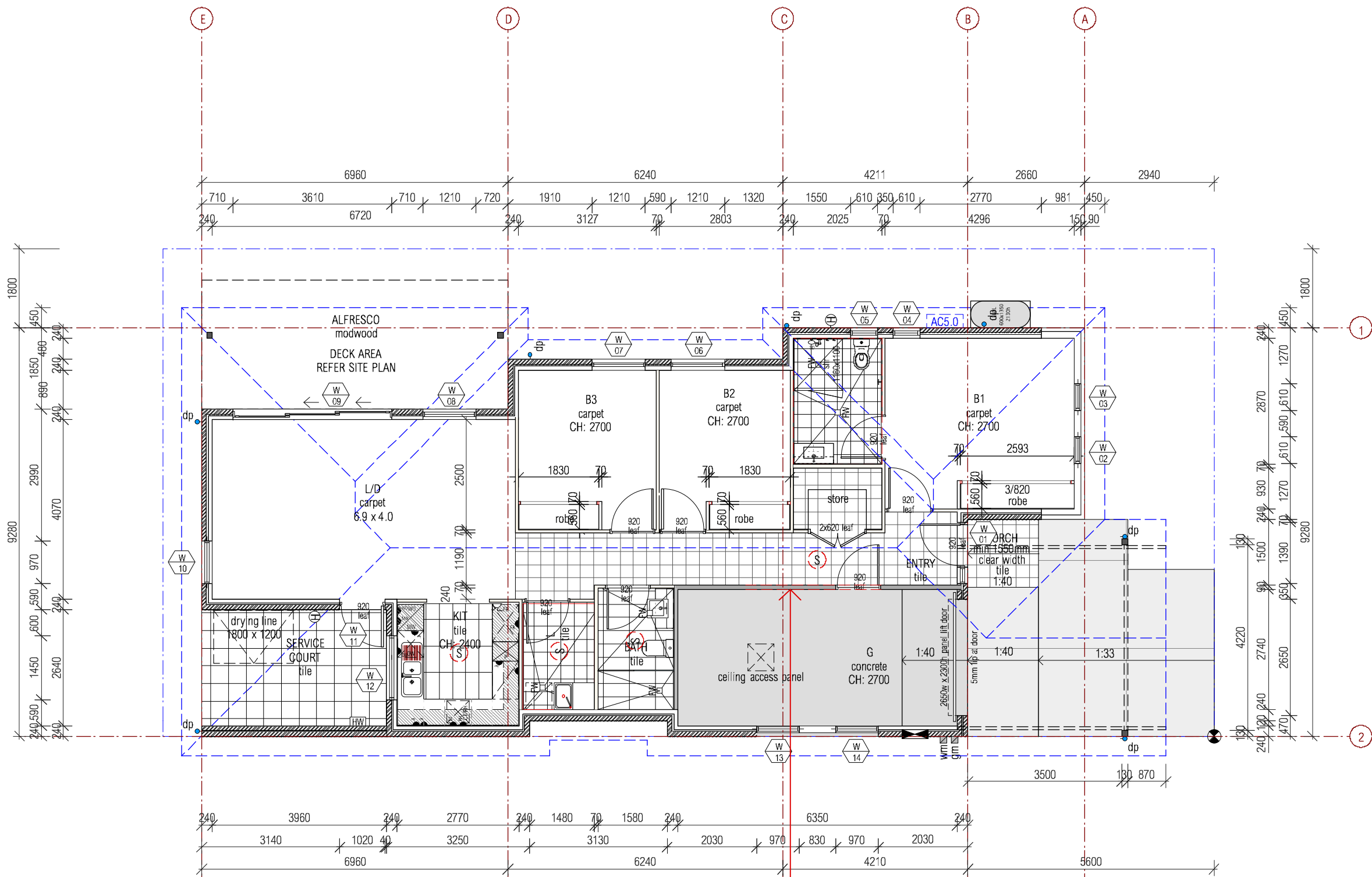


• COURTYARD ELEVATION
• 1:100 @ A3



• SIDE ELEVATION
• 1:100 @ A3

project ARV AT WARRIWOOD BROOK		
for/client 		
location MACPHERSON STREET		
at WARRIWOOD BROOK		
drawing NEW ILU TYPE ELEVATIONS - TYPE G (REVERSE)		
stage CC / S96	project no. 731	dwg no. GR103
chkd TW	drwn CK	date 29/03/16
		issue A



intel beam in garage wall deleted
garage walls are non loadbearing
and can be easily altered /
removed for adaptation should it
be required

REFER LANDSCAPE PLANS FOR FENCE LOCATIONS

NOTES:
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S

ILU - TYPE G i		
3 bed, 2 bath		
site area		
house area gfa (ext)	119.5sqm	
house area nfa (int)	107.5 sqm	
Alfresco / deck	20.8 sqm varies	
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A	29.03.16	S96 ISSUE

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architects registration : 6239

project
ARV AT WARRIWOOD BROOK

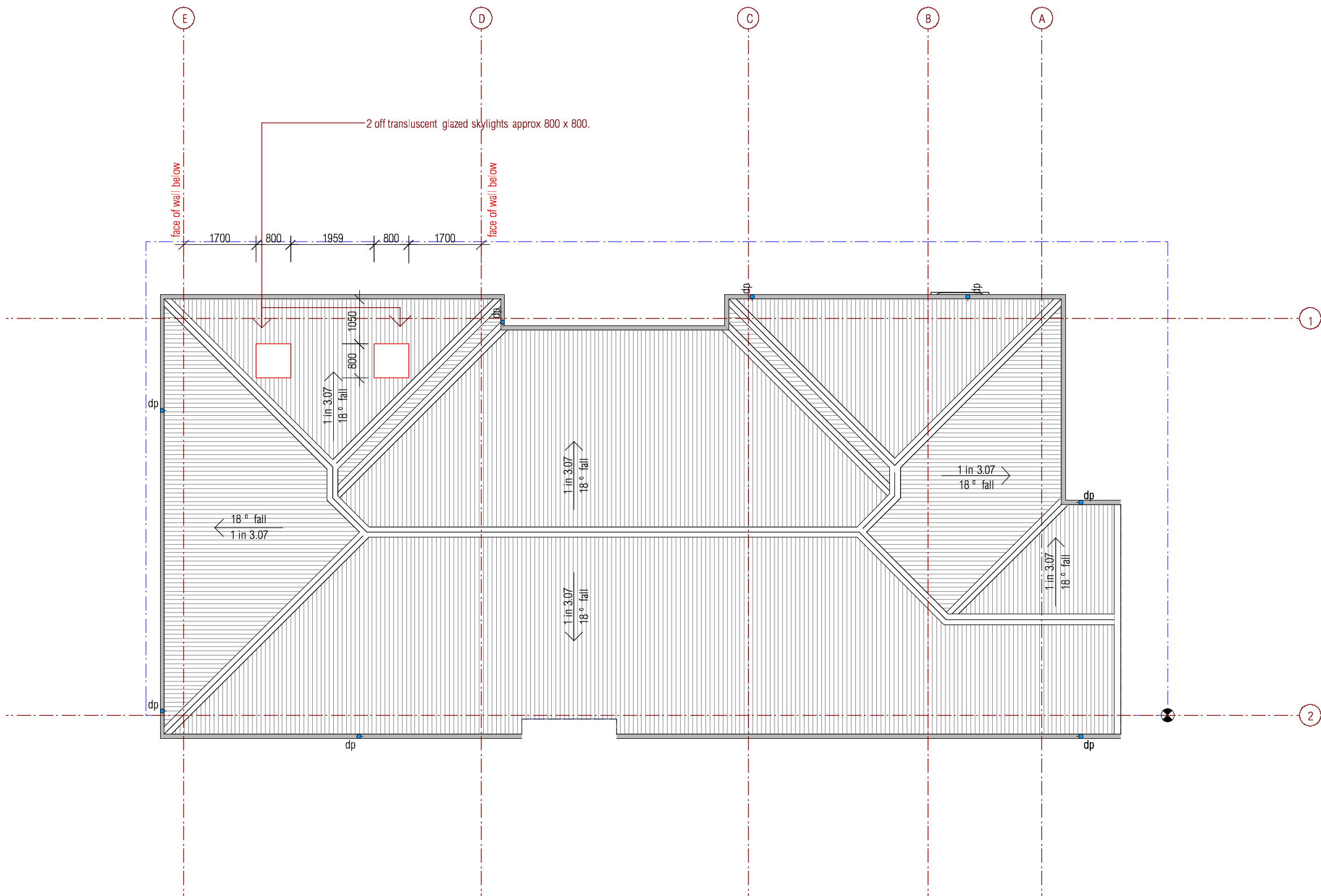


location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
NEW ILU TYPE
PLAN: ILU TYPE G i

stage	project no.	dwg no.	
CC / S96	731	Gi101	
chkd	dwn	date	issue
TW	CK	29/03/16	A



notes		
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rev	date	amendment
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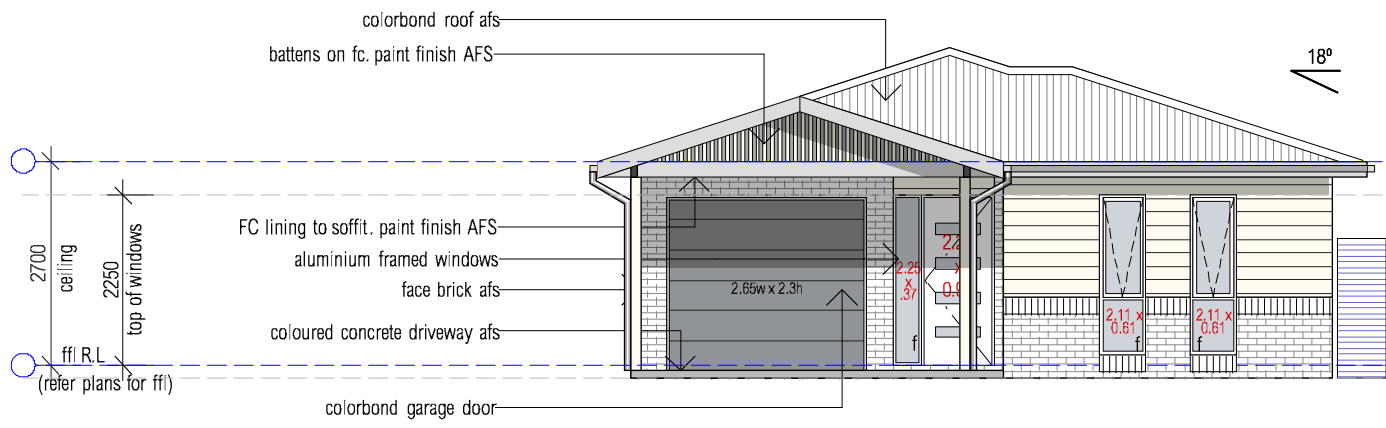
location
MACPHERSON STREET

at
WARRIWOOD BROOK

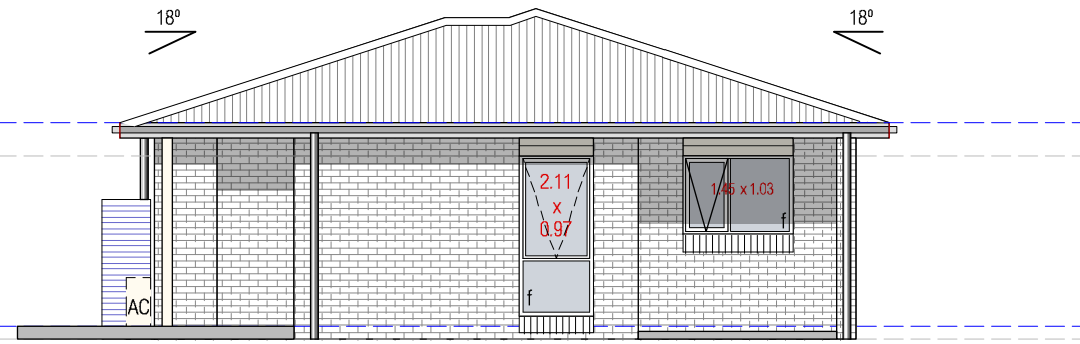
drawing **NEW ILU TYPE**
ROOF PLAN: ILU TYPE G i

stage	project no.	dwg no.
CC / S96	731	G102

chkd	drwn	date	issue
TW	CK	29/03/16	A



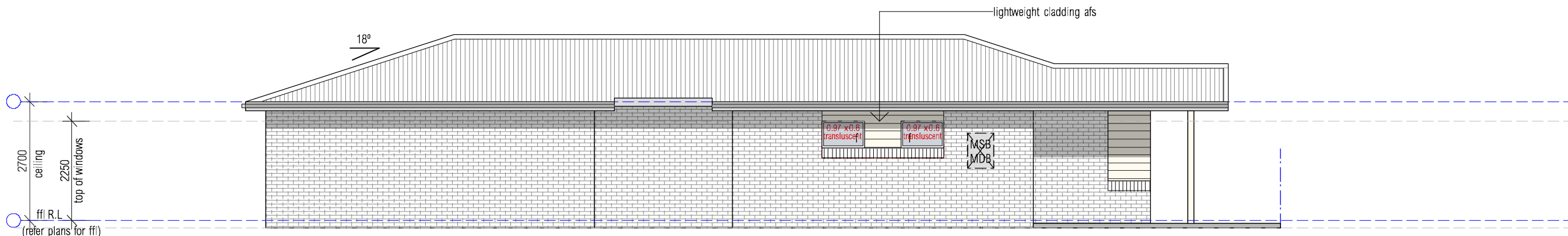
● STREET ELEVATION
● 1:100 @ A3



● REAR ELEVATION
● 1:100 @ A3



● COURTYARD ELEVATION
● 1:100 @ A3



● SIDE ELEVATION
● 1:100 @ A3

NOTES:
• TYPE G i FOR ILU #: 44
• REFER MASTERPLAN FOR FFL RL'S OF ILU'S

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project
ARV AT WARRIWOOD BROOK



location
MACPHERSON STREET

at
WARRIWOOD BROOK

drawing
NEW ILU TYPE
ELEVATIONS - TYPE Gi

stage	project no.	dwg no.	
CC / S96	731	G103	
chkd	dwn	date	issue
TW	CK	29/03/16	A