

R171786

ANDREW DEAN CONSULTING

Andrew Dean Consulting Pty Limited  
ACN 090400230

Suite 21, 5 Inglewood Place  
Pittwater NSW 2153  
PO Box 7321

Baulkham Hills Business Centre 2153

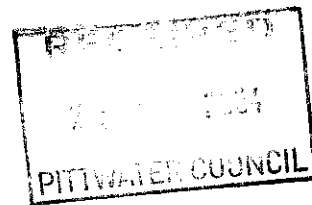
TEL: 02 9836 5711

FAX: 02 9836 5722

EMAIL: info@andrewdeanconsulting.com.au

22 July 2005

The General Manager  
Pittwater Council  
PO Box 882  
MONA VALE NSW 1660



Dear Sir/Madam,

**Construction Certificate  
Lot 11A Bilgola Avenue, Bilgola – (CC 260/2005)**

Please find attached a copy of the approved Construction Certificate and relevant documents for the subject development.

Also attached is a cheque to the value of \$30.00 covering the lodgment fee.

Should you require any further information please do not hesitate to contact our office by phone, fax or email.

Yours faithfully,

A handwritten signature in black ink, appearing to read "Alicia Mavin".

Alicia Mavin  
Andrew Dean Consulting Pty Ltd

# ANDREW DEAN CONSULTING

ACN 090 400 230  
PO Box 7321 Baulkham Hills BC NSW 2153  
Ph (02) 9836 5711 ♦ Fax (02) 9836 5722

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## Construction Certificate

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**Certificate Number: 0260/2005**

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<b>Applicant:</b>	Name:	T.W. Lane and Associates Pty Ltd
	Address:	4 Windermere Place, Wheeler Heights NSW 2097
<b>Subject Land:</b>	Street number and name:	21 Bilgola Avenue
	Lot and deposited plan number:	Lot 11A DP 401408
	Town or village:	Bilgola NSW 2107
<b>Owners Detail</b>	Name:	Newport, Mrs Irene
	Address:	21 Bilgola Avenue, Bilgola Beach NSW 2107
<b>Particulars of building:</b> <i>(if known)</i>	Classification of building:	1a
	Description of building:	Alterations and additions to an existing sole occupancy dwelling
	Estimated value:	\$280,000.00
<b>Builders Details:</b>	Name:	Rennew Constructions Pty Ltd
	Address:	Suite 11, 71 Penshurst Street, Willoughby NSW 2068
	License Number:	175174C
<b>Development Consent Authority:</b>	Name:	Pittwater Council
	Address:	PO Box 882, Mona Vale NSW 1660
<b>Development Consent:</b>	Development Consent Number	N0085/05
	Date of determination:	18/04/2005
<b>Determination:</b>	The application for a construction certificate has been approved.	
<b>Date of Determination:</b>	21/07/2005	
<b>Plans and Specifications</b>	Plans prepared by T.W. Lane and Associates Pty Ltd dated Sept 2004, drawing number DA/04/01, DA/04/02, DA/04/03, DA/04/04, DA/04/05	

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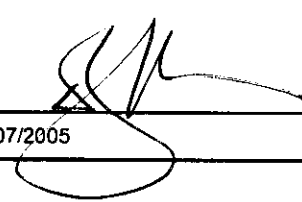
<b>Certifying Authority:</b>	Name:	Danial Powell
	BSAP Accreditation Number:	6430
	Address:	PO Box 7321 Baulkham Hills BC 2153
	Phone Number:	(02) 98365711

**Certificate:** *I certify that the work if completed in accordance with the documentation accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of this Regulation as referred to in Section 81A(5) of the Environmental Planning and Assessment Act 1979.*

**Danial Powell**

**Date of Endorsement:**

21/07/2005



# ANDREW DEAN CONSULTING

## General Application Form

### Certification of Building Work & Appointment of Principal Certifying Authority Environmental Planning & Assessment Act 1979

#### Instructions for Completion & Lodgement of Form

Electronic Completion: Simply open the document, click the cursor on the heading 'Certification Application Form' and then press the 'F11' key skip to the relevant sections that require completion. These sections will automatically be highlighted and can be typed over. When you reach those pages that require boxes to be checked, simply double click on the relevant box then an option screen will appear, change 'Not Checked' to 'Checked' and click OK.

Lodgement: Form to be forwarded to Andrew Dean Consulting Pty. Limited, PO Box 7321 Baulkham Hills Business Centre, NSW 2153

If you have any problems please contact our office on (02) 9836 5711 or email us on [info@andrewdeanconsulting.com.au](mailto:info@andrewdeanconsulting.com.au)

#### Details of Application - tick appropriate box(es)


- Prepare and issue a Construction Certificate  
 Prepare and issue a Complying Development Certificate  
 Prepare and issue an Occupation Certificate  
 Interim  Final  
 Appointment of Principal Certifying Authority

#### Applicant Details

Name: T.W. Lane & Associates  
Address: 4 Windermere Place  
Wheeler Heights NSW 2097  
Phone No.: 9981 2387  
Fax No: \_\_\_\_\_  
Email: twlane@optusnet.com

*I declare, to the best of my knowledge and belief that the particulars hereon are correct in every detail and all the information required has been provided.*

Applicant Signature/s

 13/05/08

#### Development Description

Type of work:  building work  
Description: Modification to front entry and relocation of Kitchen

Value of work: \$280,000

#### Property Description

Address: 21 Bilgola Ave  
Township: Bilgola  
Post Code: 2107  
Lot No. & DP: Lot 11A DP Number 401408  
Area of site (m<sup>2</sup>): 1916 ~~2026~~ m<sup>2</sup>

#### Class of building or part

BCA96 classification: Class: 1410 (As nominated on the Development consent)

#### Development Consent Details - where relevant

Development consent:  Yes  No

Development consent authority: Pittwater Council  
Consent No.: DA N0085/05

Date of determination: 18/4/05

**Endorsement by Owner – all owners to sign**

Name: IRENE NEWPORT  
Address: 21 BILGOLA AVENUE  
BILGOLA BEACH NSW 2107  
Phone No: 9973 1166  
Fax No: 9973 1155  
Email: gnewport@ozemail.com.au

Consent and Appointment of PCA (beneficiary of consent) I/we consent to the lodgement of this application and hereby appoint Andrew Dean (Accreditation No 4330) / Trent Mc Gurley (Accreditation No 4919) / Danial Powell (Accreditation No 6430) to act as the **Principal Certifying Authority** in respect to the above, pursuant to the Environmental Planning & Assessment Act 1979 & Regulation 2000.

Signature/s

Irene Newport

Attach separate sheet for additional owners. All owners to endorse application. Where the building is owned by a company, trust or the like, endorsement must be provided by a duly authorised person under the company seal or on a company letterhead

**Licensed Builder / Owner Builder Details**

Name: Rennew Constructions Pty Ltd  
Address: Suite 11, 71 Penshurst Street  
Willoughby NSW 2068  
Phone No.: 02 9967 2911  
Fax No: 02 9967 2737  
Email: srrennew@bigpond.net.au  
Licence No.: 175174C

**Date of Commencement**

Proposed date of Commencement: 1.8.05

**Note:** A minimum of 2 days notice is required to be provide the local authority prior to work commencing.

PCA Acceptance

I Andrew Dean / Trent Mc Gurley / Danial Powell being an Accredited Certifier acknowledge being appointed as the PCA for the project as described on this document in accordance with Clause 103 the Environmental Planning & Assessment Regulation 2000

PCA Signature

[Signature]

**Certification Details – office use only**

Complying Development Certificate:	<input type="checkbox"/>
Construction Certificate:	<input checked="" type="checkbox"/>
Certifying Authority:	<u>260/05</u> (Andrew Dean Consulting Pty. Limited)
Certificate No.:	<u>21.7.05</u>
Date of determination:	<u>21.7.05</u>
Date of receipt - Office Use Only	
Date received:	

# Schedule to Construction Certificate Application

(for Australian Bureau of Statistics)

## Particulars of the proposal

What is the area of the land (m<sup>2</sup>): 1916 ~~2020~~ m<sup>2</sup>  
 No. of storeys, including basement: 2  
 Gross floor area of new building (m<sup>2</sup>): 7 m<sup>2</sup>

## Residential buildings only

Number of dwellings proposed: 1 Number dwellings  
 Number of pre-existing dwellings: 1 Number dwellings  
 Number of dwellings to be demolished: 0 Number dwellings

Will the new dwellings be attached to other new buildings?  Yes  No  
 Will the new dwellings be attached to existing buildings?  Yes  No  
 Does the site contain a dual occupancy?  Yes  No

## Materials to be used - Residential Buildings

Place a check the box (☒) which best describes the materials the new work will be constructed of:

Walls		Code	Roof		Code
Brick (double)	<input type="checkbox"/>	11	Tiles	<input checked="" type="checkbox"/>	10
Brick veneer	<input type="checkbox"/>	12	Concrete or slate	<input type="checkbox"/>	20
Concrete or stone	<input type="checkbox"/>	20	Fibrous cement	<input type="checkbox"/>	30
Fibrous cement	<input type="checkbox"/>	30	Steel	<input type="checkbox"/>	60
Timber	<input type="checkbox"/>	40	Aluminium	<input type="checkbox"/>	70
Curtain glass	<input checked="" type="checkbox"/>	50	Other	<input type="checkbox"/>	80
Steel	<input type="checkbox"/>	60	Unknown	<input type="checkbox"/>	90
Aluminium	<input type="checkbox"/>	70			
Other	<input type="checkbox"/>	80			
Unknown	<input type="checkbox"/>	90			

Floor		Code	Frame		Code
Concrete or slate	<input checked="" type="checkbox"/>	20	Timber	<input type="checkbox"/>	40
Timber	<input type="checkbox"/>	40	Steel	<input type="checkbox"/>	60
Other	<input type="checkbox"/>	80	Aluminium	<input checked="" type="checkbox"/>	70
Unknown	<input type="checkbox"/>	90	Other	<input type="checkbox"/>	80
			Unknown	<input type="checkbox"/>	90



# HOME WARRANTY INSURANCE

Local Authority Copy

**CGU POLICY CERTIFICATE NUMBER: 03.HWI.0008557.02**

Home Building Regulation 2004 Clause 66(1)

Schedule 1 - Forms, Form 1

HOME BUILDING ACT 1989 Section 92

## CERTIFICATE IN RESPECT OF INSURANCE RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with section 92 of the *Home Building Act 1989* has been issued by CGU Insurance Ltd ABN 27 004 478 371:

in respect of:

Structural improvements to an existing residential dwelling

at:

21 Bilgola Avenue, Bilgola, 2107

carried out by:

Renew Constructions Pty Ltd ACN.059605640 ABN.90059605640

Subject to the Act and the *Home Building Regulation 2004* and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in title to the beneficiary.

Date: 12th July 2005

Signed for and on behalf of the Insurers:

This Certificate in respect of Insurance is issued for the building contract dated 01/07/2005

CGU ELIGIBILITY NUMBER: 0001396

CGU Home Warranty Insurance

A Division of CGU Insurance Limited, ABN 27 004 478 371

An IAG Company

**RENEW**  
CONSTRUCTIONS  
PTY LTD ACN 059 605 640  
Suite 11, 71 Penshurst Street Willoughby  
NSW 2068  
Tel: 02 9967 2911 Fax: 02 9967 2737

13 July 2005

Andrew Dean Consulting  
PO Box 7321  
Baulkham Hills Business Centre NSW 2153

Fax: 9836 5722

**Attention: Danial Powell**

Dear Danial

**Re: 21 Bilgola Ave, Bilgola**

Further to your letter regarding "list of requirements for Construction Certificate", please find attached the following:

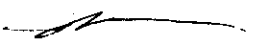
1. Completed and signed application form.
2. Receipt of payment for LSL
3. 3 copies of engineers drawings
4. Letter from engineer confirming existing dwelling capable of carrying loads.
5. Copy of Renew Constructions Building Lic.
6. Copy of eligibility for Home Warranty Insurance.
7. Copy of correspondence and section 96 application to Pittwater Council in regard to Condition C5 – Bush Fire Risk

We have pleasure in confirming the following:

1. Glass used will have a reflectivity less than 25%.
2. Demolition of works shall be undertaken in accordance with AS2601.1991
3. Storm water disposal will remain unchanged draining into existing system.
4. Termite Protection – We will engage Northern Beaches Best Management Ph.0410 452 485, a licensed termite applicator to spray "Bisenthin" and install plastic barrier. Provide a certificate on completion that termite protection barrier has been installed in accordance with the Aust. Stds.
5. The building currently has battery power smoke detectors randomly installed throughout. It is not part of our works to upgrade the system and we will note your recommendation to our client to upgrade the system to AS3786 although not required under this DA.
6. All masonry ties used will be stainless steel.
7. Glazing to the stairwell will be "grade A" safety glazing.

We are hopeful the above meets with your approval.

Yours faithfully

  
Stephen Richardson  
B App Sci (Building)  
Manager

Copy Mr and Mrs Newport (fax 9973 1155 Page 1 of 1)

Pittwater Council

ABN: 61340837671

# TAX INVOICE OFFICIAL RECEIPT

11/07/2005 Receipt No: 170863

TO GARY NEWPORT

Qty/ Applic	Reference	Amount
	QLSL-Builders	\$133.00
GL Receipt 1	X B/A N0085/05	
1	CCGST-Card +G	\$1.21
GL Receipt 1	X	
	GST	\$0.12
GL Receipt		
	To GL Receipt:	

**Total Amount:** \$134.33

**Includes GST of:** \$0.12

### Amounts Tendered

Cash	
Cheque	
Card	\$134.33
Money Order	
Agency Rec	
Total	
Rounding	\$0.00
Change	\$0.00
Nett	

Printed 11/07/2005 2:47:20 PM

Cashier: CDicks





# T J TAYLOR CONSULTANTS PTY LIMITED

ABN 98 002 360 054

*Consulting Civil and Structural Engineers*

'Seascope', Suite 7, 22-26 Fisher Road, Dee Why NSW 2099  
Telephone: 9982 7092 Fax: 9982 5898 Email: taylor\_consultants@tpg.com.au



12 July 2005

Our Ref: TJT:mh 26804

General Manager  
Pittwater Council  
PO Box 882  
MONA VALE NSW 1660

Dear Sir,

**Re: Additions – 21 Bilgola Ave, Bilgola.**

This is to certify that I have inspected the above property in relation to the proposed addition as shown on the building plan No. WD/05/02A1 sheets A to D, WD/05/03A1 sheets A to C and WD/05/04A1 sheets A & B as prepared by T W Lane & Associates Pty Ltd and advise that nothing was observed during the course of the inspection to suggest that the existing building is not generally adequate to support the additional live and dead loads imposed by the addition.

Strengthening beams have been designed in accordance with relevant SAA codes and these members are shown on the attached plan No. 26804-1/A and 26804-2.

Following construction some settlement may be experienced under the additional loads and this may result in the formation of minor cracks in the building but providing foundation material is consistent under the existing footings it is anticipated that this movement would be minimal and not affect the structural integrity of the building.

Yours faithfully

D J SQUIRE  
BE (Civil) MIE Aust

T J TAYLOR  
Principal

## Register: Section 120 of The Home Building Act 1989

When reading the information below, please note blank fields (ie where no information is entered) denote that at the time and date of this report there is no information recorded against that field regarding this licensee.

The following details are maintained on the licence register of the Office of Fair Trading for RENNEW CONSTRUCTIONS PTY LTD holding CONTRACTOR LICENCE number 175174C.

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### STATUS OF LICENCE NUMBER 175174C

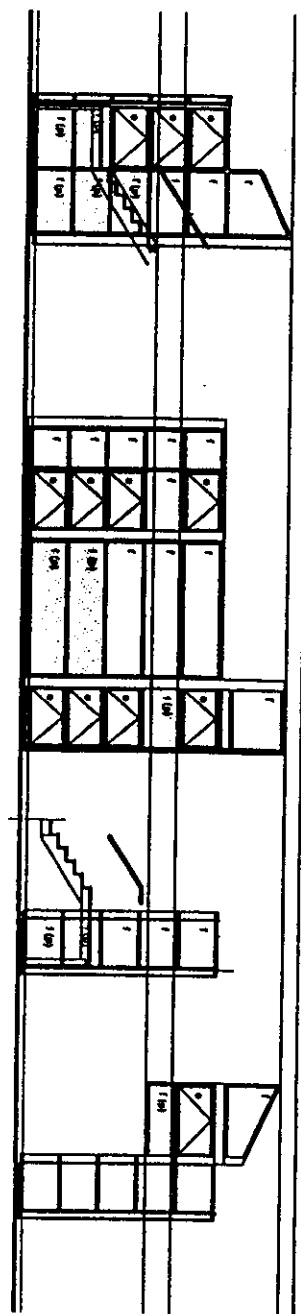
#### CURRENT

Licensing information found on this facility was last updated on: 10:16 AM, Thursday, 07 July 2005.

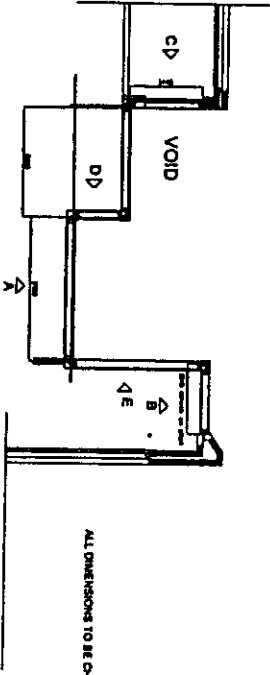
- 
- (i) **Name:** RENNEW CONSTRUCTIONS PTY LTD  
**Date of Birth:** \*\*\*\*\*  
**Business Address:** 11/71 PENSURST STREET  
 WILLOUGHBY 2068
- (ii) **Licence Number:** 175174C  
 The licence authorises the holder to contract to do :  
 BUILDING, from 21/06/2005 up to and including the date of this certificate.
- (iii) **Date of Issue:** 21/06/2005  
**Expiry Date:** 21/06/2006
- (iv) **Conditions:**  
 ONLY FOR CONTRACTS NOT REQUIRING HOME WARRANTY INSURANCE from 21/06/2005 to 05/07/2005.
- (v) **Variations:**
- (vi) **Endorsed:** Not Applicable
- (vii) **If the holder is a partnership, the names, dates of birth and addresses of the members of the partnership:**  
 Not Applicable
- (viii) **If the holder is a corporation, the names, dates of birth and addresses of the directors of the corporation:**
- |                       |                                      |
|-----------------------|--------------------------------------|
| <b>Name:</b>          | STEPHEN JOHN RICHARDSON              |
| <b>Date of Birth:</b> | 29/09/1960                           |
| <b>Address:</b>       | 107 FOURTH AVENUE<br>WILLOUGHBY 2068 |
| <b>Name:</b>          | PERRY HUGHES                         |
| <b>Date of Birth:</b> | 27/04/1959                           |
| <b>Address:</b>       | 16 SOFALA AVENUE<br>RIVERVIEW 2066   |
- (ix) **Supervisors:**



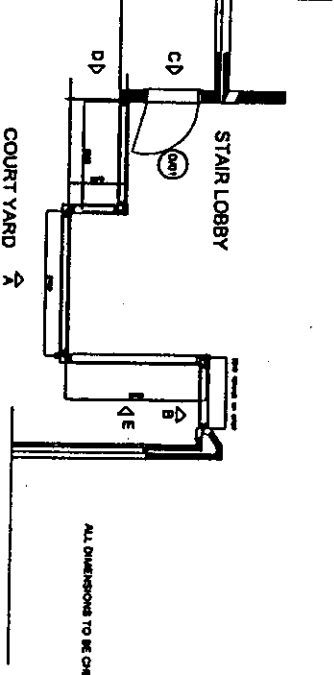
ELEVATION A/B D C



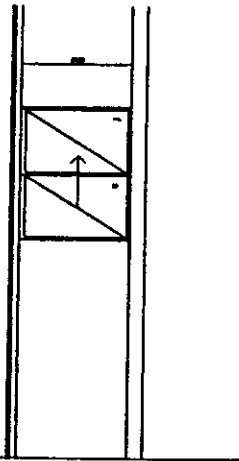
PART PLAN FIRST FLOOR (W/02)



PART PLAN GROUND FLOOR (W/02)



ELEVATION (W/03)



LIVING ROOM (W/03)

ART PLAN ROUND FLOOR (W/03)

<p>DATE: 1/18/2024</p> <p>PROJECT: 1/18/2024</p> <p>SCALE: 1/18/2024</p> <p>DATE: 1/18/2024</p>	<p>PROPOSED ALTERATIONS TO EXISTING RESIDENCE AT No. 21 BRIGOLA AVE. BRIGOLA LOT 11A DP 401408 WARRINGAH SHIRE</p>	<p>T. W. LANE &amp; Associates Pty Ltd Architects 1/18/2024</p>	<p>NOTE: ALL DIMENSIONS TO BE CHECKED ON SITE.</p>	<p>AMENDMENTS:</p>	<p>DA SUBMISSION ISSUE</p>
			<p>WINDOW SCHEDULE</p>	<p>ART PLAN ROUND FLOOR (W/03)</p>	

## FACSIMILE COVER PAGE

**Date:** 22/04/05  
**Time:** 7:45:34  
**Pages:** 4

**To:** IRENE / GARY NEWPORT  
**Fax #:** 02 9973 1155

**From:** Terence Lane  
**Title:** Mr  
**Company:** T.W.Lane & Associates  
**Address:** 4 Windermere Pl, Wheeler Heights  
Sydney, NNS 2097  
Australia

**Fax #:** +61299812387  
**Voice #:** +61299812387 / 0404275688

**Message:**

Irene,  
Gary

**RE; 21 BILGOLA AVE: PROPOSED ALTERATION.**

**please find attached the preliminary beam sizes etc., forwarded by TAYLOR CONSULTANTS - as per the discussion on site of 20/04/05.**

**Would you please advise if the layout is in accordance with the layout/s etc required by you for the new kitchen and the ceiling services.**

**If you need to discuss let me know.**

**Regards,**

**TERRY**



# T J TAYLOR CONSULTANTS PTY LIMITED

ABN 98 002 360 054

Consulting Civil and Structural Engineers

'Seascope', Suite 7, 22-26 Fisher Road, Dee Why NSW 2099

Telephone: 9982 7092 Fax: 9982 5898 Email: taylor\_consultants@tpg.com.au



The Association of Consulting Engineers Australia

**FACSIMILE TRANSMISSION** Date: 21/4/05

TO: .....

ATTENTION: Terry Lane

FAX NO: 9981 2307 NO OF PAGES (incl.cover): 3

ORIGINAL MAILED: yes/no

FROM: David Squire

SUBJECT: Preliminary Sizes  
21 Bulgha Ave

Terry  
Preliminary Sizes.

Rafters - - 190x45 F7 @ 450c/c  
or 150x36 Hyperan @ 450c/c

Roof Beam  
RB1 - - - 180 PFC or 200x100x4 RHS.

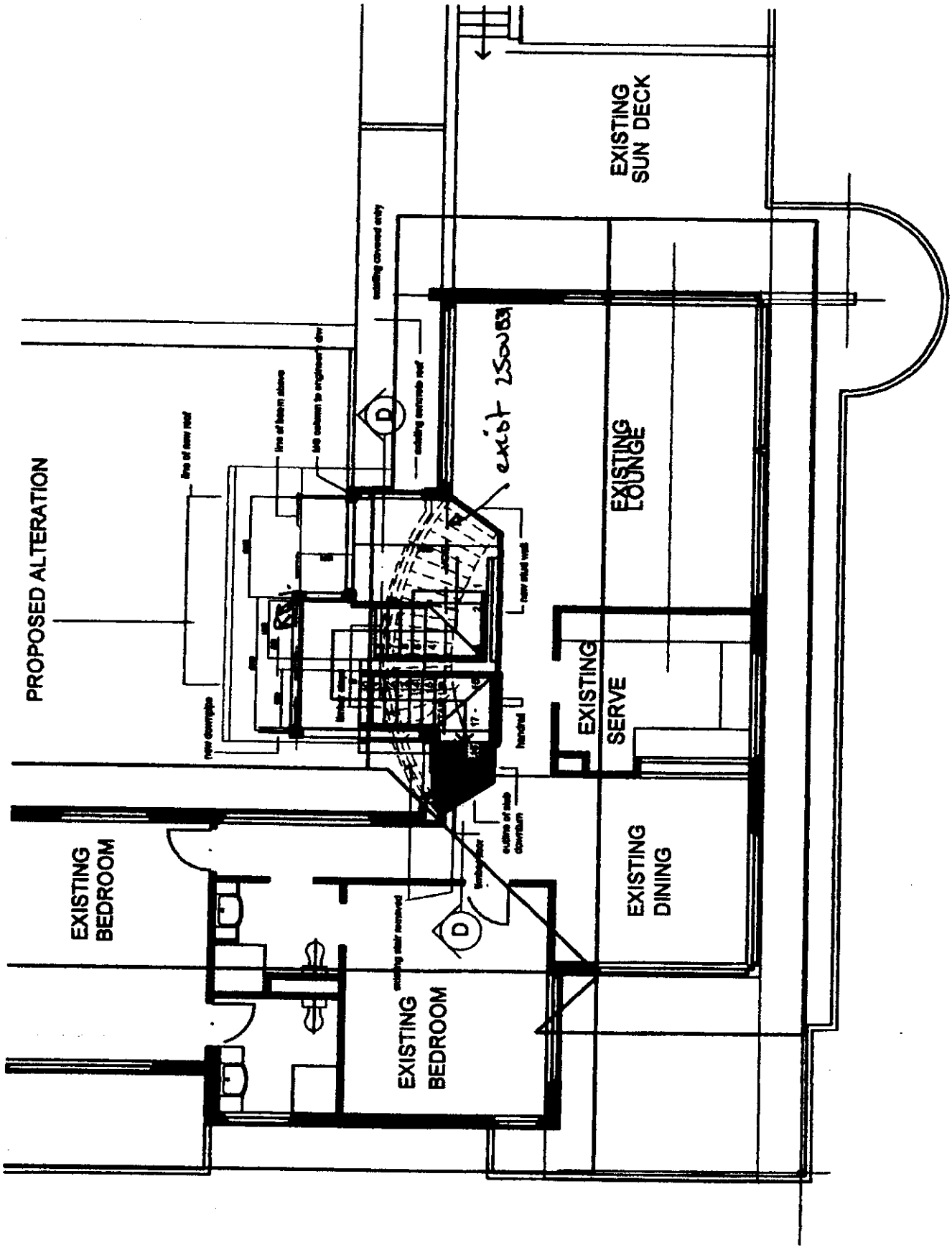
Posts to all corners to near stairs  
100x100x2 stainless steel SHS  
Strength Grade 250 min.

Floor Beams  
B1 - - - 200UB25 3.1m span.  
B2 - - - 250UB37 4.2m span

Posts  
P1, P2 - - 100x100x5 SHS

Hope this helps for a while  
Regards David.

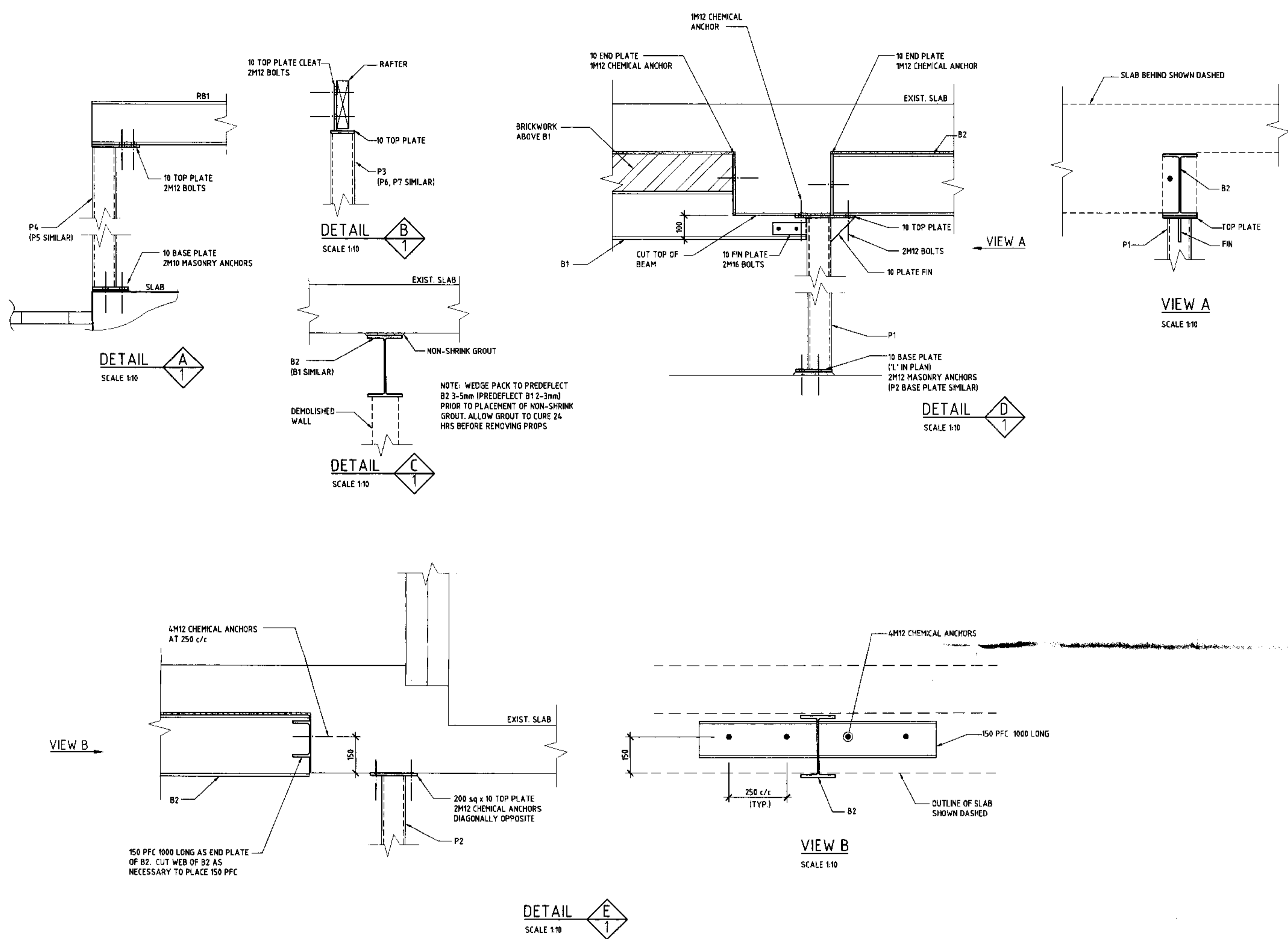




# FIRST FLOOR PLAN

D. C. C.





Andrew Dean Consulting Pty Ltd  
**RECEIVED**

DATE	REVISION	BY	CHK

**T. J. TAYLOR CONSULTANTS PTY LIMITED**  
Consulting Civil and Structural Engineers  
A.C.N. 102 100 044  
22 Fisher Road, Dee Why, NSW 2099 Telephone: 9982 7092 Fax: 9982 5898

**STRUCTURAL DETAILS - ADDITIONS**  
21 BILGOLA AVE BILGOLA

DRAWN	CHECKED	SCALE	DRAWING No.
S. BOND	DA 19/5/05 T. J. Taylor	1:10	26804-2
MAY 2005			

**CONSTRUCTION NOTES**

**GENERAL**

1. These drawings shall be read in conjunction with all architectural and other documents, drawings and specifications and with such other written instructions as may be issued during the course of the contract. All instructions shall be referred to the Supervising Officer for discussion before proceeding with the work.
2. Dimensions shall not be altered by cutting the structural drawings.
3. All dimensions shall be verified on site by the Contractor who shall be responsible for their correctness.
4. The Contractor shall be responsible for ensuring the structure and neighbouring structures are safe and stable during construction. Its part must be overstressed.
5. All workmanship and materials shall be in accordance with the requirements of the current S.A. Codes and the By-Laws and Ordinances of the relevant Government Authority.

**FOUNDATIONS**

1. Excavation shall be taken into FIRM NATURAL GROUND. The allowable bearing pressure on this material is assumed to be 150 kPa.
2. Foundation material shall be approved immediately before placing concrete.

**CONCRETE**

1. All workmanship and materials shall be in accordance with AS 3600 (current edition with amendments).
2. Concrete quality. All cement shall be Type A Normal Portland Cement.

Element	Slump (mm)	Max. Size (mm)	f <sub>c</sub> (MPa)	Special Requirements
RAFT SLAB	80	20	25	-

Strength shall be verified by plant control testing.  
Clear concrete cover to reinforcement including ties and stirrups shall as follows unless shown otherwise.

Element	Exposure Classification		
	A1 Sheltered locations	B1 External locations over 10m from seawater shoreline	B2 External locations within 10m of seawater shoreline
Strip Castings	50	50	50
Columns and piers	20	40	50
Beams	20	40	45
Slabs and walls	20	40	45

Note: steel placed over a membrane on ground are included as A1.

**REINFORCEMENT SYMBOLS**

- N: denotes grade 500 deformed normal ductility bar to AS 4671.
- R: denotes grade 250 plain round normal ductility bar to AS 4671.
- SL: denotes grade 500 low ductility square welded mesh to AS 4671.
- RL: denotes grade 500 low ductility rectangular welded mesh to AS 4671.
- : denotes direction of main bars of rectangular fabric beam bars down for bottom reinforcement; main bars up for top reinforcement.
- ⊕: denotes square fabric.
- ⊖: denotes arc of reinforcement.

5. All unspliced bars shall be tied in the transverse direction to MESH unless otherwise noted.
6. Reinforcement is shown diagrammatically and is not necessarily shown in the true proportion.
7. Splices in the reinforcement shall be made only in the positions shown. The width of lap shall not exceed 1.5 times the diameter of the bar (d) for the reinforcement.
8. Welding of reinforcement will not be permitted unless shown on the structural drawings.
9. Fabric lap detail: Lap 2 wires, 25 Min.

10. Slab reinforcement shall extend at least 400 mm into support walls unless shown otherwise.
11. Concrete sizes shown are minimum and/or reductions by ducts, pipes, etc. shall be made without the approval of the Supervising Officer. Sizes do not include thickness of applied finishes.
12. Beam depths are written first and do not include slab thickness.
13. Pipes or conduits shall not be placed within the concrete cover to reinforcement without the approval of the Supervising Officer.
14. Holes or recesses other than those shown on the structural drawings shall be made in concrete members without the prior approval of the Supervising Officer.
15. Construction joints where not shown shall be located to the approval of the Supervising Officer.
16. The contractor shall notify the Engineer 24 hours before pouring concrete.
17. The concrete shall be compacted using high frequency vibrators.
18. Columns, piers, and pedestals shall be placed 24 hours before concrete in slabs or beams over.
19. Curing of all concrete surfaces shall commence immediately after surfaces are finished as specified.

**BRICK AND CONCRETE BLOCK MASONRY**

1. All workmanship and materials shall be in accordance with AS 3700.
2. Two tiers of approved metal base size joint material shall be used at all sites where they bear on brickwork.
3. Walls shown on structural drawings are load bearing walls. Non load bearing walls under slabs shall be supported from the concrete by a minimum of 10mm thick compressible material.
4. No brickwork which is supported by the slab shall be erected until formwork has been removed.
5. Brick mortar to be 1:1.5 proportions by volume of cement, lime and sand.
6. Brick strength of load bearing brickwork to be a minimum of f<sub>c</sub> = 14 MPa.

**REINFORCED CONCRETE BLOCK MASONRY**

1. All concrete masonry units shall conform to the requirements of AS 2733.
2. The design strength of concrete masonry shall be:

Element	Strength Grade of Units	Mortar Mix (Cement, Lime, Sand)
WALL CORE FILL (BLOCKS)	15 MPa	10:1:3

3. Workmanship involved in placing concrete units shall comply with AS 3700 and all units shall be fully bedded face sheets and cross walls.
4. Clean out holes shall be provided at the base of all reinforced cores.
5. Unless noted otherwise the cores of all concrete masonry units shall be filled with concrete having a characteristic strength at 28 days f<sub>c</sub> of 20 MPa and a slump of 100mm to 120mm when being placed. The concrete being shall be thoroughly compacted.
6. The size of coarse aggregate concrete used in fill cores shall be 10mm unless otherwise specified.

**STRUCTURAL STEELWORK**

1. All workmanship and materials shall be in accordance with AS 1800 and AS 1554 except where varied by the contract documents.
2. Three (3) copies of all shop details shall be submitted to the engineer for approval of structural sufficiency before fabrication.
3. All welds shall be done continuously from all sides where all gusset plates meet, unless noted otherwise on the drawing.
4. Concrete encased steelwork shall be wrapped with 3mm wire at 100mm centres and shall have a minimum 50 cover of concrete.
5. Steel plates and fracture with open ends shall be fabricated with an upper to lower of 1:500 slope on each open end unless noted otherwise on the drawings.
6. Structural steelwork is to be wire brushed to remove rust and loose mill scale and coated with one coat of approved primer unless noted otherwise on the drawings.
7. All structural cast-iron boltnuts are to be hot dipped galvanized.

**TIMBER**

1. Timber construction is to be in accordance with AS 1720 and the Timber Framing Code AS 1684.
2. Timber stress grade shall be F7 unless noted otherwise.

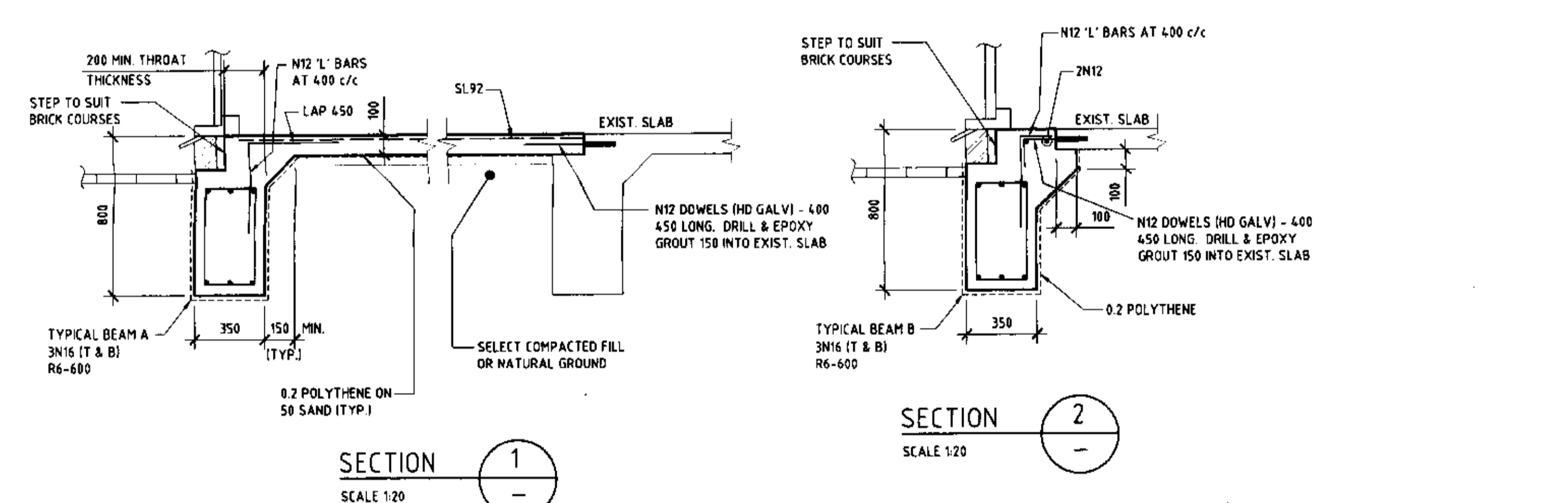
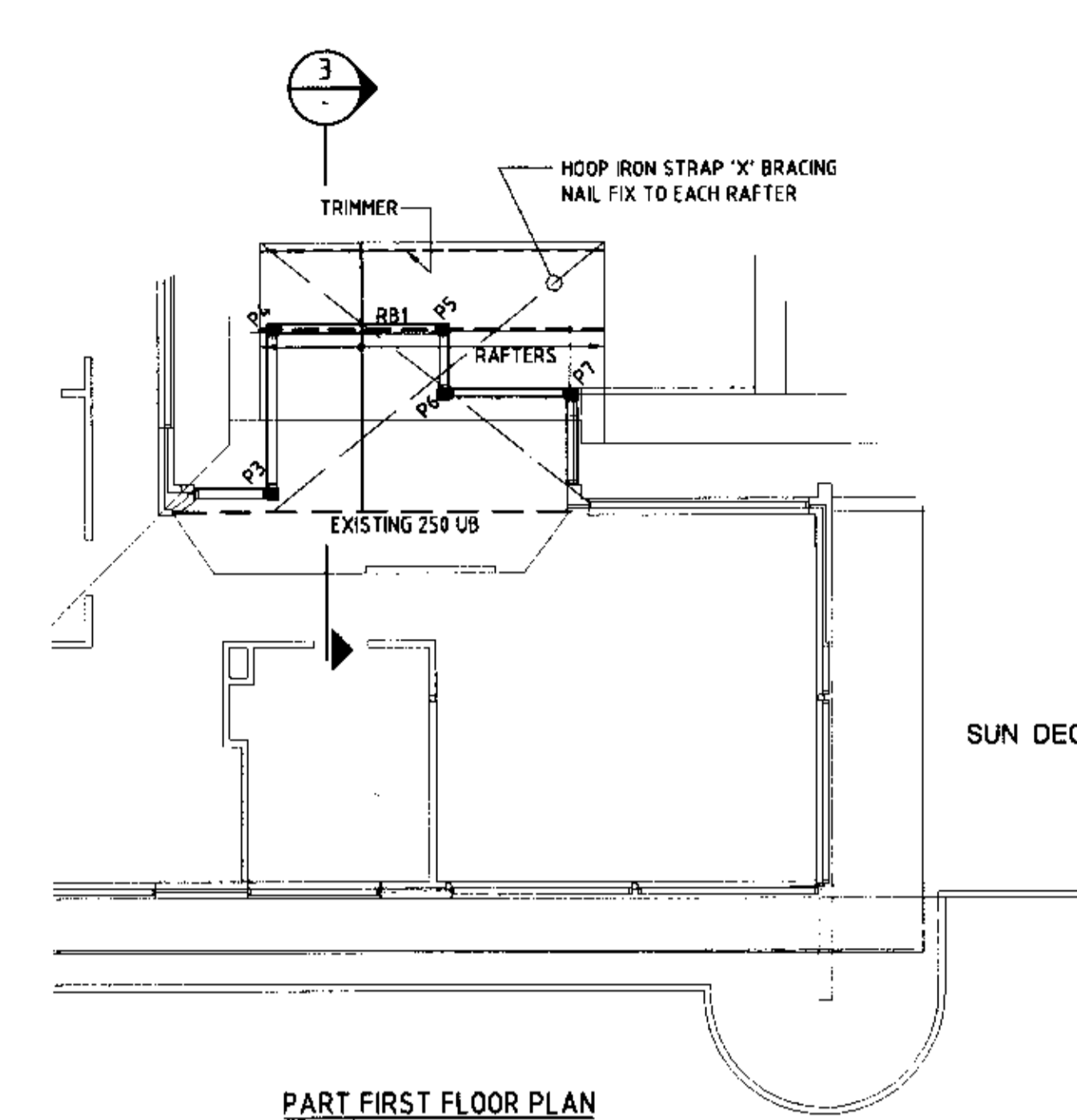
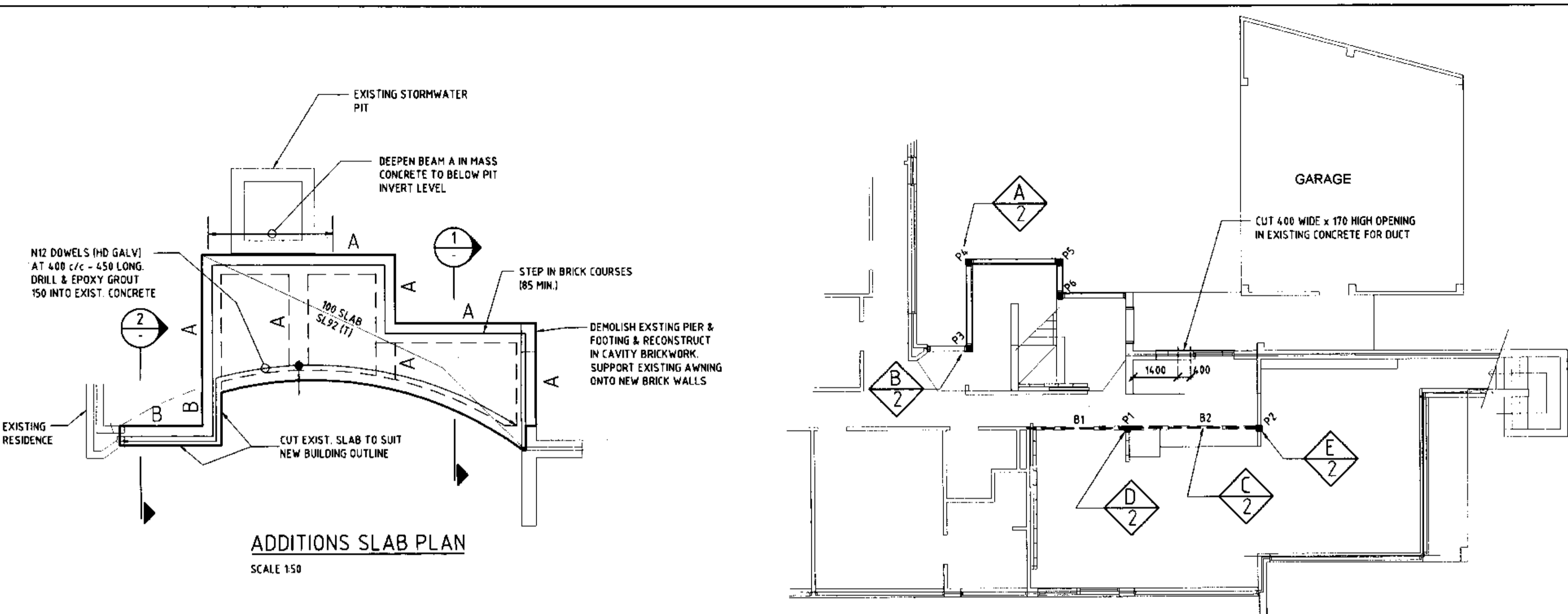
NOTE: SEE ATTACHED FLOOR SLAB SPECIFICATION

DATE	REVISION	BY	CHK
14/6/05	RAFTER SPACING REVISED	DJS	

**T. J. TAYLOR CONSULTANTS PTY LIMITED**  
Consulting Civil and Structural Engineers  
A.C.N. 108 360 104  
22 Flinders Road, Dee Why, NSW 2099 Telephone: 9982 7092 Fax: 9982 5898

**STRUCTURAL AVE DETAILS - ADDITIONS**  
**21 BILGOLA AVE BILGOLA**

DRAWN	CHECKED	SCALE	DRAWING No.
S. BOND	W. TATE	1:100 1:50 1:25	26804-1/A



**MEMBER SCHEDULE**

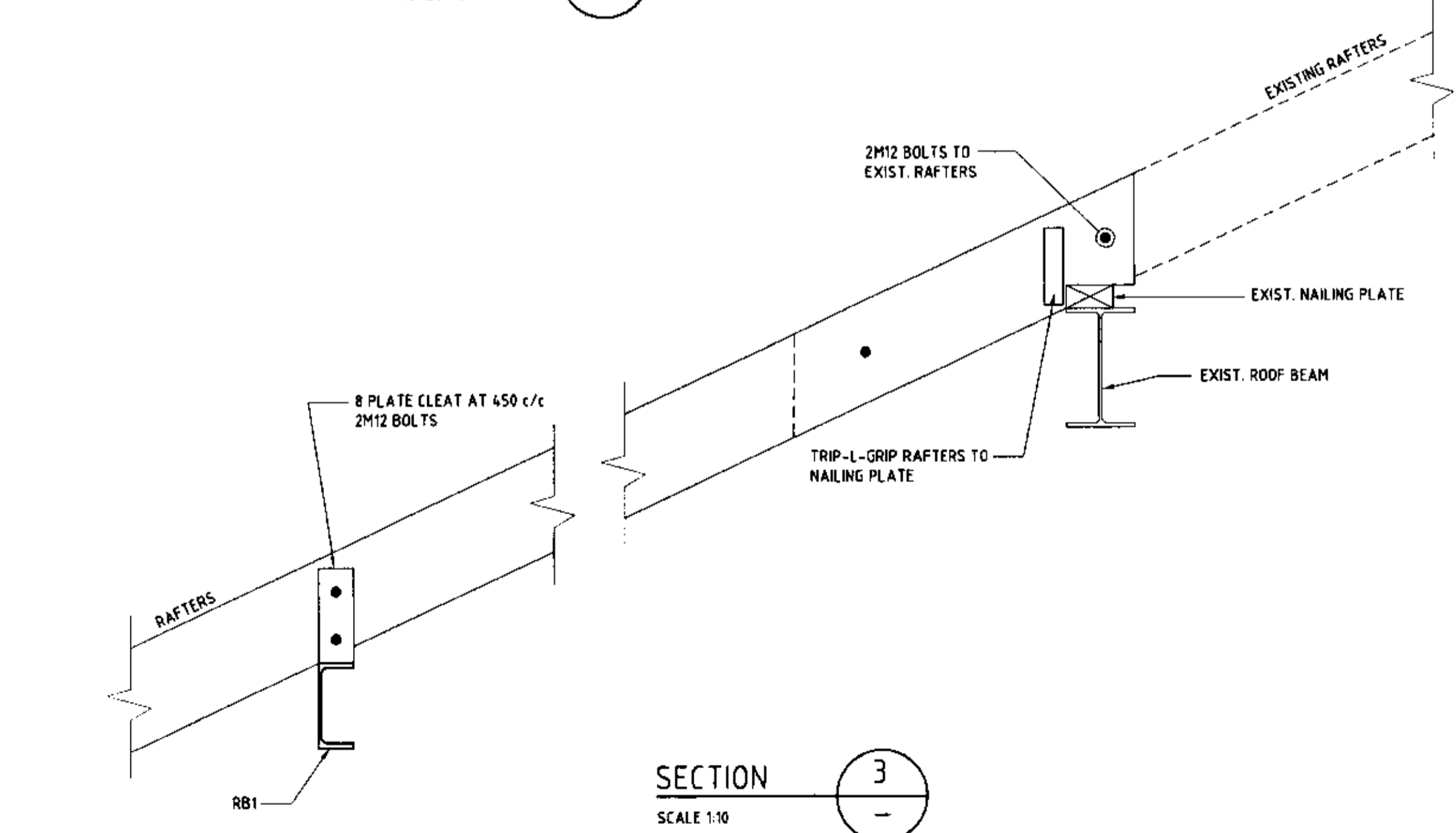
**FLOOR BEAMS**  
B1: 200UB25  
B2: 250UB37

**ROOF BEAM**  
RB1: 180 PFC OR 200X100X4 SHS.  
HD GALV TO 900 g/m<sup>2</sup> & PAINT TO AS2312.

**RAFTERS**  
190x45 FT @ 600 c/c  
OR 150x45 HYSYAN @ 600 c/c

**POSTS**  
P1, P2: 100x100x5 SHS  
P3 TO P7: 100x100x2 SHS STAINLESS STEEL.  
STRENGTH GRADE 250 MPa OR BETTER.

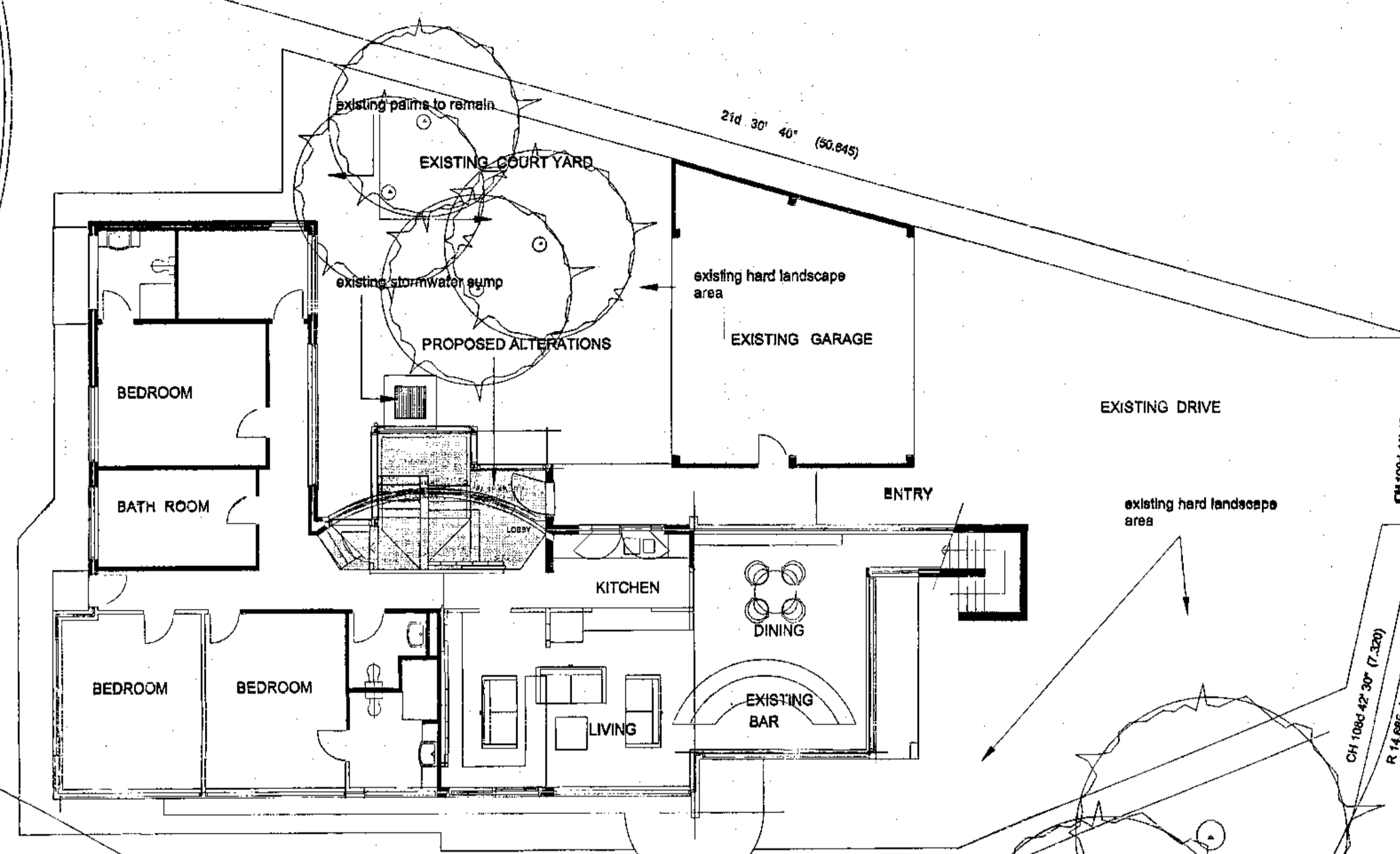
- NOTES:**
1. ALL EXPOSED STEEL MEMBERS, FITTINGS AND FASTENERS TO BE HOT-DIPPED GALVANISED.
  2. ALL EXPOSED TIMBER MEMBERS TO BE PRESERVATIVE TREATED OR HARDWOOD, DURABILITY GRADE 2 OR BETTER.
  3. PROVIDE WALL & ROOF BRACING & ROOF TIE-DOWN IN ACCORDANCE WITH REQUIREMENTS OF AS 1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION.



BILGOLA CREEK

BILGOLA AVE

BILGOLA BEACH

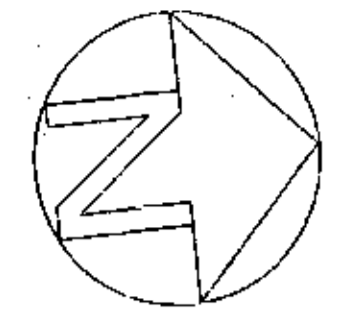


GROUND PLAN  
RL. 6.100

TOTAL AREA (LOT 11A) 1916M<sup>2</sup>

EASEMENT

PUBLIC WALKWAY



FILE REFERENCE:
DATE:

NOTE: ALL DIMENSIONS TO BE CHECKED ON SITE.

DA SUBMISSION ISSUE

AMENDMENT  
**PITTSBURGH COUNCIL**  
**APPROVED DEVELOPMENT CONSENT PLANS**

**NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

DEVELOPED BY  
**DEVLIN, LANE & ASSOCIATES PTY LTD**  
 Architects  
 4 Windermere Place  
 WHEELER HEIGHTS NSW 2097  
 9981 2387 PH  
 E-mail: [twlans@optusnet.com](mailto:twlans@optusnet.com)

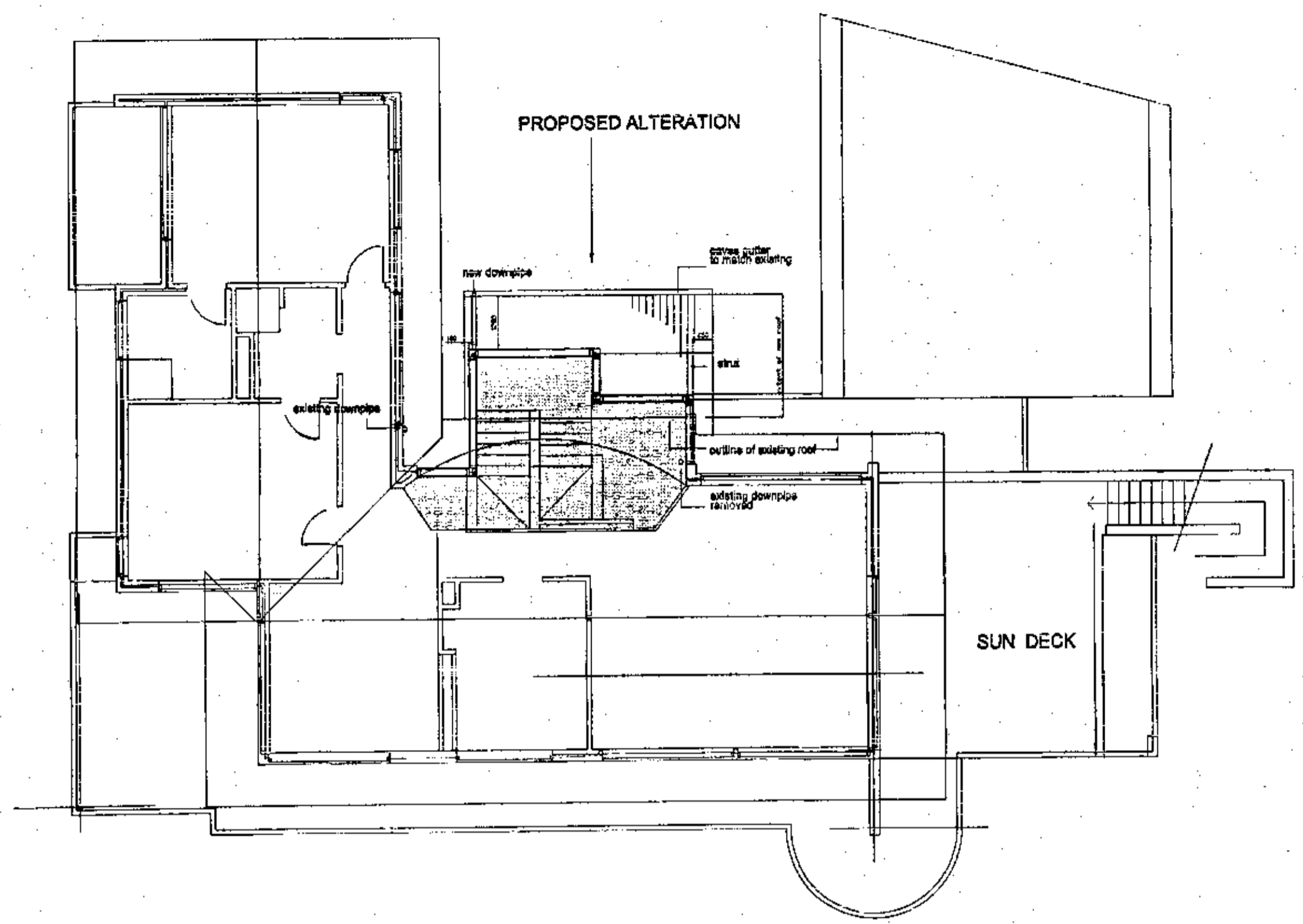
TITLE:  
**PROPOSED ALTERATIONS TO EXISTING RESIDENCE AT No 21 BILGOLA AVE. BILGOLA LOT 11A DP 401408 WARRINGAH SHIRE**

DESCRIPTION:  
**SITE PLAN**

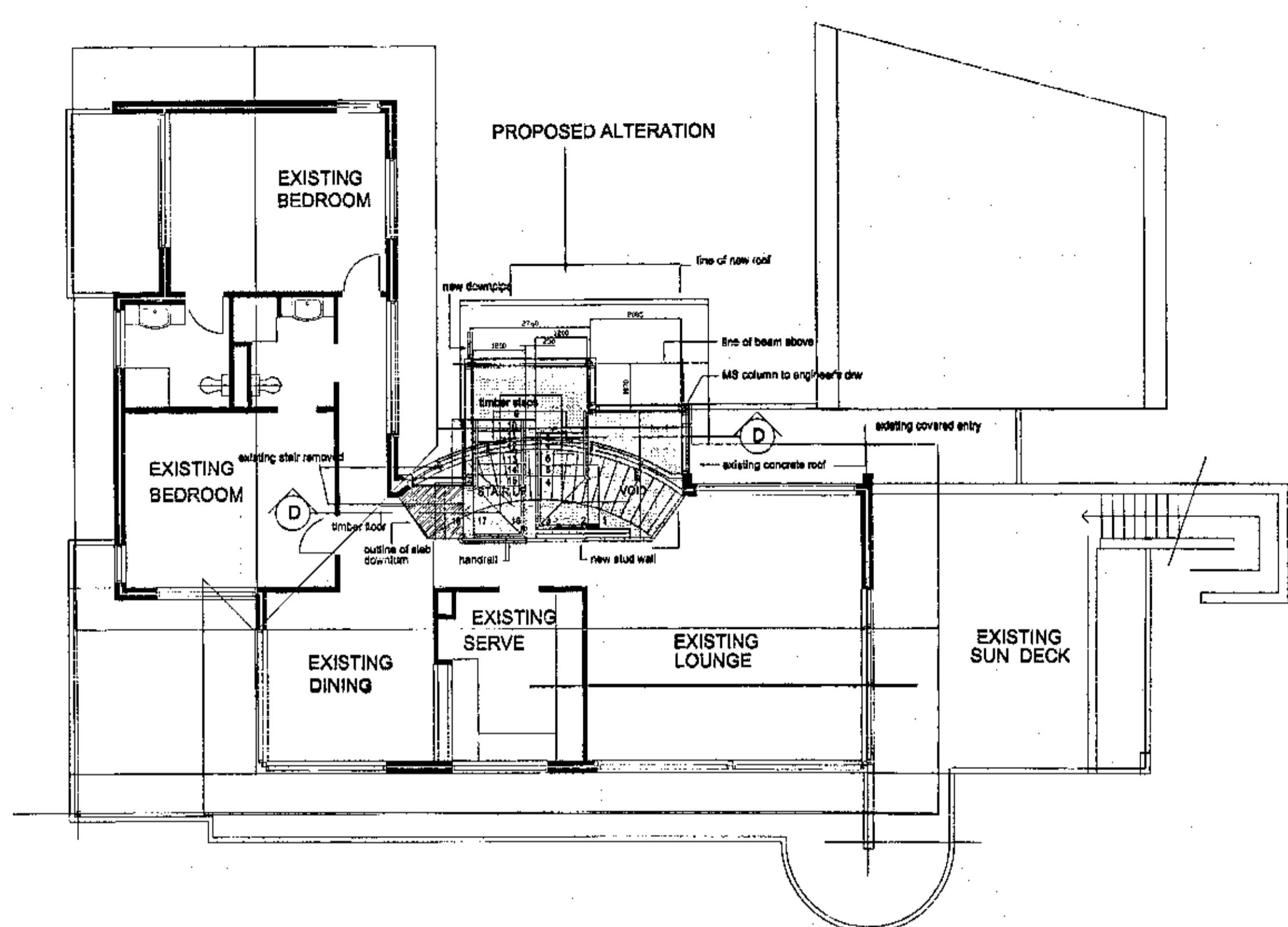
Andrew Dean Consulting Pty Ltd  
 Accredited Certifier-Principal Certifying Authority  
 Application No: 210005 Date: 21/05/04  
 I certify that the work completed in accordance with the documentation accompanying the application for the certificate (with such modifications notified by the existing authorities) may be shown that the development will comply with the requirements of this Regulation as amended to in Section 81A(2) of the Environmental Planning & Assessment Act 1973

Signature: Daniel Powell

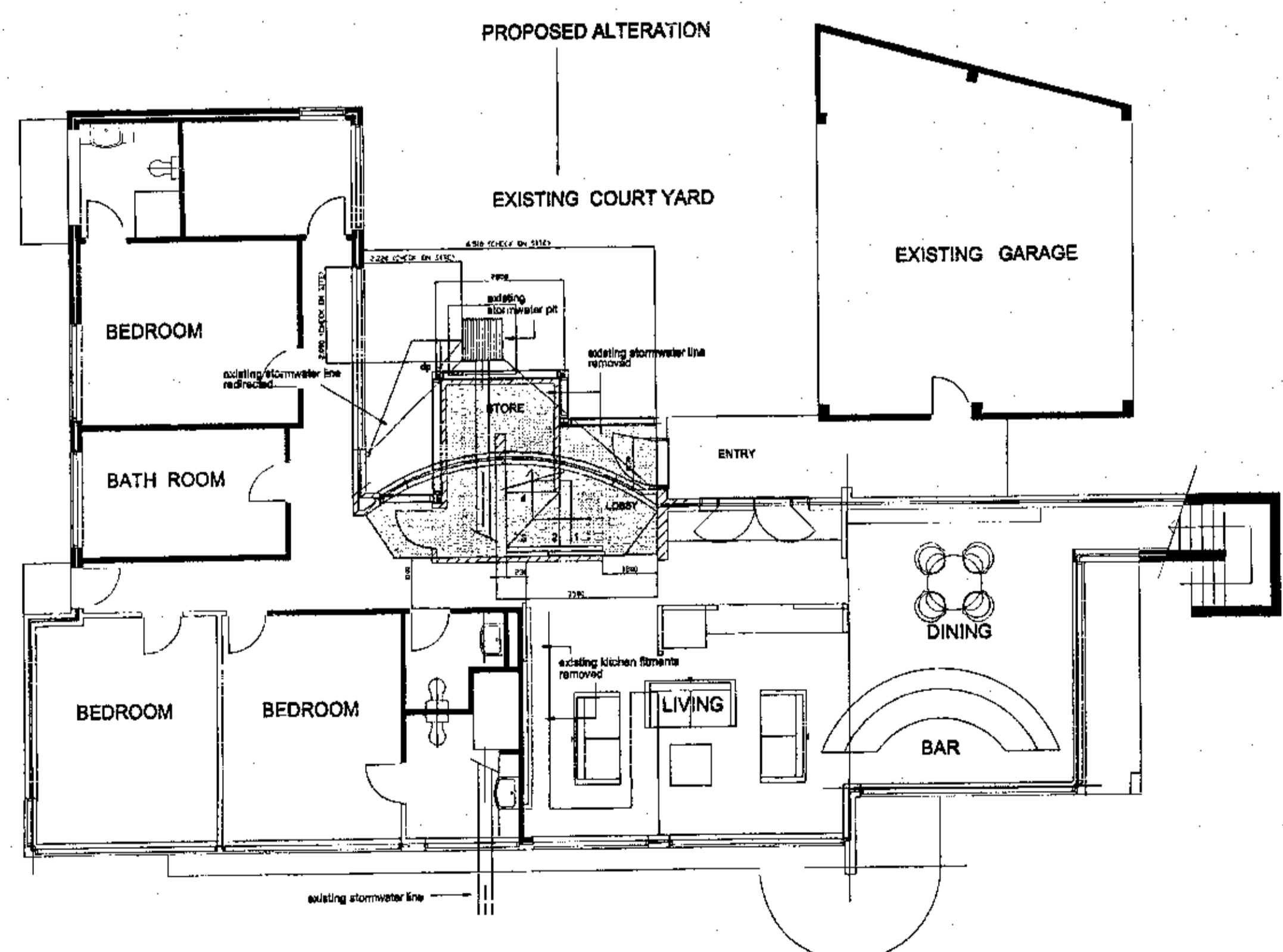
DRAWN:	DATE: SEPTEMBER 2004
SCALE: 1:100	AMENDMENT DATE:
DRAWING NUMBER: DA/04/01	SHEET:



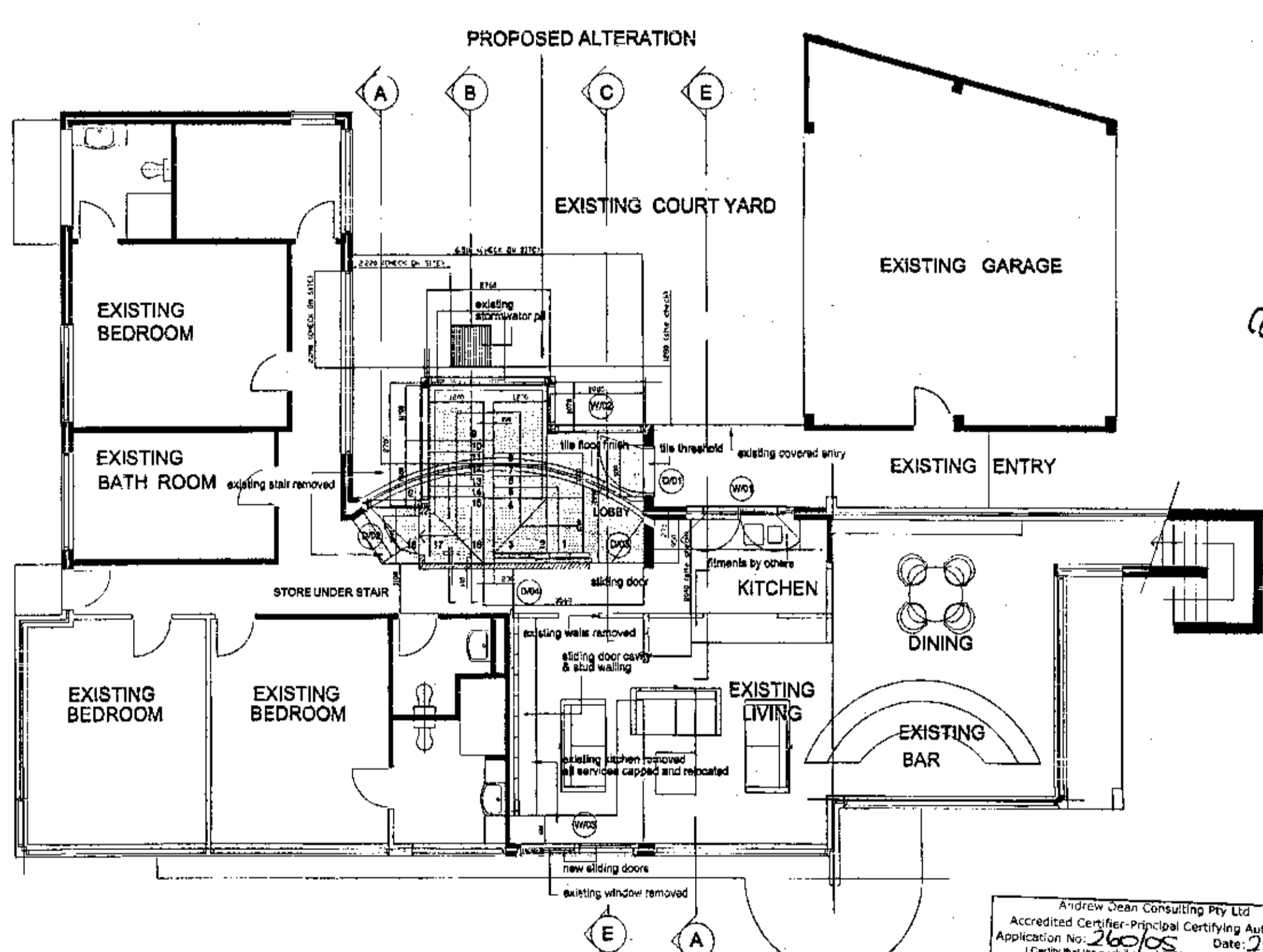
ROOF PLAN



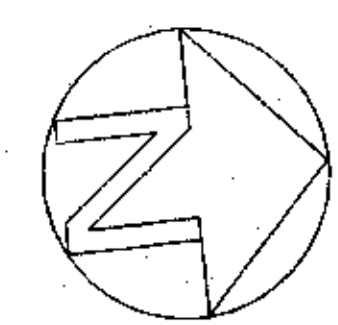
FIRST FLOOR PLAN  
EXISTING R.L. 9.000



UNDERSTAIR PLAN



GROUND PLAN  
EXISTING R.L. 6.100



FILE REFERENCE:  
DATE:

NOTE: ALL DIMENSIONS TO BE CHECKED ON SITE.

AMENDMENTS:

DA SUBMISSION ISSUE

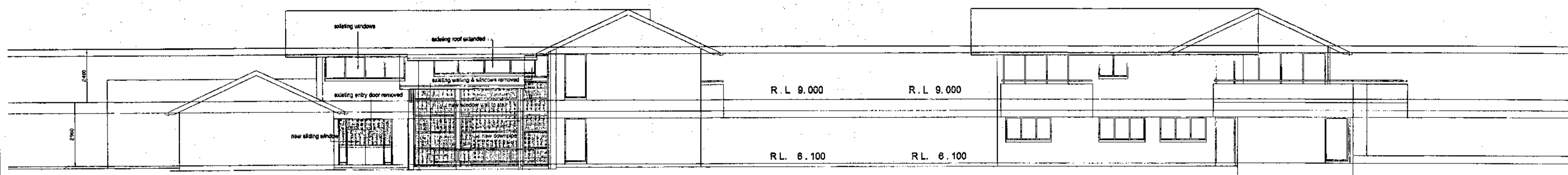
APPROVED DEVELOPMENT CONSENT PLANS  
PITTSBURGH COUNCIL  
T.W. LANE & Associates Pty Ltd  
Architects  
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

PROPOSED ALTERATIONS TO EXISTING RESIDENCE AT No 21 BILGOLA AVE. BILGOLA LOT 11A DP 401408 WARRINGAH SHIRE

DESCRIPTION  
GROUND FLOOR  
FIRST FLOOR  
ROOF PLAN

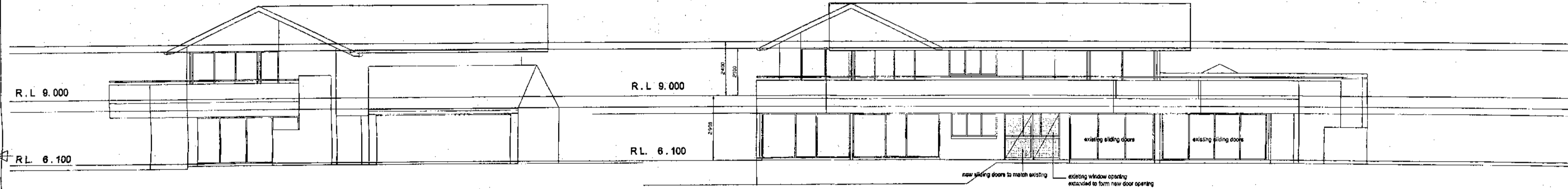
Andrew Chan Consulting Pty Ltd  
Accredited Certifier-Principal Certifying Authority  
Application No. 260105 Date: 21/7/08  
I certify that the work is undertaken in accordance with the documentation accompanying the application as the certifier with such modifications verified by the certifying authority as may be shown on the documentation and comply with the requirements of the Regulation and the Environmental Planning and Assessment Act 1973  
Signature: Daniel Powell

DRAWN:	DATE:
SCALE: 1:100	SEPTEMBER 2004
DRAWING NUMBER: DA/04/02	AMENDMENT DATE:
	ISSUE: SHEET:



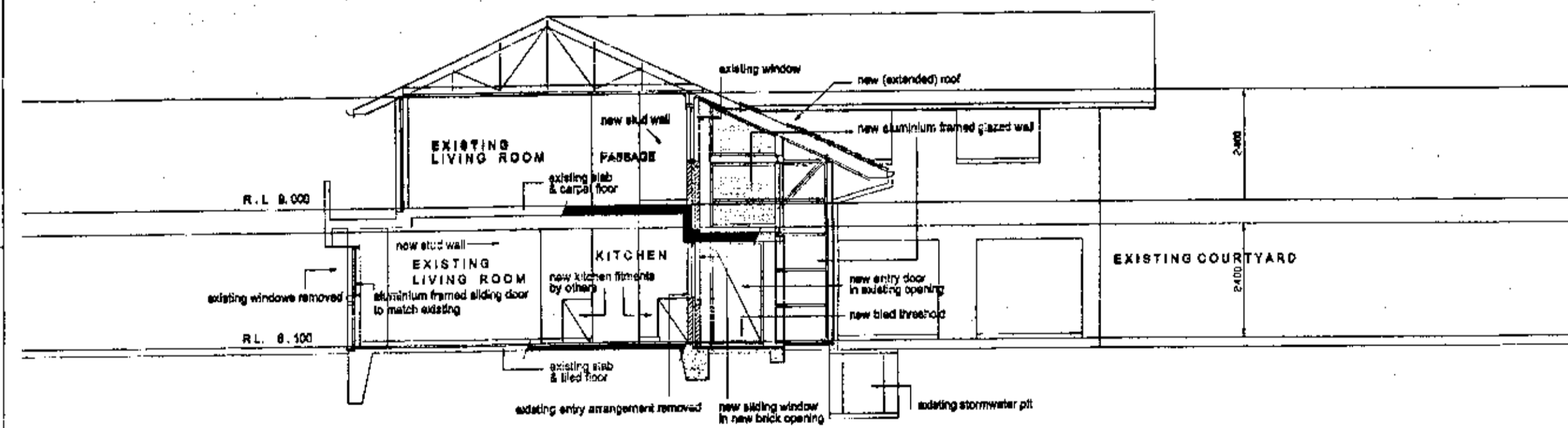
WEST ELEVATION

NORTH ELEVATION



SOUTH ELEVATION

EAST ELEVATION



SECTION A A

FILE REFERENCE:	
DATE:	

NOTE: ALL DIMENSIONS TO BE CHECKED ON SITE.  
AMENDMENTS:

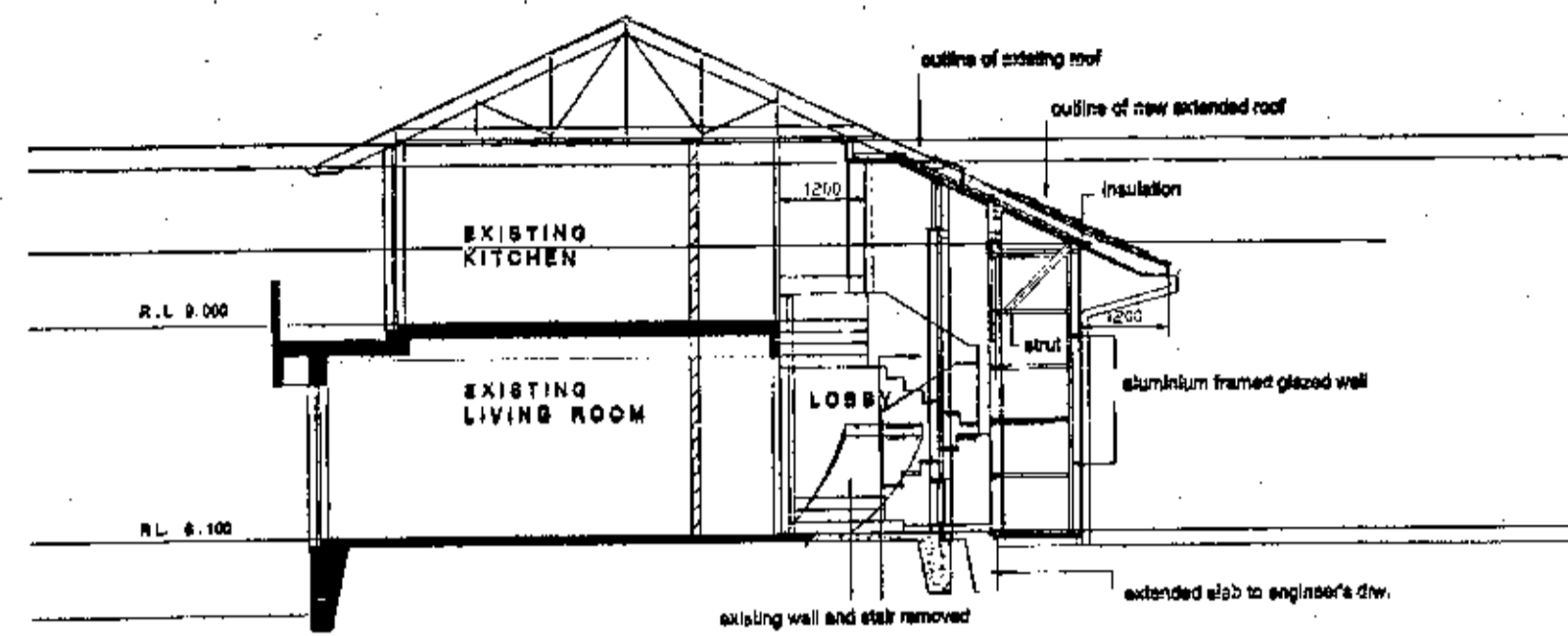
DA SUBMISSION ISSUE

**PATSWATER COUNCIL**  
APPROVED DEVELOPMENT CONSENT  
T. W. CONNOR Associates Pty Ltd  
Architects  
WINDERMERE  
WHEELER HEIGHTS  
2097  
2987 PH  
2992 FX  
4 Arnhem / Twilone Road

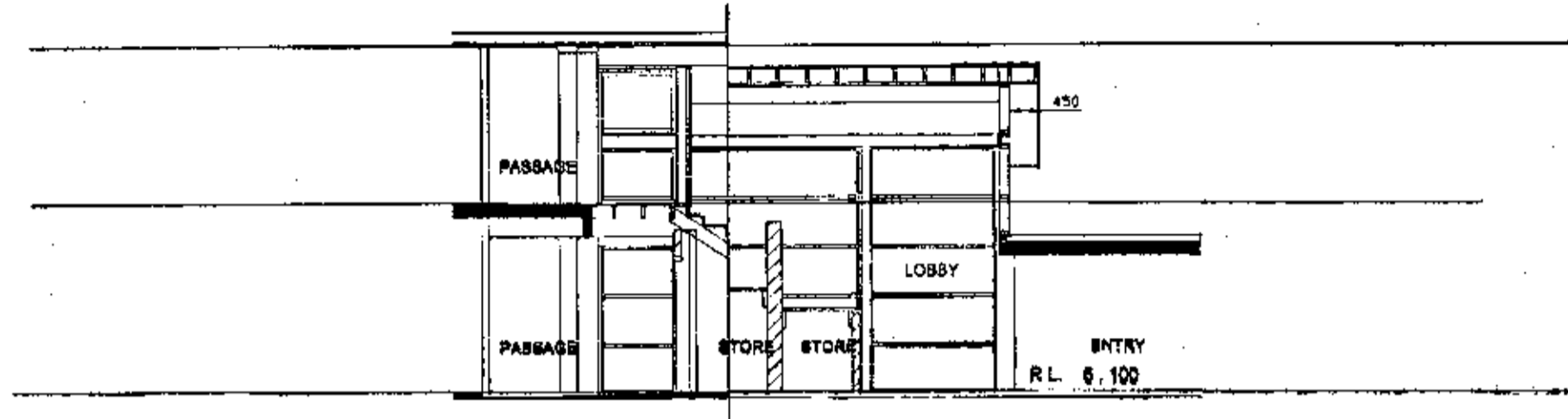
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT  
PROPOSED ALTERATIONS TO  
EXISTING RESIDENCE  
AT  
No 21 BILGOLA AVE.  
BILGOLA  
LOT 11A DP 401408  
WARRINGAH SHIRE

Andrew Dean Consulting Pty Ltd  
Accredited Certifier-Principal Certifying Authority  
Application No: 260/05 Date: 21/7/05  
I Certify that the work proposed in accordance with the information accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that document) will comply with the requirements of the Planning & Assessment Act 1973.  
Signature: [Signature] Daniel Powell

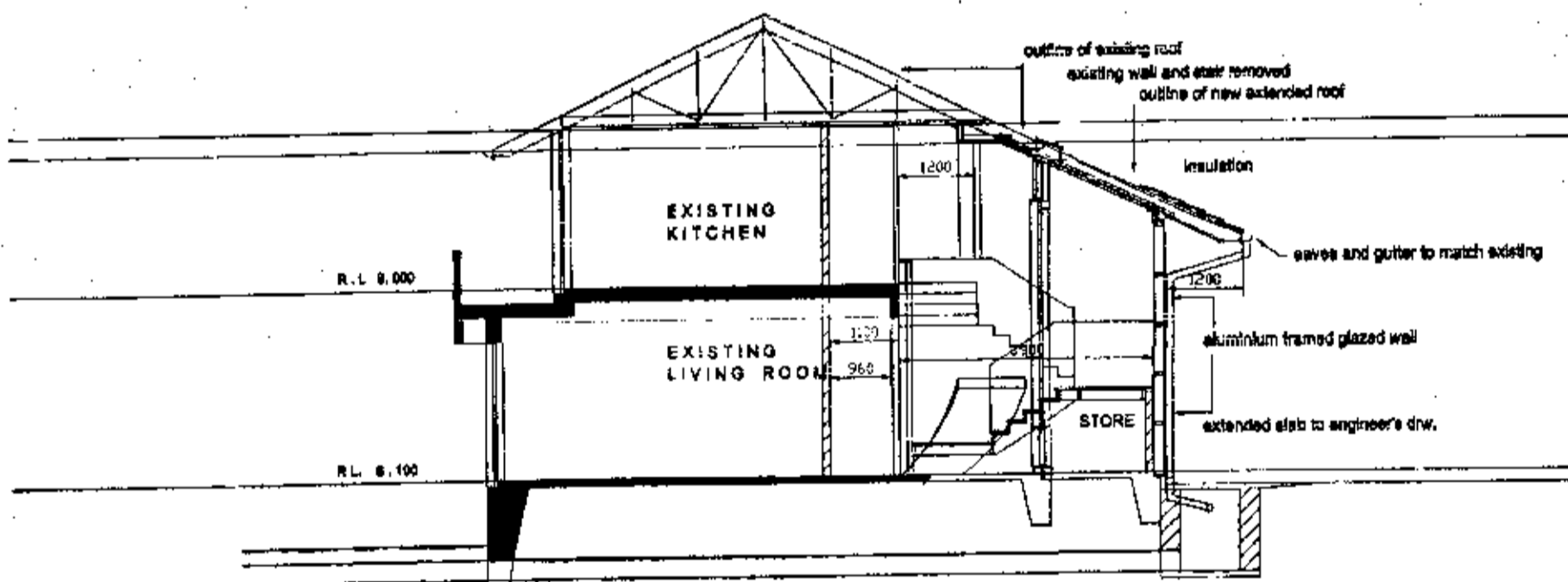
DESCRIPTION: <b>ELEVATIONS &amp; SECTION</b>		
DRAWN:	DATE: SEPTEMBER 2004	
SCALE: 1:100	AMENDMENT DATE:	
DRAWING NUMBER: DA/04/03	ISSUE:	SHEET:



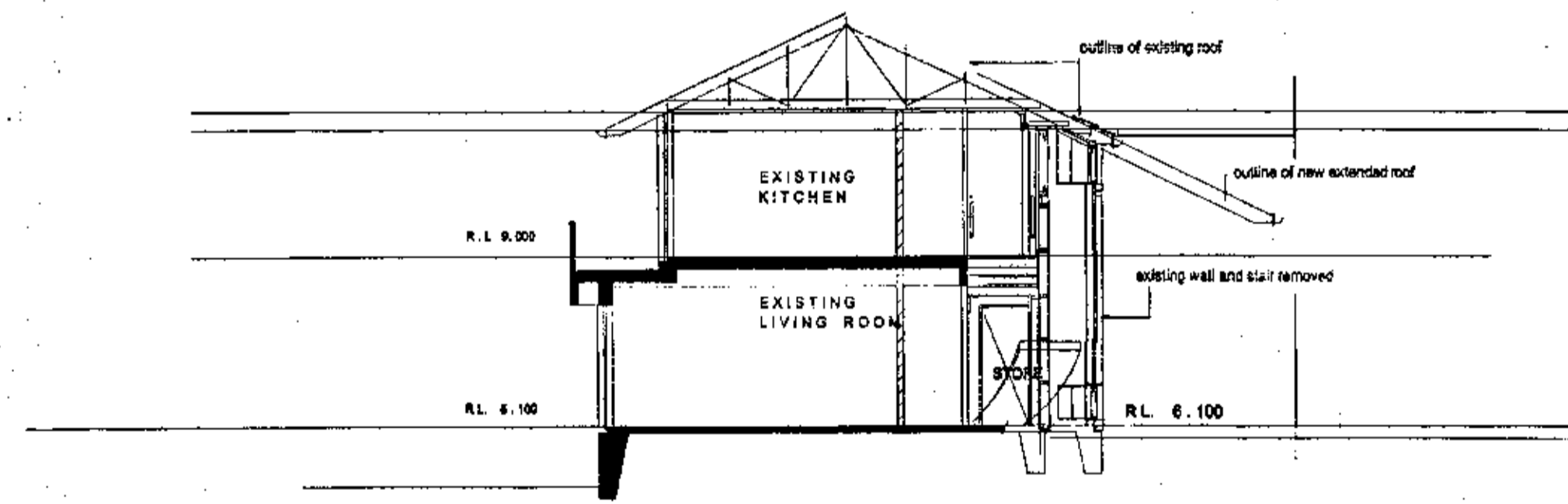
SECTION CC



SECTION EE



SECTION BB



SECTION DD

FILE REFERENCE:  
DATE:  
NOTE: ALL DIMENSIONS TO BE CHECKED ON SITE.  
AMENDMENTS:

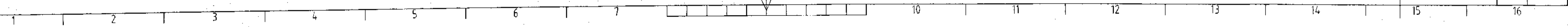
DA SUBMISSION ISSUE

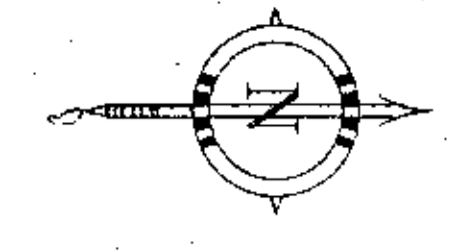
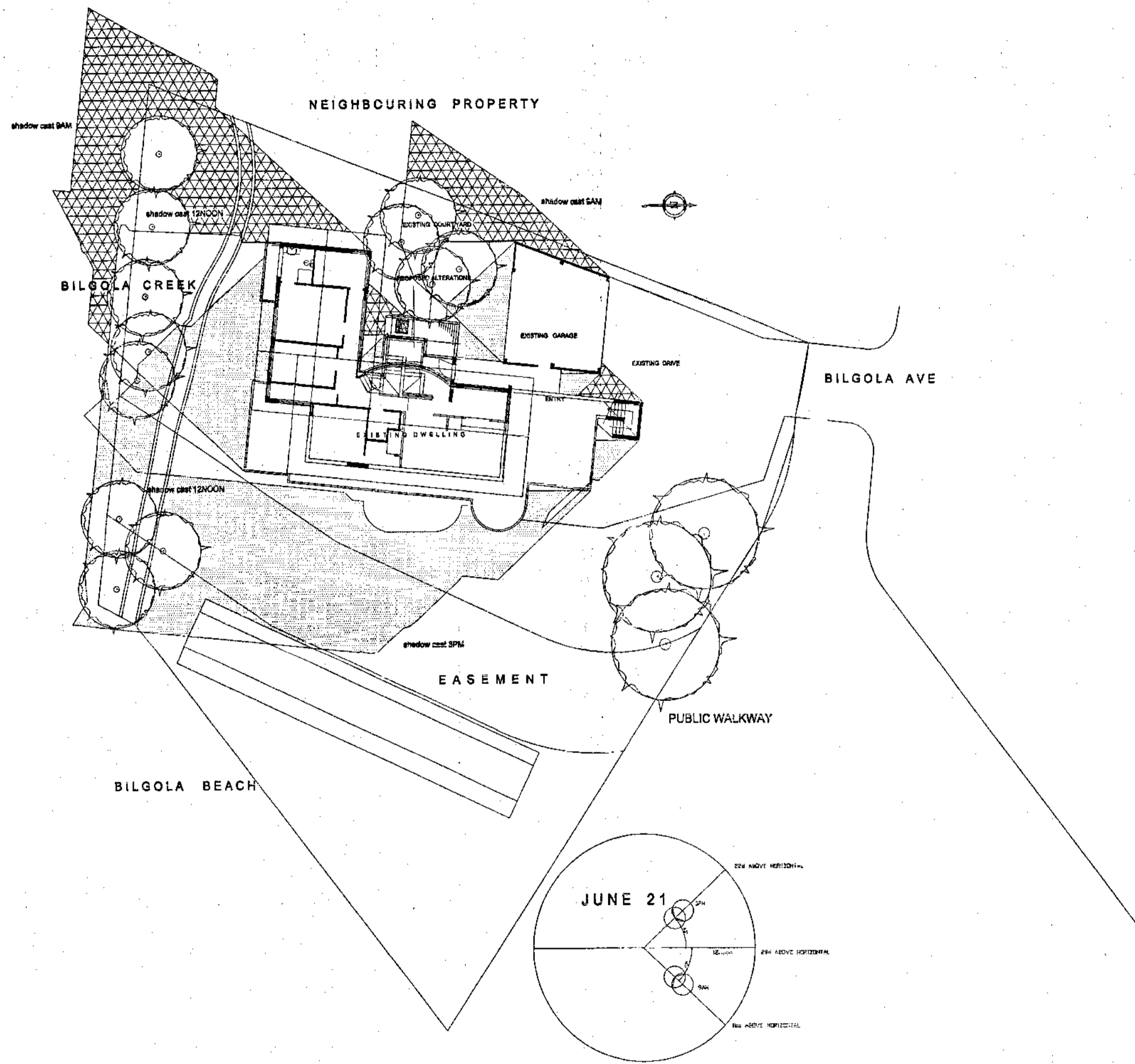
DATE: 2007  
APPROVED BY: *[Signature]*  
PITTMAN & Associates Pty Ltd  
Architects  
157 Pittwater Road  
Pittwater NSW 1545  
PHONE: 02 9438 1115  
FAX: 02 9438 1116  
E-MAIL: pittman@pittman.com.au

NOTE: THESE PLANS MUST BE RE-APPROVED IN CONJUNCTION WITH THE CONDUCT OF DEVELOPMENT OPERATIONS PROPOSED AT THIS RESIDENCE AT  
EXISTING RESIDENCE  
AT  
No 21 BILGOLA AVE.  
BILGOLA  
LOT 11A DP 401408  
WARRINGAH SHIRE

Andrew Dean Consulting Pty Ltd  
Accredited Certifier-Principal Certifying Authority  
Application No: 260705 Date: 21/7/05  
I certify that the work is completed in accordance with the  
documentation accompanying the application for the certificate  
and such modification verified by the certifying authority as  
may be shown on the documentation are comply with the requirements  
of the Regulation pursuant to Section 61(1)(a)  
Signature: *[Signature]* Daniel Powell

DESCRIPTION: <b>SECTIONS</b>		
DRAWN:	DATE: SEPTEMBER 2004	
SCALE: 1:100	AMENDMENT DATE:	
DRAWING NUMBER: DA/04/04	ISSUE:	SHEET:





FILE REFERENCE:	
DATE:	

NOTE: ALL DIMENSIONS TO BE CHECKED ON SITE.

AMENDMENTS:

**DA SUBMISSION ISSUE**

CONSULTANT:

**T. W. LANE & Associates Pty Ltd**  
Architects

4 Wincemere Place NSW 2097  
WHEELER HEIGHTS 9981 2387 PH  
9971 7002 FX  
E-mail: twlane@optusnet.com

TITLE:

**PROPOSED ALTERATIONS  
TO  
EXISTING RESIDENCE  
AT  
No 21 BILGOLA AVE.  
BILGOLA  
LOT 11A DP 401408  
WARRINGAH SHIRE**

DESCRIPTION:

**SHADOW PROJECTION  
9AM, 12NOON, 3PM.  
21 JUNE  
EXISTING & PROPOSED.**

DRAWN:	1:200	DATE:	SEPTEMBER 2004
SCALE:		AMENDMENT DATE:	
DRAWING NUMBER:	<b>DA/04/05</b>	ISSUE:	SHEET:

Andrew Dean Consulting Pty Ltd  
Accredited Certifier-Principal Certifying Authority  
Application No: 200405 Date: 21/05  
I Certify that the work of the certifier in accordance with the  
documentation accompanying the application for the certificate  
(with such modifications as may be required by the certifying authority in  
accordance with the requirements of the Regulations) is in accordance with the requirements  
of the Regulations and is in accordance with Section 81A(1)  
of the Environmental Planning & Assessment Act 1979

Signature: Daniel Powell