



Weldon Oval Curl Curl

**STATEMENT OF ENVIRONMENTAL EFFECTS FOR
THE CONSTRUCTION OF AN ELECTRONIC SCOREBOARD AT WELDON OVAL**



Report prepared for
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Contents

Introduction

The site and its locality

Proposed Development

Statutory Framework

Section 4.15

Conclusion

1.0 Introduction

- 1.1 This is a statement of environmental effects for the construction of an electronic scoreboard at Weldon Oval, John Fisher Park, Curl Curl.

The report describes how the application addresses and satisfies the objectives and standards of SEPP Coastal Management 2018, SEPP 55, the Warringah Local Environmental Plan 2011, the Warringah Development Control Plan, the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended) and the Weldon Oval Plan of Management.

- 1.2 This statement of environmental effects has been prepared with reference to the following:

- ◆ Site visit
- ◆ Architectural drawings prepared by Sellick Consultants
- ◆ Survey & site plan prepared by TSS Total Surveying Solutions
- ◆ Geotechnical report prepared by Alliance Geotechnical
- ◆ Engineering Drawings prepared by Calare Civil
- ◆ Slab design prepared by Craig Scheffers

- 1.3 The proposed scoreboard will be located on the south western side of Weldon Oval and is proposed to be located to allow for viewing from the field of play, the coaches' tents, the club house and stands. Its positioning has also been chosen to ensure no impacts for existing vegetation with the structure to sit just in front of the existing trees at the rear of the oval.

- 1.4 The new scoreboard will be a typical playing field structure, of appropriate scale to allow for easy vision for spectators, but not too great in size so as to be to the detriment of the scenic qualities of the location. The scoreboard will be a minimal addition to Weldon Oval and will be to the vast benefit of the local sporting community.

- 1.5 This application follows a previous Development Application which was withdrawn following consultation with Council planner Phillip Lane and landscape Officer Anthony Powe. The previous application also included the following reports, which are not required for the revised location.

- ◆ Flooding Report prepared by Stellen Engineering
- ◆ Biodiversity Report prepared by Niche

The revised location has been chosen to ensure adequate distance from trees and an appropriate landscape view. The size of the scoreboard has also been reduced to improve the landscape impact.

2.0 The site and its locality

- 2.1 The site is located on the northern side of Stirgess Avenue, in Curl Curl, and forms part of a larger group of community open space which is bounded by Harbord Road to the west, Abbott Road to the north, and Griffin Road to the east, with Weldon Oval on the southern side and bounded by Stirgess Avenue.
- 2.2 The large open space area includes playing fields for soccer, cricket, netball, walking and running tracks and has Greendale Creek running through the central area and Curl Curl lagoon on the eastern side.
- 2.3 Weldon Oval is a circular playing field bounded by a low white picket fence with club house and field lighting being the primary associated structures.
- 2.4 Cricket nets are located to the west and the Harbord Bowling Club is located to the south west of the oval.
- 2.5 The site is surrounded by detached residential dwellings to the south, with large areas of public recreation to the north and west, and Curl Curl Beach located to the east.



Figure 1. The site and it's immediate surrounds

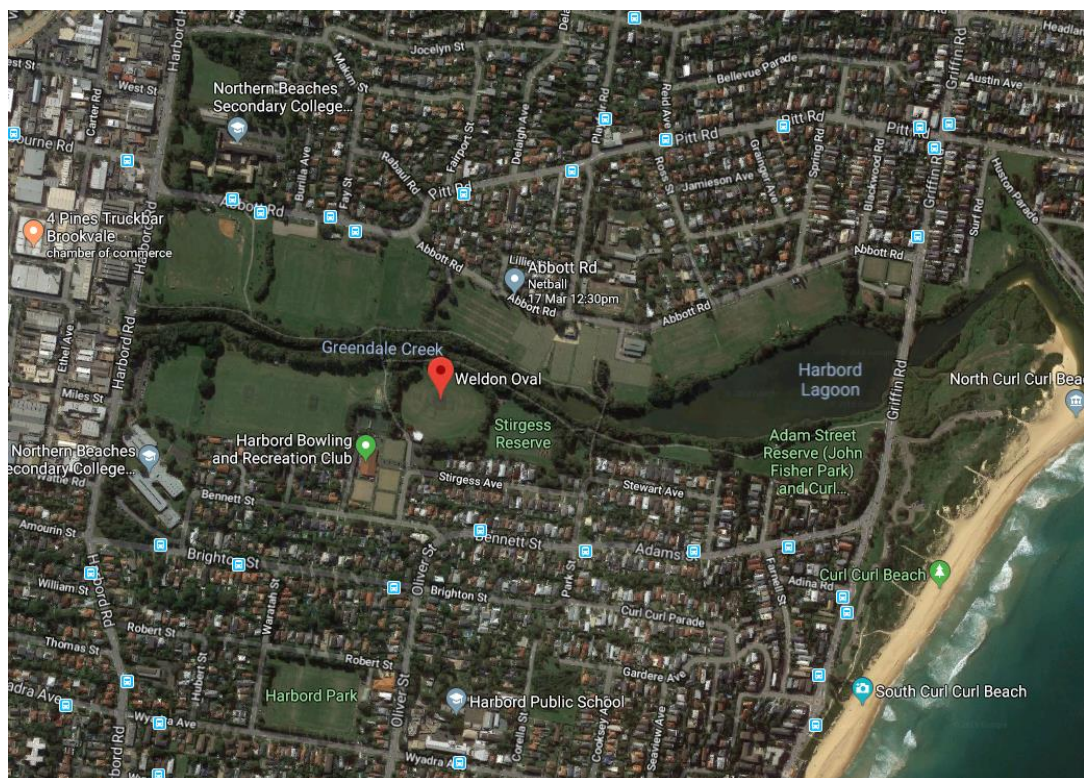


Figure 2. The site and it's immediate surrounds



Figure 3. The location of the proposed scoreboard

3.0 Proposed Development

- 3.1 It is proposed to construct an electronic scoreboard on the western perimeter of the oval. The scoreboard will serve the purpose of displaying the scores and relevant information for the games played on the oval.
- 3.2 The scoreboard is proposed to be construed with the following dimensions:
 Height: 4720mm
 Width: 3200mm
 Depth: 200mm
 Slab: 4200mm x 1600mm
- 3.3 The scoreboard has been designed to sit on a concrete slab as opposed to the traditional deeper footings. This construction method is preferred due to the historic contamination of the site and the preference to ensure that the deeper levels of the site remain undisturbed.
- 3.4 The design of the scoreboard is similar to one recently installed at Bathurst Bushrangers AFC (although smaller). A photograph of this recently installed structure is provided below.



Figure 4. Scoreboard recently installed at Bathurst Bushrangers' playing field.

4.0 Zoning

4.1 The zoning under the provisions of the Warringah LEP 2011 is RE 1 Public Recreation.



Figure 5. Extract from Warringah zoning map

A scoreboard is a permissible use with Development Consent being an ancillary component to a recreation area of which Weldon Oval fulfils the definition. See below extract from Dictionary.

recreation area means a place used for outdoor recreation that is normally open to the public, and includes:

- (a) a children's playground, or
 - (b) an area used for community sporting activities, or
 - (c) a public park, reserve or garden or the like,
- and any ancillary buildings, but does not include a recreation facility (indoor), recreation facility (major) or recreation facility (outdoor).

5.0 Statutory Framework

5.1 State Environmental Planning Policy Coastal management 2018

The site is subject to SEPP Coastal Management (2018). Additionally, Curl Curl Lagoon is also listed in Schedule 1 of the SEPP as a coastal lake.

Accordingly, an assessment under the SEPP has been carried out as follows:

13 Development on land within the coastal environment area

(1) Development consent must not be granted to development on land that is within the coastal environment area unless the consent authority has considered whether the proposed development is likely to cause an adverse impact on the following:

- (a) the integrity and resilience of the biophysical, hydrological (surface and groundwater) and ecological environment,*
- (b) coastal environmental values and natural coastal processes,*
- (c) the water quality of the marine estate (within the meaning of the [Marine Estate Management Act 2014](#)), in particular, the cumulative impacts of the proposed development on any of the sensitive coastal lakes identified in Schedule 1,*
- (d) marine vegetation, native vegetation and fauna and their habitats, undeveloped headlands and rock platforms,*
- (e) existing public open space and safe access to and along the foreshore, beach, headland or rock platform for members of the public, including persons with a disability,*
- (f) Aboriginal cultural heritage, practices and places,*
- (g) the use of the surf zone.*

(2) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that:

- (a) the development is designed, sited and will be managed to avoid an adverse impact referred to in subclause (1), or*
- (b) if that impact cannot be reasonably avoided—the development is designed, sited and will be managed to minimise that impact, or*
- (c) if that impact cannot be minimised—the development will be managed to mitigate that impact.*

(3) This clause does not apply to land within the Foreshores and Waterways Area within the meaning of [Sydney Regional Environmental Plan \(Sydney Harbour Catchment\) 2005](#).

Comment:

The proposal will have an acceptable impact on the matters identified above.

As such, it is considered that the application does comply with the requirements of the State Environmental Planning Policy (Coastal Management) 2018.

5.2 SEPP 55 – Remediation of Land

Clause 7 (1) (a) of SEPP 55 requires the Consent Authority to consider whether land is contaminated. John Fisher Park is on the 'List of NSW contaminated sites notified to EPA' not the 'Contaminated Land: Record of Notices'. According to the EPA the reasoning for the contamination was "landfill". The EPA has completed an assessment of the contamination and decided that regulation under the Contaminated Land Management Act 1997 is not required.

In this regard it is considered that the site poses no risk of contamination and therefore, no further consideration is required under Clause 7 (1) (b) and (c) of SEPP 55 and the land is considered to be suitable for the scoreboard use.

5.3 Warringah Local Environmental Plan 2011

The relevant clauses of the Warringah Local Environmental Plan 2011 are addressed below.

Zoning

The site is zoned RE1 Public Recreation pursuant to the provisions of the Warringah Local Environmental Plan 2011.

The proposed development is a permissible use in the RE1 zone which permits recreation areas (ancillary associated structures) with development consent.

The objectives of the RE1 zone are considered to be fulfilled as is detailed below.

- *To enable land to be used for public open space or recreational purposes.*

The installation of a scoreboard within the public open space area will enhance the recreational uses of the location.

- *To provide a range of recreational settings and activities and compatible land uses.*

The use is relevant to recreation and is highly compatible with the land use zone.

- *To protect and enhance the natural environment for recreational purposes.*

The scoreboard is an appropriate scale to sit within the playing field space and will not be to the detriment of the environment and natural features of the land.

- *To protect, manage and restore public land that is of ecological, scientific, cultural or aesthetic value.*

The installation of the scoreboard is to the benefit of the cultural use of the land and will not be to the detriment of the other objectives.

- *To prevent development that could destroy, damage or otherwise have an adverse effect on those values.*

The development is appropriate for the zone.

Height

Clause 4.3 of the LEP restricts the height of any development included in the mapping associated with the LEP. The subject site is not included and accordingly there is no height limit placed on the site.

The proposed scoreboard has a maximum height of 5020 (4720mm + 300mm slab).

Heritage

The site is not a heritage item, located within a heritage conservation area or located near any heritage items.

Acid Sulfate Soils

The site is located in an area nominated as Class 4 Acid Sulfate soils. The development proposes a depth for the slab being no greater than 200mm and accordingly there will be no disturbance to the possible acid sulfate soils at lower levels.

5.4 Warringah Development Control Plan

The relevant sections of the DCP are addressed below.

Clause	Compliance	Compliance
A.5 Objectives	The development is consistent with the desired use and character of the public recreation zone.	Yes
C2 Traffic, Access and Safety	There is no change to the traffic accessing the open space area. No intensification of the use is proposed with the scoreboard proposed to enhance the sporting experience for those already visiting Weldon Oval.	Yes
C4 Stormwater	The small structure will not be to the detriment of stormwater on the large open space site.	Yes
C5 Erosion and	The proposed works would be carried	Yes

Sedimentation	out compliance with relevant conditions and in line with the requirements of the accompanying geotechnical report.	
C8 Demolition and Construction	Construction will be undertaken using best practice measures and in compliance with all relevant conditions of t consent.	Yes
C9 Waste management	Waste management will be undertaken in accordance with relevant requirement. A waste management plan will be provided with the construction certificate.	Yes
D7 Views	The DCP requires the reasonable sharing of views. The proposed scoreboard is not to the detriment of any shared views.	Yes
D9 Building Bulk	The DCP requires minimisation of the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes. Similarly, it is required that the building height and scale needs to relate to topography and site conditions. The structure is limited in scale, below the tree line and appropriate with regard to the neighbouring structures and its overall appearance.	Yes
D10 Building Colours and Materials	Materials have been chosen which are appropriate to the surrounds.	Yes
D12 Glare and Reflection	The structure will be appropriate.	Yes
E1 Preservation of Trees or Bushland	No vegetation will be lost as a result of the proposed development.	Yes
E2 Prescribed Vegetation	Yes	Yes
E3 Threatened species, populations, ecological communities listed under State or Commonwealth legislation, or High Habitat	A Biodiversity Report prepared by Niche concludes that the development is appropriate.	Yes
E4 Wildlife Corridors	The site is not located within a wildlife corridor	Yes
E5 Native Vegetation	The development has appropriately	Yes

	been located to ensure adequate distance from existing vegetation in consultation with Council's landscape Officer.	
E6 Retaining unique environmental features	N/A	Yes
E8 Waterways and Riparian lands	The site adjoins a creek and lagoon which are unaffected by the proposed development.	Yes
E10 Landslip Risk	The proposal is appropriate.	Yes
E11 Flood Prone Land	The siting of the score board is not within a flood prone area.	Yes

Threatened species, populations or ecological communities

The proposal will not significantly affect threatened species, populations or ecological communities, or their habitats.

Crime prevention through environmental design

The proposal is consistent with the principles of Crime Prevention Through Environmental Design.

Weldon Oval and John Fisher Park Plans of Management

The site is covered by both the Weldon Oval and John Fisher Park Plans of Management. These Plans speak to the use of the sites for recreation and sporting uses. The proposed scoreboard is consistent with the Plans for the location. Consultation with Council has been undertaken during the planning process to ensure that the requirements of the plans of management have been fully considered. The structure of the POMs base its forward planning on the premise of retention and improvement of the natural environment and improvement and upgrading of sporting and community facilities. This is achieved through the proposed development.

It is considered that the proposed development is consistent with the key objectives being:

- *To provide a sound basis for the future management of John Fisher Park and Abbott Road Land, guiding the major strategies and actions that are needed to achieve the vision for John Fisher Park and Abbott Road Land.*
- *To manage John Fisher Park and Abbott Road Land in accordance with ecologically sustainable development principles.*

- *For a participatory style of management to be encouraged in all aspects of park operations so as to develop a sense of ownership between the community and the park.*
- *To be consistent with and contribute to Council's overall management plan*
- *To incorporate Curl Curl Lagoon Rehabilitation Study recommendations and other relevant studies into the plan.*

These objectives envisage an open space area used by the community and retained as ecologically sustainable parkland. The location and installation of the scoreboard is consistent and appropriate.

6.0 Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

6.1 **The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations**

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Warringah LEP and DCP.

The development is permissible in the zone.

6.2 **The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economical impacts in the locality**

Context and Setting

What is the relationship to the region and local context in terms of:

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement.

What are the potential impacts on adjacent properties in terms of:

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed addition of an electronic scoreboard at the oval on the western side of the site has been designed to complement the site and its surrounds. The development is appropriate and will have appropriate impacts for the site and its surrounds.

Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

Parking and traffic will be unaffected by the proposed development which will not change existing parking or the use of the site.

Public domain

The proposed development will not detrimentally impact on the public domain with the scoreboard an appropriate structure for the sporting field location.

Utilities

There will be no impact on the site, which is already serviced.

Flora and fauna

There will be no impact.

Waste

There will be no impact.

Natural hazards

Reports in support of the proposal are provided with regard to geotechnical stability of the site.

Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

Site design and internal design

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The addition of the proposed scoreboard is highly appropriate to the site with regards to all of the above factors. The development fits well within the context of the surrounds and the structures on the site will remain of minimal scale and well suited to its recreational surrounds.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the relevant Council controls and Australian Standards.

Construction

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

6.3 The suitability of the site for the development

Does the proposal fit in the locality?

- *are the constraints posed by adjacent developments prohibitive?*

- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The adjacent development does not impose any unusual development constraints.

Are the site attributes conducive to development?

The site is appropriate for the proposed scoreboard.

6.4 Any submissions received in accordance with this Act or the regulations

It is envisaged that the consent authority will consider any submissions made in relation to the proposed development.

6.5 The public interest

It is considered that the proposal is in the public interest as it allows for appropriate and positive additions to an existing recreational site.

Section 4.15 of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

7.0 Conclusions

- 7.1 The proposed development application for the construction of an electronic scoreboard on the south western side of the existing oval at Weldon Oval, John Fisher Park, Curl Curl is appropriate considering all State and Council controls.
- 7.2 When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.
- 7.3 Considering all the issues, the fully compliant development is considered worthy of Council's consent.

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