

27 May 2009

General Manager
Manly Council
1 Belgrave Street
MANLY

Dear Sir,

Development Application No. 318/08
158 Condamine Street, Balgowlah

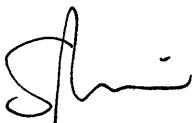
Manly Council
REC 2 8 MAY 2009
Distribution
1) Scanned
.....
2) Document No
.....
3) Part Scanned

For Council's information, please find enclosed Construction Certificate No. 2009/3312 issued for alterations and additions at the above address, accompanied by:

- Copy Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Builder's Home Warranty Insurance
- Cheque for \$30.00 being the prescribed fee to receive the above certificate.

NB: Please forward receipt for the above fee to Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660.

Yours faithfully



Stephen Pinn
Insight Building Certifiers Pty Ltd

CERTIFIER

\$30

R. 910924

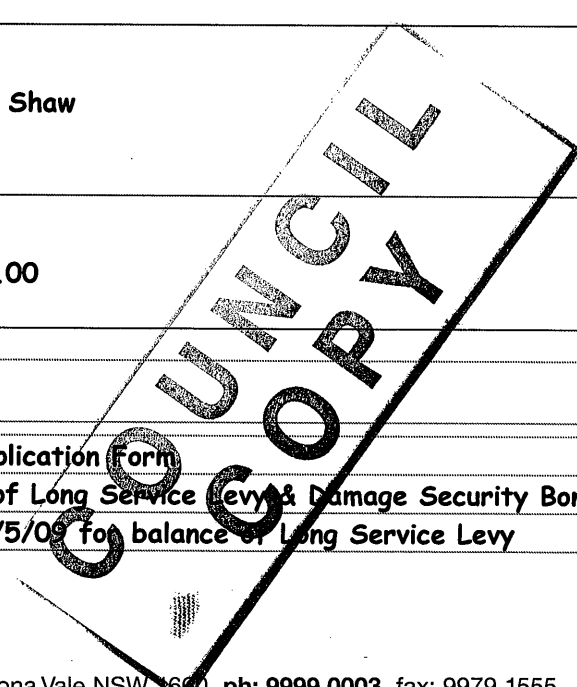
28-5-09

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2009/3312

Council	Manly
Determination date of issue	Approved 27 May 2009
Subject land Address Lot No, DP No.	158 Condamine Street, Balgowlah Lot 150 DP1117653
Applicant Name Address Contact No.	Emmalee Pepar 158 Condamine Street, Balgowlah 2093 9907 0053
Owner Name Address Contact No.	Emmalee Pepar & Andrew Pepar 158 Condamine Street, Balgowlah 2093 0416 213112
Description of Development Type of Work	Alterations and additions to an existing semi-detached dwelling
Builder or Owner/Builder Name Contractor Licence No/Permit	Phil Noel Shaw 40665
Value of Work Building	\$75,000.00
Attachments	<ul style="list-style-type: none">• Copy of completed Construction Certificate Application Form• Manly Council receipt no.603622 for payment of Long Service Levy & Damage Security Bond• LSL payment form with money order dated 27/5/09 for balance of Long Service Levy



Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp.

- Site Plan, Architectural Plans, BASIX Certification & Construction Specifications reference no.0107 drawing no's CC01 to CC06 Issue A dated 05/2009 prepared by Jaggers Kirkham Architects Pty Ltd.
- Structural Engineers Plans & Details reference no. M9091 dated 21 April 2009 prepared by Simpson Design Associates Pty Ltd
- Sydney Water approval dated 23/4/09
- Stormwater Management Plan & details prepared by Hydraulic Design Group Ref: SCP H01 Issue A dated May 2009
- Sediment & Erosion Control Plan & details Ref 0107 Drawing no. CC07 Issue A dated 05/2009 prepared by Jaggers Kirkham Architects Pty Ltd

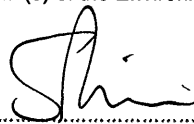
Certificate

I hereby certify that the above Plans, documents or Certificates, satisfy:

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signed



Date of endorsement
Certificate No.

27 MAY 2009
2009/3312

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority
Contact No.
Address

Stephen Pinn
BPB0326
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.
Date of Determination

318/08
11.12.08 (MOD 23.3.09)

BCA Classification

1a



MANLY COUNCIL

2008/2009

Development Application Fees Calculator

D/A No.: 318 108
 Date Paid: 29.1.4.09
 Rec. No.: 603622

Ensure that the Value of the Development entered into any of the boxes below is the same for each fee type

Place X in box if fee to be paid

Fee Code

Is the Development Application for a dwelling-house with an estimated construction cost of \$100,000 or less? (Mark X)

Yes

False

Fee

41

Development Application Fee

[Enter Total Value of Development]

\$ 49,000.00

\$ 0.00

117

PlanFirst Fee [for Planning NSW]

Applies to DA's with Value > \$50,000

\$ 49,000.00
0.064%

\$ FALSE

Total Development Application Fee

\$ 0.00

43

Notification Fee

\$ -

\$ 0.00

43

Fee for Development that Requires Advertising

\$

41

Fee for Other Types of Development

\$

44

Construction Certificate

[Enter Total Value of Development]

\$ -

\$ 0.00

48

Inspection Fees

[Enter No & Type of Inspections]

First Inspection

Subsequent Inspections

\$ 0.00

42

Long Service Levy [Long Service Payments Corporation]

Levy applies to Building Construction work costing \$25,000 or more (0.35% from 1/01/2005)

\$ 49,000.00

\$ 172.00

50

Builders Damage deposit

[Enter Total Value of Development] (Additional Fee may apply for Development > \$1,000,000)

\$ 49,000.00

\$ 1,100.00

49

S96 Modification of Consent

Fee for application under S96(1) (1A) (2)(i) or (ii) -
 Fee for application under S96(2)(iii) as per Scale

[Enter Total Value of Development]

\$ -

\$ 0.00

47

Complying Development Application

[Enter Total Value of Development Above]

\$ -

\$ 0.00

118

S82 Review

Fee for application under S82(1) or (2) -
 Fee for application under S82(3) as per Scale

[Enter Total Value of Development Above]

\$ -

\$ 0.00

41

Additional Administration Fee for Integrated Development

\$

Other Fees

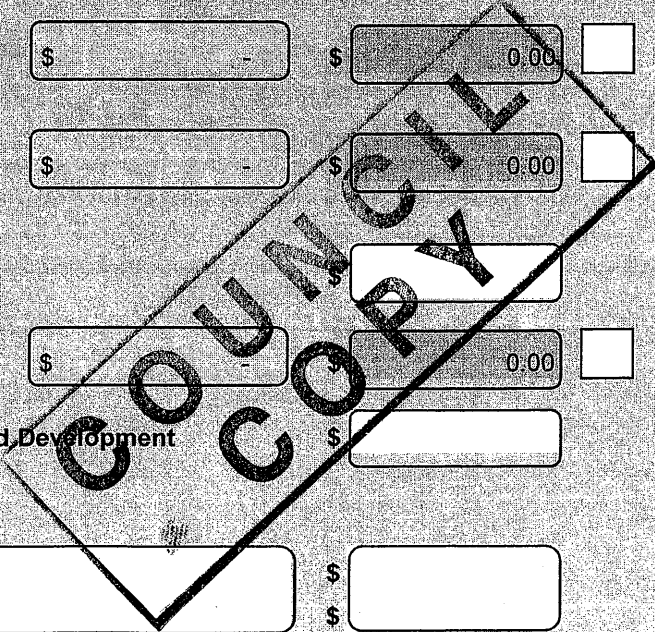
[Description:]

Fee Code

\$

TOTAL FEES

\$ 1,272.00



AUSTRALIAN MONEY ORDER
 Australia Post has received the amount shown below for payment to the person or organisation named as payee. Refer below and overleaf for conditions of issue and payment.



34989871 86

Long Service Payments Corporation
 Units ONE
 Cents 00

• Sender should insert their name & address, and details of the payment or their account overleaf.
 • Issued without alteration — void if altered.
 • Identification required for payment of amounts over \$20.
 • Subject to clearance if paid into a bank account.

ISSUED FOR UNDER ONE HUNDRED DOLLARS

Issuing Officer: *[Signature]*

COUNCIL 2008/2009 Application Fees Calculator

D/A No.: 318.....108
 Date Paid: 29.11.09
 Rec. No.: 603622

of the Development entered into any of the boxes below is the same for each fee type

Place X in box if fee to be paid

Yes No

Application for a dwelling-house with an estimated construction cost (mark X)

Fee Type	Value	Rate	Fee	Mark X
Application Fee	\$ 49,000.00	0.004%	\$ 0.00	<input type="checkbox"/>
Planning NSW (with Value > \$50,000)	\$ 49,000.00		FALSE	<input type="checkbox"/>
Application Fee	\$		0.00	<input type="checkbox"/>
Development that Requires Advertising	\$			<input type="checkbox"/>
Development	\$			<input type="checkbox"/>
Certificate (Value of Development)	\$		0.00	<input type="checkbox"/>
First Inspection	\$		0.00	<input type="checkbox"/>
Subsequent Inspections	\$		0.00	<input type="checkbox"/>
Building Construction work costing 10 or more (0.15% from 1/1/2005)	\$ 49,000.00		\$ 172.00	<input checked="" type="checkbox"/>

Business hours phone: 02 7177 7000

NORTH SYDNEY POST OFFICE
 ADVANCEA
 25 MAY 2009
 ISO
 Amount of Order: ONE
 Units ONE
 Cents 00

Contract amount \$

Levy payable \$

Contact person (Print) _____ Phone number

Contact person (Signature) _____ Date

PART E - DECLARATION - To be signed by person liable to pay levy or authorised officer in company/organisation
 Any false or misleading information provided on this form may result in prosecution under Section 58A
 I hereby declare that the information provided on this form is true and correct to the best of my knowledge

Name E. PEPAR Signature *[Signature]* Date 27 M 05 Y 2009

PART F - TO BE COMPLETED WHERE APPLICABLE - SEE REVERSE
 Exemption Approval Certificate No. _____

PLEASE NOTE MONEY ORDER ATTACHED IS FOR BALANCE owing only. \$172 already paid at MANLY COUNCIL (see receipt)

COUNCIL COPY

SPECIFICATION

- Stormwater System: All material & workmanship in accordance with AS 3500.3. Provide PVC drains to connect all downpipes pits & subsoil drains
- Stormwater Pits equal to 'Everhard' polypits with light duty GMS grates finished to finished ground level.

GENERAL NOTES:

- RAINWATER BOOSTER PUMP and ANCILLARY EQUIPMENT FOR DEDICATED WATER SUPPLY FOR IRRIGATION PURPOSES INCLUDE for 'RAIN to MAIN' DIVERTOR VALVING ARRANGEMENT INSTALLATION + 20mm RPZD to WATER METER ASSEMBLY. ALLOW TO PROVIDE 2 x HOSE COCKS (front & rear yards) MARKED 'RAINWATER' VISABLE WARNING SIGNAGE.

LEGEND

- o--- e STORMWATER DRAINAGE
- STORMWATER DRAINAGE
- o DP DOWNPIPE TURN-UP
- o eDP EXTG DOWNPIPE
- SPD DP SPREADER
- [Hatched Box] TRENCH GRATE
- [Square Box] SP STORMWATER SURFACE PIT
- o EXISTING

SITE NOTES

ALL IN ACCORDANCE WITH MANLY COUNCIL SPECIFICATION FOR ON-SITE STORMWATER DETENTION SYSTEMS EDITION 2003.

Site Area:

Total Site Area	315.00 sq/m		
Existing Areas		Proposed Areas	
Roofed	126.55 sq/m	Roofed	136.30 sq/m
Paved	34.25 sq/m	Paved	34.25 sq/m
Landscaped	154.20 sq/m	Landscaped	144.45 sq/m

Therefore:-

- Extg Imp Area: = 51.00%
- Prop Imp Area: < 65% (54.13%)

Calculation Formula:

$Q = F \times C \times I \times A$

- WHERE, Q = PEAK DISCHARGE RATE (l/s)
 F = FACTOR OF PROPORTIONALITY (0.0000278)
 C = CO-EFFICIENT OF RUNOFF (FIG 14.13 OF A.R.R.)
 I = RAINFALL INTENSITY (mm/hr)
 A = AREA CATCHMENT (m/sq)

Rainfall Intensities:

AS PER TABLE 'APPENDIX A' (MANLY COUNCIL SPECIFICATION FOR ON-SITE STORMWATER DETENTION SYSTEMS)
 1:5 yr event / 5min duration - 159 mm/hr
 1:20 yr Event / 10min duration - 161 mm/hr

O.S.D. Assessment

DUE TO THE EXTENT OF THE PROPOSED RESIDENTIAL DEVELOPMENT EXCEMPTION FOR ON-SITE DETENTION IS QUALIFIED IN PART. WITH REFERENCE TO COUNCIL'S STORMWATER MANAGEMENT SPEC CLAUSE 4.1 ... WHERE INCREASE IN IMP. AREA < 50m². OSD MAYBE BE GRANTED EXCEMPTION. REFERENCE TO COUNCIL'S REVISED OSD CODE USING SIMPLIFIED METHOD FOR ASSESSMENT - A RAINWATER TANK OF 2000 litres IS PROPOSED 100% IN LIEU OF OSD AS ASSESED

Stormwater Disposal:

GRAVITY FEED TO STW SERVICE VIA RAINWATER TANK TO K & G TO COUNCILS K&G STW SERVICE OF LODGE ST. WHICH FROM INSPECTION PERFORMS SATISFACTORILY.

SP CONTROL PIT to ACT AS SILT ARRESTOR to DETAILS AS INDICATED IN MANLY COUNCIL STW CODE.

NOTE

1. PRIOR TO CONNECTION & UTILISATION OF EXTG STW LINE ROD THROUGH TO K&G TO ESTABLISH CAPABILITY & CONDITION OF EXTG LINE. SHOULD THE CONDITION OF THE EXTG DRAINAGE LINE BE FOUND TO BE OF UNSATISFACTORY CONDITION ADVISE ARCHITECT/SUPERINTENDENT.
2. RAINWATER TANK OVERFLOW TO CONNECT TO EXISTING DWELLING STORMWATER (DETAIL NOT KNOWN) PRIOR TO ANY INSTALLATION WORKS CONFIRM AVAILABILITY OF EXTG STW. ADVISE SUPERINTENDENT IF NEW STW DRAINAGE REQUIRES EXTENSION.
3. PRIOR TO THE CONNECTION OF THE DOWNPIPES TO THE RWT SUPPLY & INSTALL 'First Flush' DIVERTOR

Consultant:
HYDRAULIC DESIGN GROUP
 PROPRIETARY LIMITED ABN 40 242 488 360
 Correspondence to:
 PO Box 431, Fairlight NSW 2094
 PH 02 994 88857 FX 994 88857
 Email: efesem@bigpond.net.au
 3 Parkview Road, FAIRLIGHT
 NSW 2094 Australia
 Telephone (02) 9948 8857
 Facsimile (02) 9948 8857

HQ, CAD REFERENCE:-
 (2009.04.05.16:13) (Dwg C:\HDGPRO-1\DRAWINGS\158_CondamineSt-1\SCP01)

Client:
 Mr & Mrs PEPAR
Project:
 Existing Residence
 #158 Condamine Street
 BALGOWLAH NSW 2093
Architect:
JAGGER KIRKHAM Architects
 13A LODGE ST, BALGOWLAH
 tel 0425 251 091
 + Email bunkerhouse@ozemail.com.au

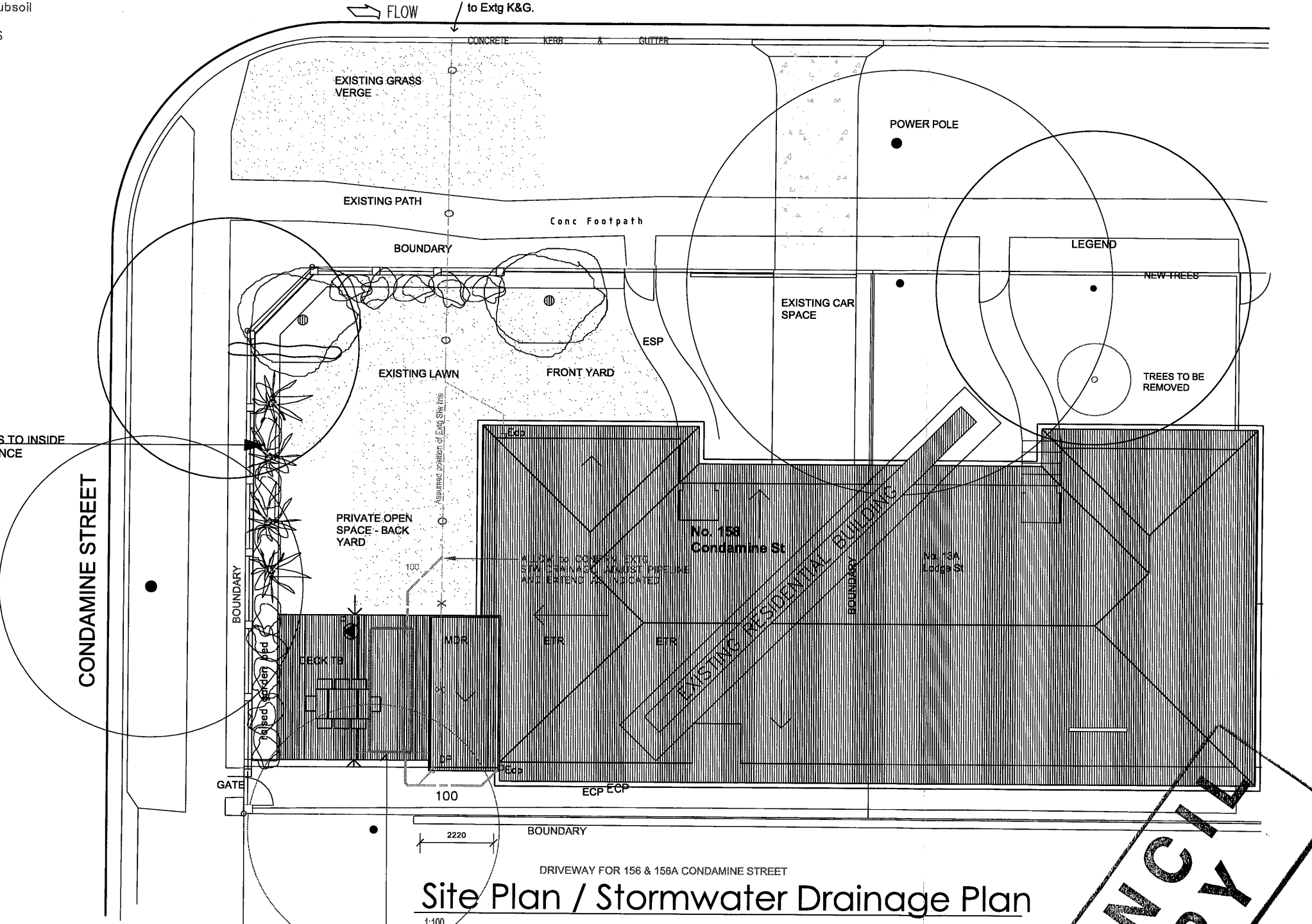
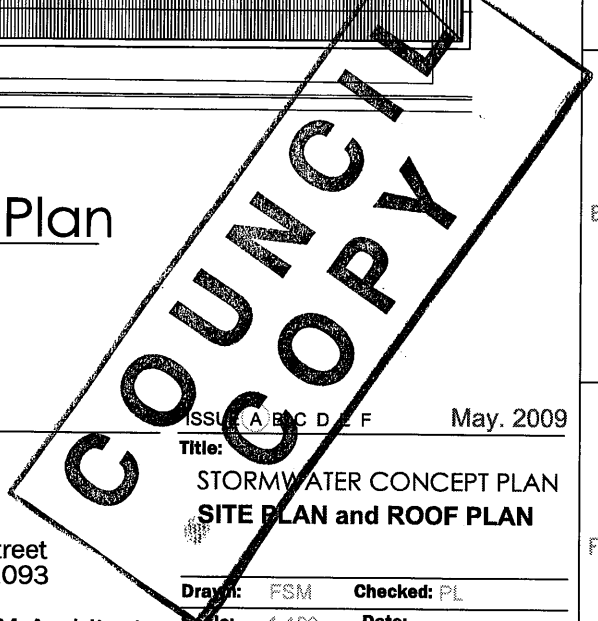
ISSUE A B C D E F May. 2009

Title:
 STORMWATER CONCEPT PLAN
 SITE PLAN and ROOF PLAN

Drawn: FSM **Checked:** PL
Scale: 1:100 **Date:** Apr. 2009

HQ JOB No: Dwg No.: SCP H01 DA
 08 01_378

hydraulic design group



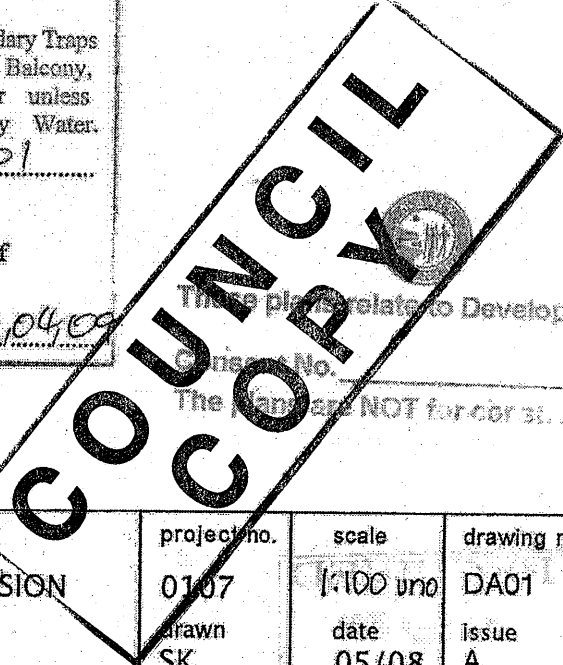
NO. 156A

SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drainier.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 5392201

Reece, Brookvale,
 Quick Check Agent on behalf of
 SYDNEY WATER

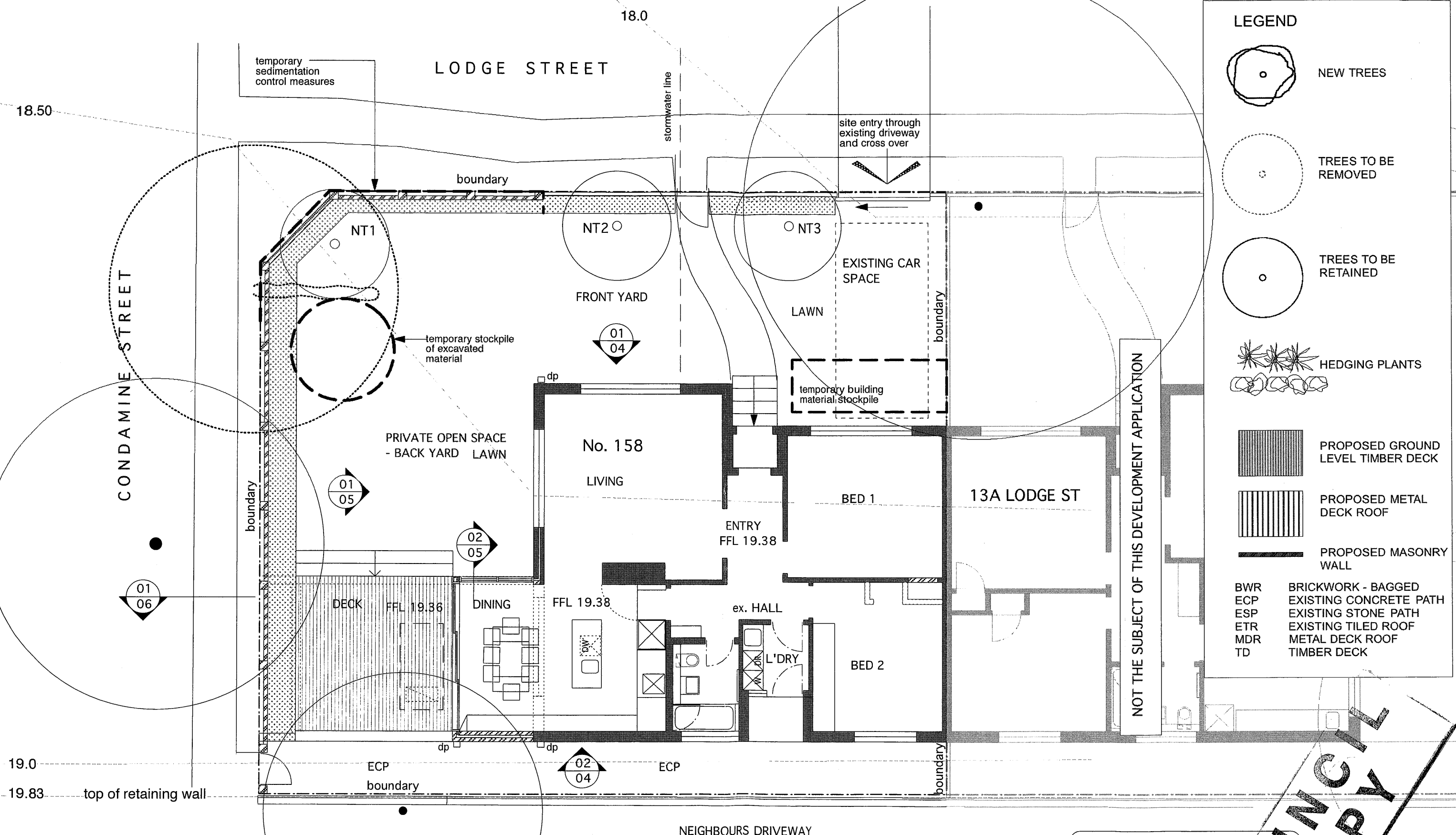
Per: Reece 23/04/09



*These plans relate to Development
 Consent No. _____
 The Council is NOT for construction.*

issue date	amendment	project no.	scale	drawing no.
A 05/2008	DA SUBMISSION	0107	1:100 vno	DA01
		drawn SK	date 05/08	Issue A

ALGOWLAH NSW 2093



LEGEND

- NEW TREES
- TREES TO BE REMOVED
- TREES TO BE RETAINED
- HEDGING PLANTS
- PROPOSED GROUND LEVEL TIMBER DECK
- PROPOSED METAL DECK ROOF
- PROPOSED MASONRY WALL
- BWR** BRICKWORK - BAGGED
- ECP** EXISTING CONCRETE PATH
- ESP** EXISTING STONE PATH
- ETR** EXISTING TILED ROOF
- MDR** METAL DECK ROOF
- TD** TIMBER DECK

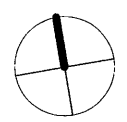
NOT THE SUBJECT OF THIS DEVELOPMENT APPLICATION

1 SEDIMENT/EROSION CONTROL PLAN

NOTE
 SEDIMENT AND EROSION CONTROL MEASURES TO BE IN ACCORDANCE WITH MANLY COUNCIL'S "GUIDELINES FOR SEDIMENT AND EROSION CONTROL ON BUILDING SITES" 2005.

COUNCIL COPY

JAGGERS KIRKHAM ARCHITECTS PTY LTD
 ABN 80 003 749 657
 13A LODGE STREET
 BALGOWLAH NSW 2093
 MOB 0425 251 091
 EMAIL
 bunkerhouse@ozemail.com.au



project
**ALTERATIONS & ADDITIONS
 TO AN EXISTING DWELLING**

for
Mr & Mrs PEPAR
 at
158 CONDAMINE ST, BALGOWLAH NSW 2093

issue date
A 05/2009
 amendment
CC ISSUE

project no.
0107
 drawn
SK
 scale
1:100
 date
03/2009

drawing no.
CC07
 issue
A

21 April 2009

Ref: M9091

158 Condamine St., Balgowlah NSW 2093

The attached sketches M9091 SK01 – 04, indicate the structural work associated with alterations and additions to 158 Condamine St., Balgowlah.

GENERAL

These drawings are to be read in conjunction with the specification, architectural drawings, other contract documentation and the requirements of the relevant authorities.

Verify all setting out dimensions with the architect. Do not obtain dimensions by scaling the drawings

Should any ambiguity, error, omission, discrepancy, inconsistency or other fault exist or seem to exist in the contract documents immediately notify in writing to the superintendent.

Maintain the structure in a stable condition during construction. No part shall be over stressed. Temporary bracing shall be provided by the contractor to keep the works and the excavations stable at all times.

All workmanship and materials shall be in accordance with the requirements of current SAA codes and the by-laws, ordinances or other requirements of the relevant building authorities.

Where notes refer to the specification, comply with the requirements of NATSPEC building specifications as a minimum unless modified by the contract document.

FOOTINGS

Footings have been designed for an allowable bearing pressure of 100kPa.

The builder shall obtain approval from the supervising engineer inspector as to the suitability of the foundation material prior to placing concrete.

Do not undermine adjacent footings with excavation or plumbing trenches. Care shall be taken for all excavations made in sand near existing walls so as not to undermine footings. Provide temporary shoring as required.

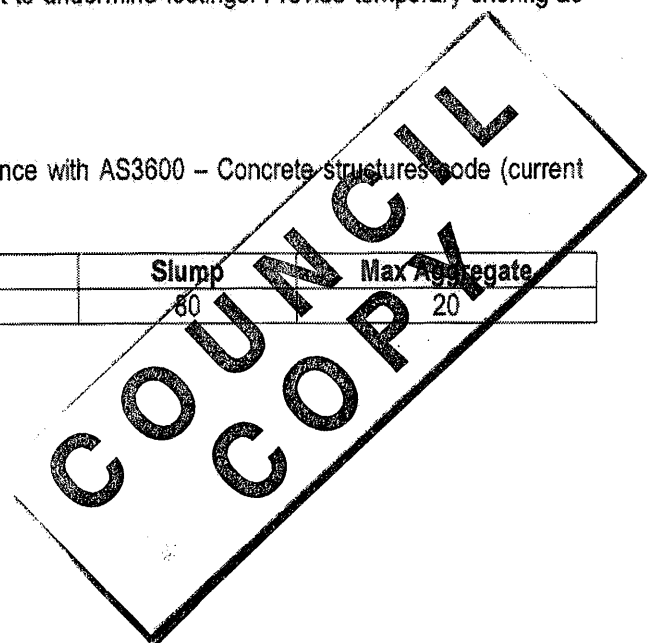
CONCRETE

All concrete works and materials are to be in accordance with AS3600 – Concrete structures code (current edition).

Concrete compressive strength (f_c) shall be as follows

Element	f_c	Slump	Max Aggregate
Piers & Footings	25 MPa	80	20

Addition of water on site shall not be permitted



Reinforcement is to be fixed so to achieve the following clear covers

Element	Formed or finished	Surfaces cast against ground
Piers	50	50
Footings	50	50

Cover to reinforcement ends shall be 45mm

Concrete shall be moist cured for a minimum of 3 days following placement of concrete. Alternative methods of curing may be acceptable provided approval from the supervising engineer has been obtained. External concrete is to be cured for a minimum of 7 days.

Splices in reinforcement are to be made only where shown on drawings except where written approval has been obtained.

REINFORCEMENT

No reinforcement splices shall be made other than those shown on the structural drawings without the prior approval of the supervising engineer.

Do not cut, heat or weld reinforcement without written permission from the supervising engineer.

Staggered bars are to be placed alternately

Reinforcement to be checked by engineer prior to placing concrete. Give engineer 48 hours notice of check being required and allow sufficient time for any remedial work required after checking prior to concrete pour.

The minimum clear spacing between conduits, cables, pipes and bars to be as required by AS3600 but not less than three diameters, conduits in slabs to be placed above bottom reinforcement and below top reinforcement.

Hooks, bends, splices and laps to be in accordance with AS3600

TIMBER

All timber floor, wall and roof framing is to be sized and constructed in accordance with the specialist suppliers details and specifications and AS1684 – Residential Timber-Framed Construction Code, including bracing and tie-down. Timber denoted MGP10 is Machine Graded Pine and may be substituted by F7 Seasoned Pine or F11 Seasoned Oregon. All notching of timber to be approved by the supervising engineer. The contractor should receive written approval from the engineer if it is to be substituted with another timber species.

BRICKWORK

All workmanship and materials to be in accordance with AS 3700 – Masonry Structures Code.

All load bearing brickwork to have a minimum unconfined compressive strength of $f_{uc} = 20$ MPa

Mortar to consist of well mixed cement: lime: sand in the proportions of 1: 0: 4 by volume (with the use of a methyl cellulose water thickener) for retaining walls, below DPC and for areas subject to salt spray.

Admixtures shall not be used without the approval of the engineer.

Galvanized course reinforcement shall be provided at vertical spacings every 6th course. Durability classification of reinforcement and ties to be in accordance with AS 3700.

Where internal brick or block walls abut steel columns, provide galvanized crimped frame ties at four (4) course vertical centers for brickwork and 2 course vertical centers for blockwork. Use masonry expansion tie (M.E.T.) 1-6 300 long, power fixed with 3.8 dia. drive pins.

CONCRETE REPAIR

Areas of concrete that are required to be repaired (included areas of concrete that have been demolished), shall be treated as follows:

1. Mark out area of concrete to be repaired.
2. Prop surrounding slab as required.
3. Breakaway concrete to expose reinforcement and take back until clean sound reinforcement and concrete has been located.
4. Wire brush clean reinforcement to remove all rust and paint with a zinc rich primer such as Fosroc Nitoprime Zincrich.
5. Paint concrete surface with Fosroc Nitobond HAR and repair area with Fosroc HB25 repair mortar.

All repair products are to be applied in accordance with the manufacturers recommendations.

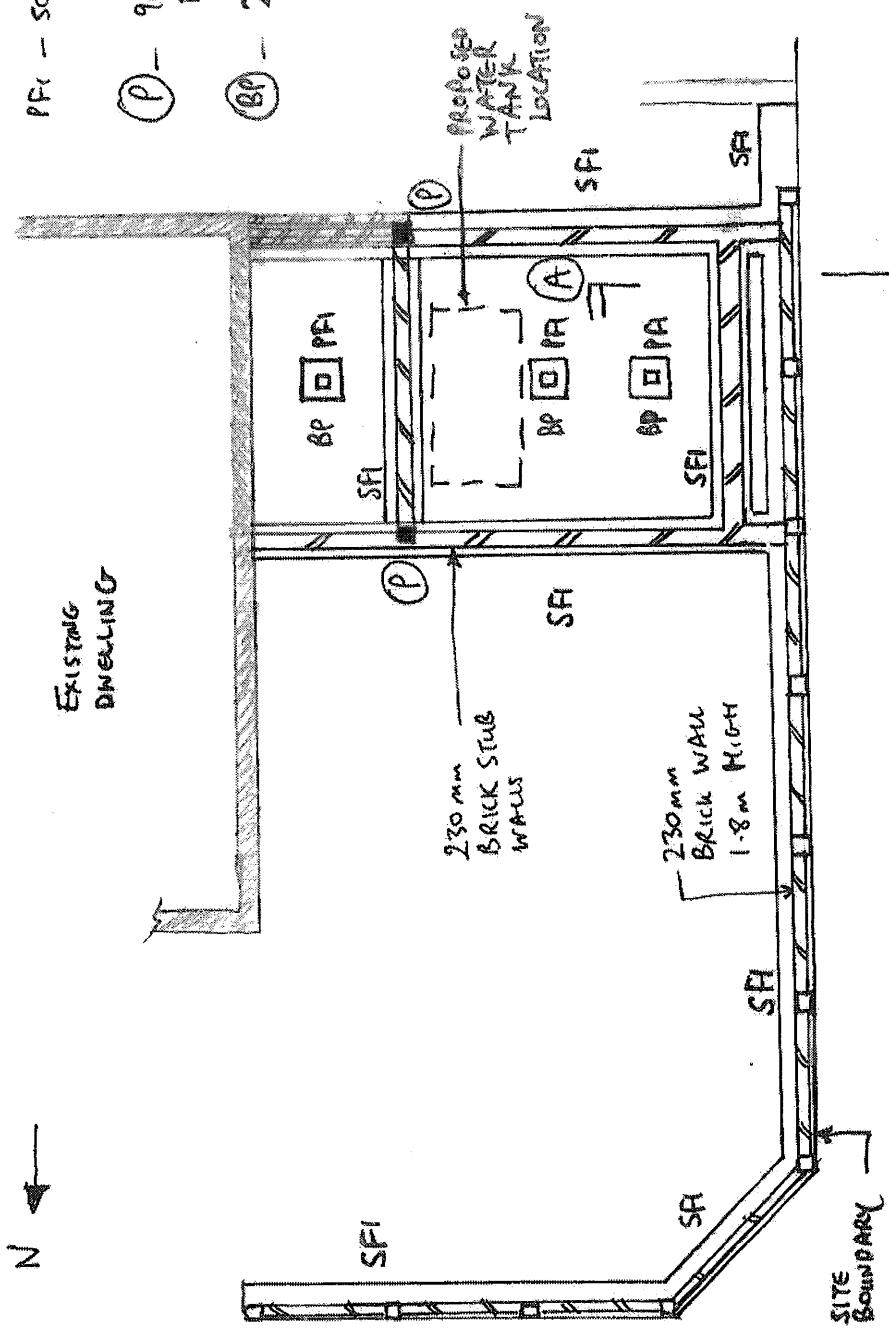
Where concrete is saw cut and the ends of the reinforcement are exposed, the exposed ends should be painted with a zinc rich primer such as Fosroc Nitoprime Zincrich. A skim coat of Sika Sikatop107 Seal should then be applied to the concrete surface in accordance with the manufacturers recommendations.

Marie O'Looney

Marie O'Looney B.E., N.C.E.A Dip. Eng.
SIMPSON DESIGN ASSOCIATES P/L

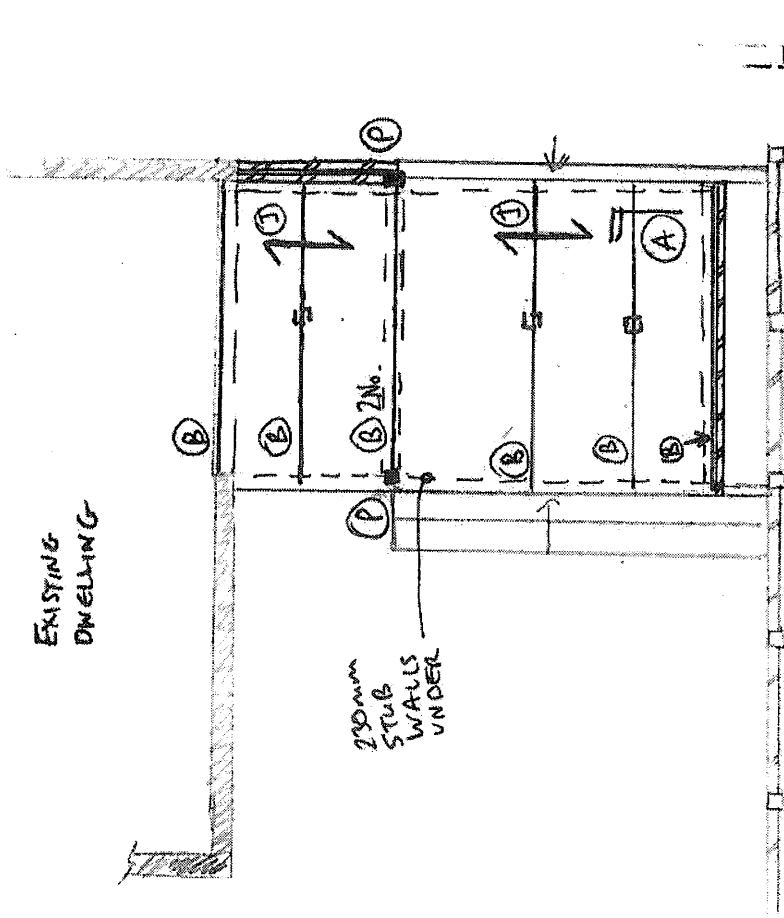
LEGEND

- SFI - 500x300 DEEP RC FOOTING
- PF1 - 500x500x300 DEEP MASS CONC. FOOTING
- (P) - 90x90 HARDWOOD FIT TIMBER POST
- (BP) - 230 sq. BRICK PIER



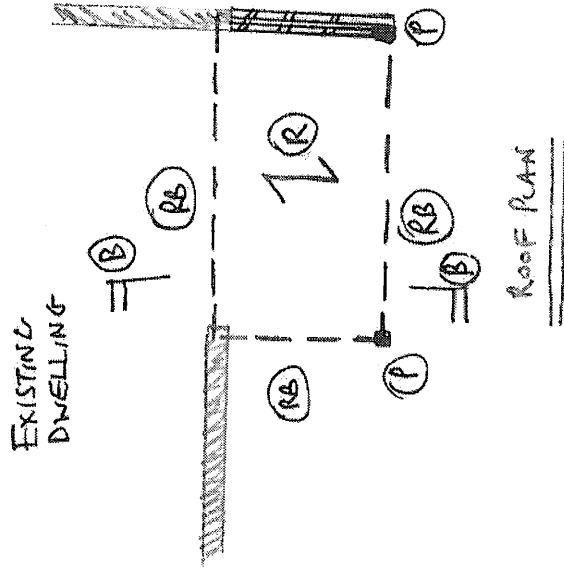
M9091
SK01

FOUNDATION PLAN SCALE 1:100



GROUND FLOOR PLAN

SCALE 1:100



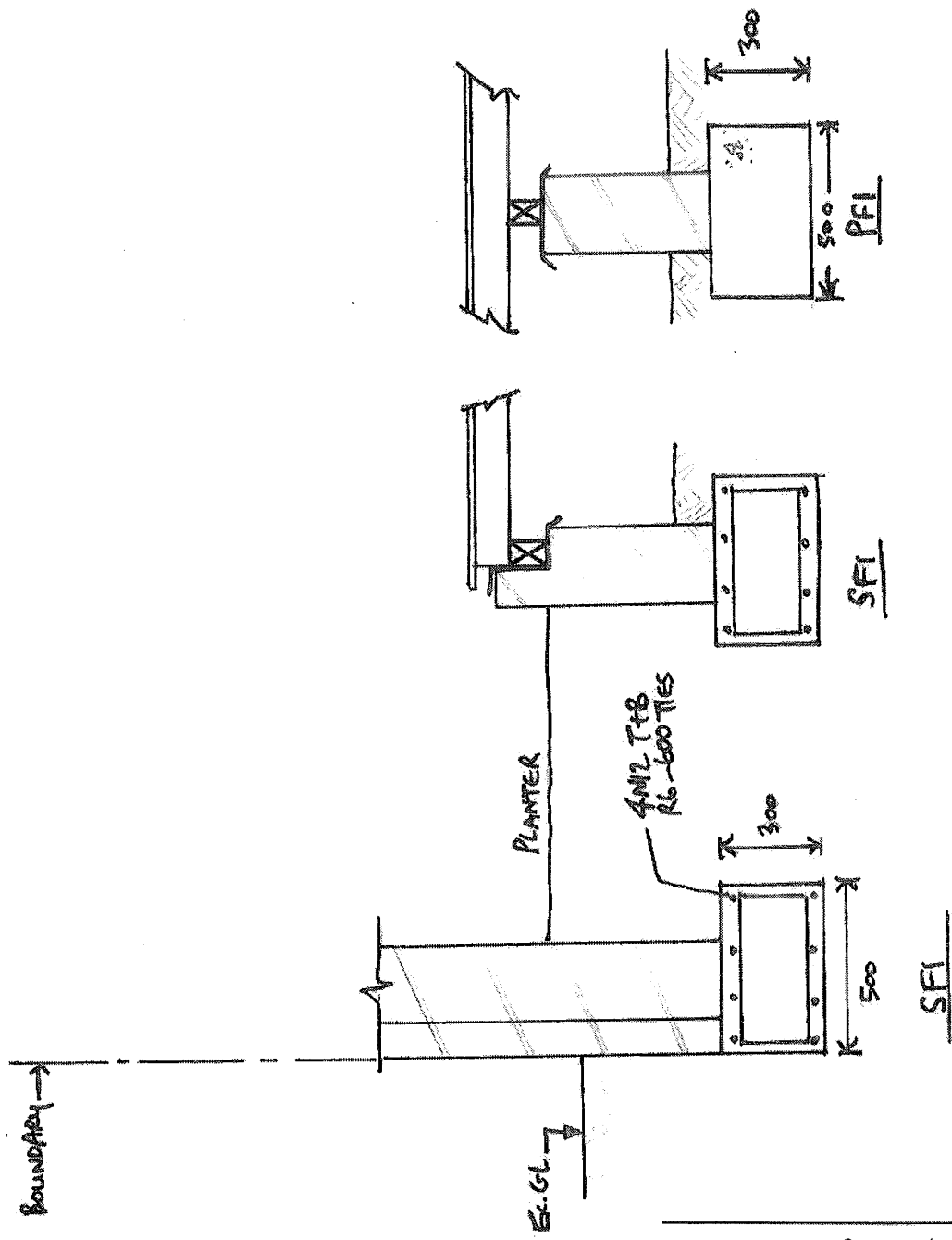
ROOF PLAN

LEGEND

- (B) - 100x63 F17 HARDWOOD BEAMER
- (J) - 100x45 F17 HARDWOOD JOISTS @ 450c/c
- (P) - 90x90 F17 HARDWOOD POSTS
- (R) - 140x45 MGP 10 RAFTERS @ 600c/c
- (RB) - 2 No. 240x45 HYPSPAN LVL
or 180 UB 16 (STEEL)

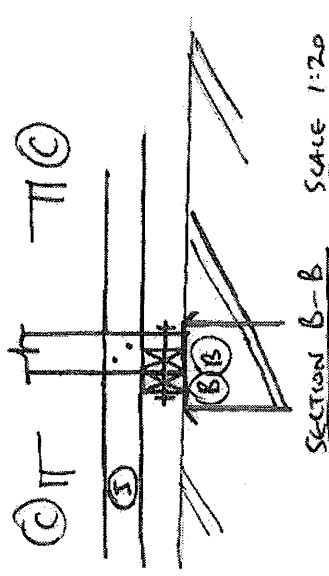
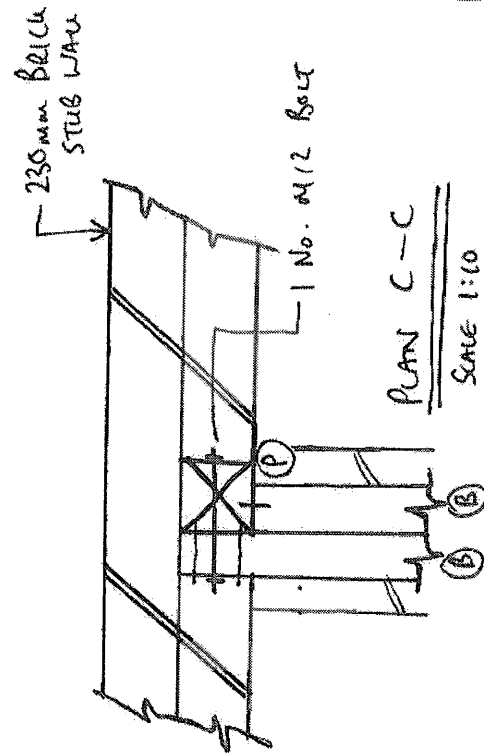
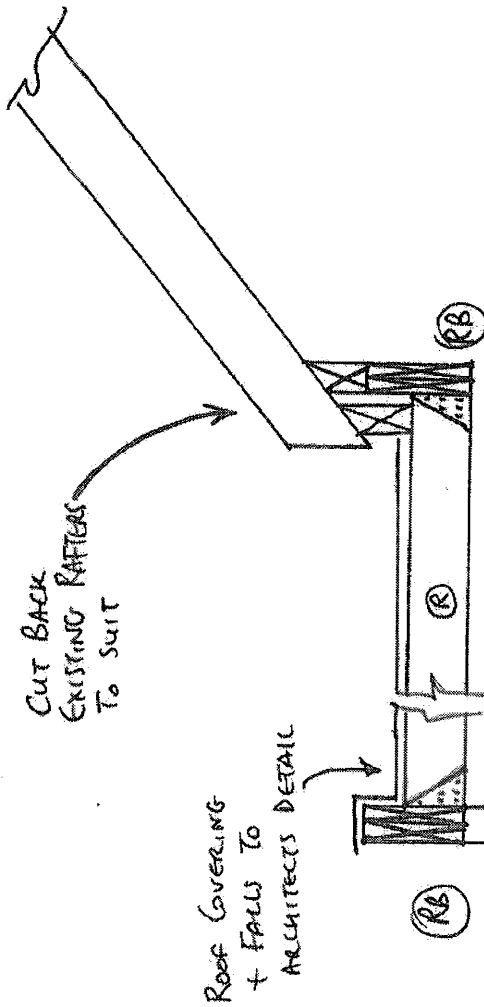
M9091
SK02

SCALE 1:20



SDA Simpson Design Associates

M9091
SK03



M9091
SK04