

DEVELOPMENT PROPOSAL - MOD (1A) PLANS

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: 232.00MSQ.
PROPOSED GFA: 232.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
MOD (1A) PANS
NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

THIS DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL AUSTRALIAN STANDARDS

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1770443

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/05/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 28 October 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clearer gap/tear glazing, or toned/tear gap/tear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with competing U-values and SHGCs may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 100 mm above the head of the window or glazed door and no more than 240 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overhanging height (m)	Overhanging distance (m)	Shading device	Frame and glass type			
W1	W	1.25	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.1, SHGC: 0.47)			
W2	W	1.25	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.1, SHGC: 0.47)			
W3	W	0.24	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.1, SHGC: 0.47)			
W4	W	0.4	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.98, SHGC: 0.4)			
W5	W	0.24	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.1, SHGC: 0.47)			

LEGEND:

APPROVED WORKS DA2023/1745

NEW WORKS FOR 4.55 (1A)

NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS, COUNCIL REQUIREMENTS & OTHER CODES:
ALL BUILDING WORK TO BE IN ACCORDANCE WITH NCC, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS INCLUDING, BUT NOT LIMITED TO:
- AS 1684 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION
- AS 2047:2014 - WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS
- AS 2870:2011 - RESIDENTIAL SLABS AND FOOTINGS
- AS/NZS 3000:2007 - WIRING RULES
- AS/NZS 3500.5:2000 - NATIONAL PLUMBING AND DRAINAGE
- AS 3660.1:2014 - TERMITE MANAGEMENT
- AS 3700:2011 - MASONRY STRUCTURES
- AS 3740:2010 - WATERPROOFING OF DOMESTIC WET AREAS
- AS/NZS 2918:2018 DOMESTIC SOLID FUEL BURNING APPLIANCES
- AS 4100:1998 - STEEL STRUCTURES
- NORTHERN BEACHES COUNCIL DRIVEWAY SPECIFICATIONS
- SYDNEY WATER TECHNICAL GUIDELINES: BUILDING OVER AND ADJACENT TO PIPE ASSETS

NOTE:
THE EXTERNAL FINISH TO THE ROOF SHALL HAVE A MEDIUM TO DARK RANGE IN ORDER TO MINIMISE SOLAR REFLECTIONS TO NEIGHBOURING PROPERTIES. ANY ROOF WITH A METALLIC STEEL FINISH IS NOT PERMITTED.

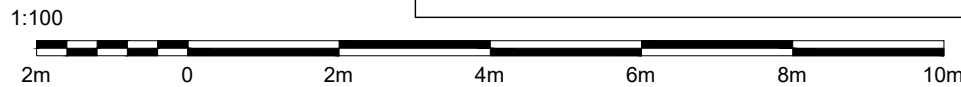
ALL WORKS TO SWIMMING POOL BARRIER ARE TO COMPLY WITH NSW SWIMMING POOLS ACT, REGULATIONS, (NCC) BCA AND AUSTRALIAN STANDARDS AS-1926.1 - 2012, AS-1926.2 2007 & AS - 1288-2006, ELECTRICAL AS - 3000-2018. BUILDER AND INSTALLERS TO CONFIRM ALL MEASUREMENTS AND LOCATIONS AT TIMES OF FINAL SITE MEASURE, AND THEY ARE FULLY RESPONSIBLE FOR INSTALLING A COMPLIANT SWIMMING POOL BARRIER.

AUSTRALIAN STANDARDS (INCLUDING BUT NOT LIMITED TO):
SWIMMING POOLS ACT 1992;
DA2021/0559 PAGE 12 OF 25
SWIMMING POOLS AMENDMENT ACT 2009;
SWIMMING POOLS REGULATION 2018
AUSTRALIAN STANDARD AS1926 SWIMMING POOL SAFETY
AUSTRALIAN STANDARD AS1926.1 PART 1: SAFETY BARRIERS FOR SWIMMING POOLS
(VI) AUSTRALIAN STANDARD AS1926.2 PART 2: LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS

SWIMMING POOL FENCING AND WARNING NOTICES (RESUSCITATION CHART) SHALL BE MANUFACTURED, DESIGNED, CONSTRUCTED, LOCATED AND MAINTAINED IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992 AND REGULATIONS, THE FENCING AND WARNING NOTICES (RESUSCITATION CHART) SHALL BE PERMANENT STRUCTURES.

NOTE:
POOL GATES ARE TO OPEN AWAY FROM THE POOL AREA IN ACCORDANCE WITH AS1926.1-2012 AND SWIMMING POOL REGS 2018

GENERAL NOTES
• BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
• ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
• CONNECT OPS TO EXISTING STORMWATER SYSTEM.
• ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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B.05 BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT.

To clarify the findings below, Forest vegetation is located to the south east of the proposed works. The immediate adjoining allotments to the east and west are managed residential blocks. Forest is also located to west, beyond the managed residential land.

Based on the parameters identified in Table 1 below, the proposed dwelling alterations and pool are assessed as BAL-29. The proposed carport is assessed as BAL-19.

TABLE 1 (Dwelling Alterations and Pool)						(To be read in conjunction with Figure A).
LGA = Northern Beaches Council			Forest Fire Danger Index = FDI 100			
ASPECT ¹	Vegetation Class ²	Max Effective Slope ³	Site slope ⁴	Required APZ ⁴	Proposed APZ / EML ⁵	BAL Rating
SE	Forest	U-S	N/A	24-33m	24m	BAL-29
W	Forest	0-5° D-S	N/A	29-40m	33m	BAL-29
Abbreviations						
AOD All other directions			EML Extent of managed land		NVC Narrow vegetation corridor	

- Cardinal direction from each proposed building facade based on grid north.
- Vegetation Classifications are as described in PBP (2019) A1.2.
- Site slope is calculated from 1m UDA contours.
- Minimum APZ required stated as Acceptable Solutions within Table 1.12.2 and A1.12.5, PBP (2019).
- Actual dimensional setback from the face of the building to the assessed vegetation. Achieved Asset Protection Zone (APZ) or extent of managed land (EML).
- Where the direct line of sight between the proposed building and assessed vegetation is obstructed (by a wall or building) the assessed rating can be lowered by one BAL-rating (PBP 2019, s. A1.8).
- Remnant bushland and narrow vegetation corridors (NVC) as stated in PBP (2019) s.A1.11 can be assessed as rainforest as a simplified approach or be assessed as Short Fire Run using method 2 (AS3959).
- Deeming provisions for grassland s.7.9 PBP (2019).

	BAL – FZ	no shielding whole property is Flame Zone
Subfloor Supports	If enclosed by external walls refer below to 'External Walls' section in this table Unenclosed subfloor supports be non-combustible with an FRL of 30/-/- OR a system conforming with AS 1530.8.2	
Floors	Concrete slab on ground OR enclosure by external wall. Unenclosed subfloor space must have a Floor System that has an FRL of 30/30/30 OR protection of underside protected with 30-minute incipient spread of fire system OR a system conforming with bushfire resistance to AS 1530.8.2 when tested from underside	
External Walls	Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete) with minimum thickness of 90mm OR a system conforming with AS 1530.8.2 when tested from outside OR a system with an FRL of 30/30/30 or -/30/30 when tested from outside	
External Windows	Protected by a Bushfire Shutter OR an FRL of -/30/- and openable portion screened with steel or bronze mesh OR be tested for bushfire-resistance to AS 1530.8.2	
External Doors (hinged or sliders)	Protected by a Bushfire Shutter OR tight-fitting with weather strips at base and an FRL of -/30/- OR conforming with AS 1530.8.2 when tested from outside	
Roofs	Full Ply and or tyrocock sheeting prior to roof battens Roof with FRL of 30/30/30 OR be tested for bushfire-resistance to AS 1530.8.2 Roof/wall junction sealed, eaves linings, fascia and gables system same as roof Openings fitted with non-combustible ember guards. No roof mounted evaporative coolers Sub-floor space to be enclosed OR non-combustible supports (not timber). Can be Unenclosed also subject to the above requirements	
Verandas, Decks Etc.	Decking to be non-combustible and shall not be spaced unless a system conforming with AS 1530.8.2 Handrails, Balustrades or other barriers that are 125mm or more from the building have no requirements. Boundary fence to be Non-Combustible (not timber)	

- Brickwork shall comply with AS 3700.
All brickwork shall be solidly bonded and laid on a full bed of 10mm mortar with all joints filled. Wall ties spaced at 460mm cts horizontally and 610mm cts vertically or vice-versa and within 300mm of articulation joints, to comply with AS 2699.
- Subfloor ventilation:
 - 150mm. min. baffle to ground clearance for strip flooring.
 - 200mm. min. baffle to ground clearance for sheet flooring.
 - Minimum 7500mm²/Metre of external masonry veneer wall.
 - Minimum 22000mm²/Metre of internal dwarf walls.
 - Woe holes at max. 1200mm. centres to comply with AS 3700.
- Damp-proof courses to be an approved waterproof cement mortar or bituminous paper placed 75mm. below floor level.
A second course to be laid 1 or 2 brick courses higher.
- Firebox inserts shall be installed in accordance with manufacturers specifications and in accordance with AS 2918.
- Top soil and all organic matter to be removed from under where a concrete slab-on-ground is to be poured.
- Structural steel and concrete to comply with the Structural Engineer's design and computations and shall take precedence over instructions on this plan.
- Reinforced concrete to be min. 25MPa, complying with AS 2670 - 1996, (unless directed otherwise by Structural Engineer) and:
 - Trench mesh for concrete footings to be lapped a min. 500mm. and have a top and/or bottom cover of min. 50mm, unless directed otherwise by Engineer.
 - Fabric mesh to be lapped a minimum of 25mm, and have a minimum top and/or bottom cover of 25mm, unless directed otherwise by Engineer.
- Excavation of trenches for footings, drainage, sewerage, etc., to be in accordance with the requirements of the local Controlling Authorities.
- Smoke detectors to comply with AS 3786 and must also comply with the BCA 3.7.2.
- Safety switches to be installed to the requirements of the local Controlling Authority.
- All glazing to comply with AS 1288-2006.
- From information provided, the design wind speed is N3 (41m/s).
- No part of any building to encroach Site or Title boundaries.
- Provide Bush fire preventative measures where required by local Council.
- Stair design:
 - Risers 190mm. Maximum 115mm. Minimum 355mm. Maximum 240mm.
 - Treads 355mm. Maximum 240mm.
 - Risers and Treads to be constant in size throughout the flight.
 - Ensure gap between treads does not exceed 125mm. or provide infills to block access if larger.
 - Min. 2000mm. vertical head clearance when measured from the nosing of the tread.
 - Stair to be min. 750mm. wide when measured clear of all obstructions.
 - Handrail to be a constant minimum 865mm high above the nosing of treads and minimum 1000mm. high above all landings, balconies and the like that exceed 1000mm. above the finished adjacent ground or floor level.
 - Balusters and rails, etc., to have max. spacing of 125mm.
 - Wire balustrading to comply with Table 3.3.2.1 of the BCA.
- Figured dimensions shall always take precedence over scale.
- Termite prevention works must be in accordance with AS 3660.1 - 2000.
- For buildings in close proximity to the sea, ensure that all steelwork, brick cavity ties, steel lintels, etc. that are embedded or fixed into masonry, be protected in accordance with AS 1650 or AS 3700-1988 Table 2.2, hot dipped galvanised iron, stainless steel or cadmium coated.
- The Builder to take all measures necessary to ensure the stability of new and/or existing structures during construction and generally ensure the water/tightness of all works during construction.
- These plans have been prepared for the exclusive use of the customer and only for the purpose expressly notified to the author. Any other person who uses or relies on these plans without the written consent of Avalon Granny Flats does so at their own risk and no responsibility is accepted by Avalon Granny Flats for such use and/or reliance.
- DO NOT SCALE OFF DRAWINGS.
The Owner/Builder and/or subcontractor to confirm all dimensions, setbacks and levels prior to commencing construction, ordering materials or preparing shop drawings and shall be responsible for ensuring that all building works conform to the Building Code of Australia, AS codes (current editions) Building regulations, local by-laws and Town Planning requirements. All discrepancies must be referred to this office for clarification.
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85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

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AUSTRALIAN HOSPITALITY

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Project Address and Alterations
Date: 27-Sep-22
Scale: AS SHOWN
Sheet: 1

DP No. 16902

LOT No. 383

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

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DEVELOPMENT PROPOSAL - MOD (1A) PLANS

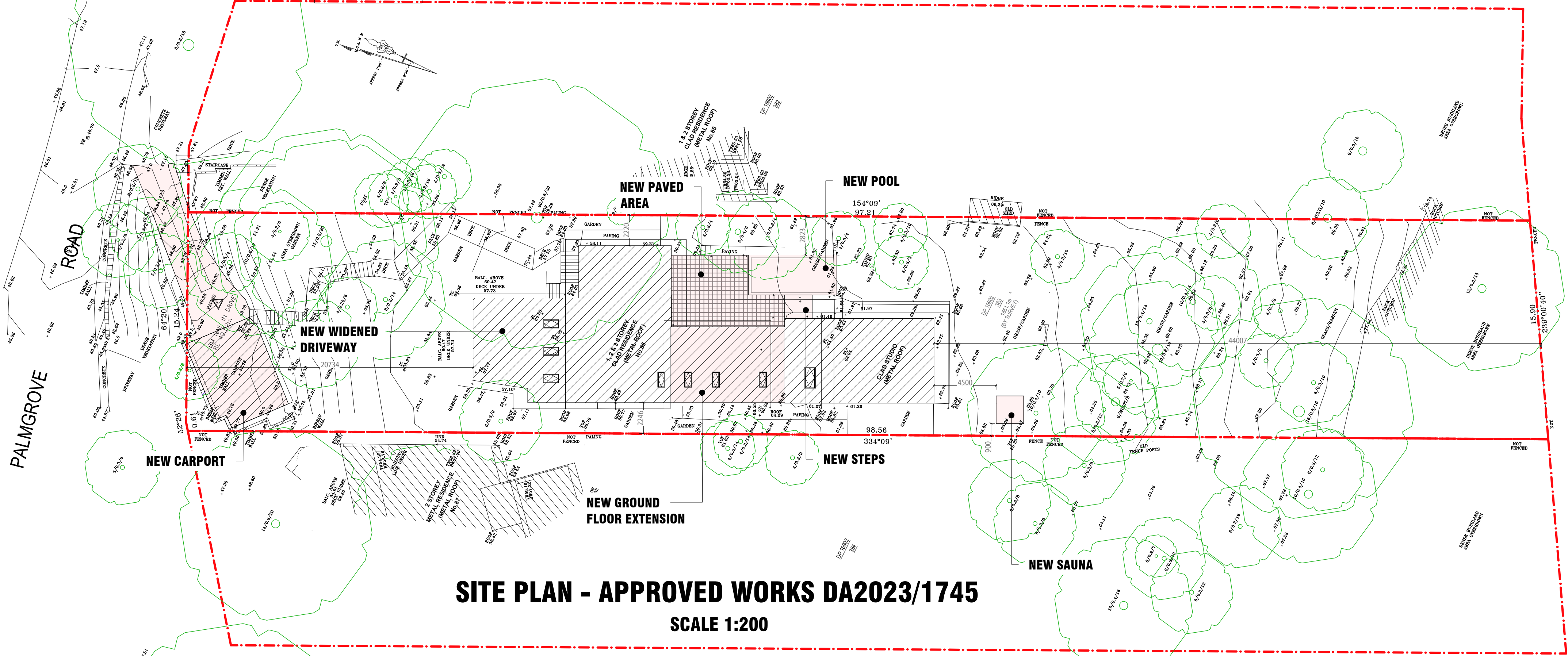
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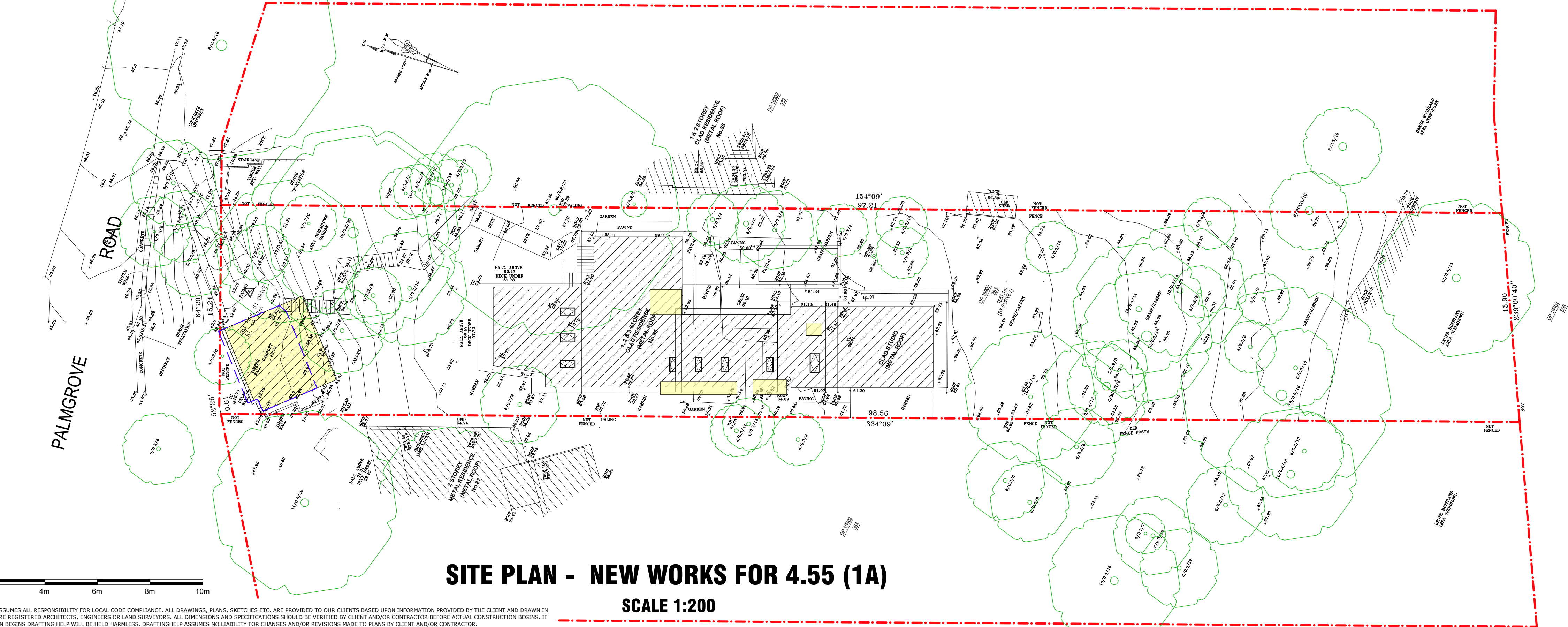
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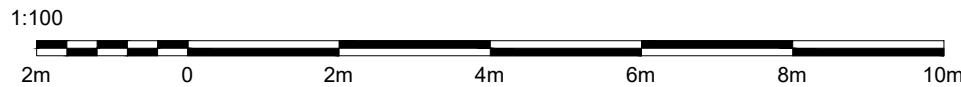


SITE PLAN - APPROVED WORKS DA2023/1745
SCALE 1:200



SITE PLAN - NEW WORKS FOR 4.55 (1A)
SCALE 1:200

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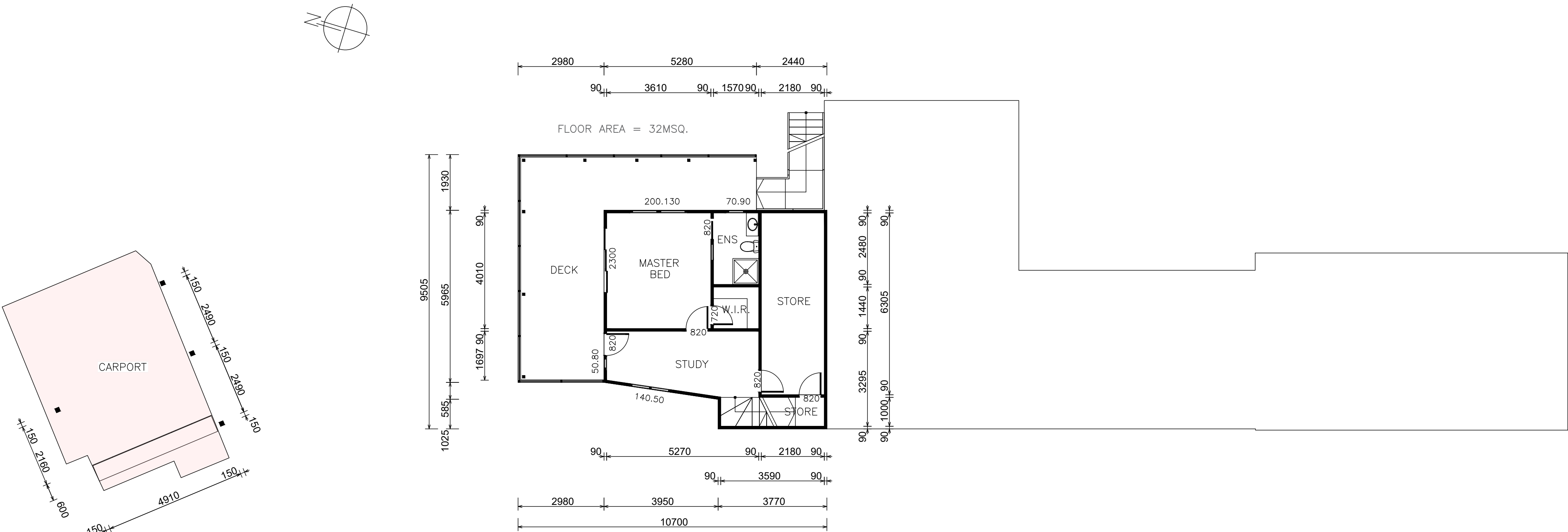
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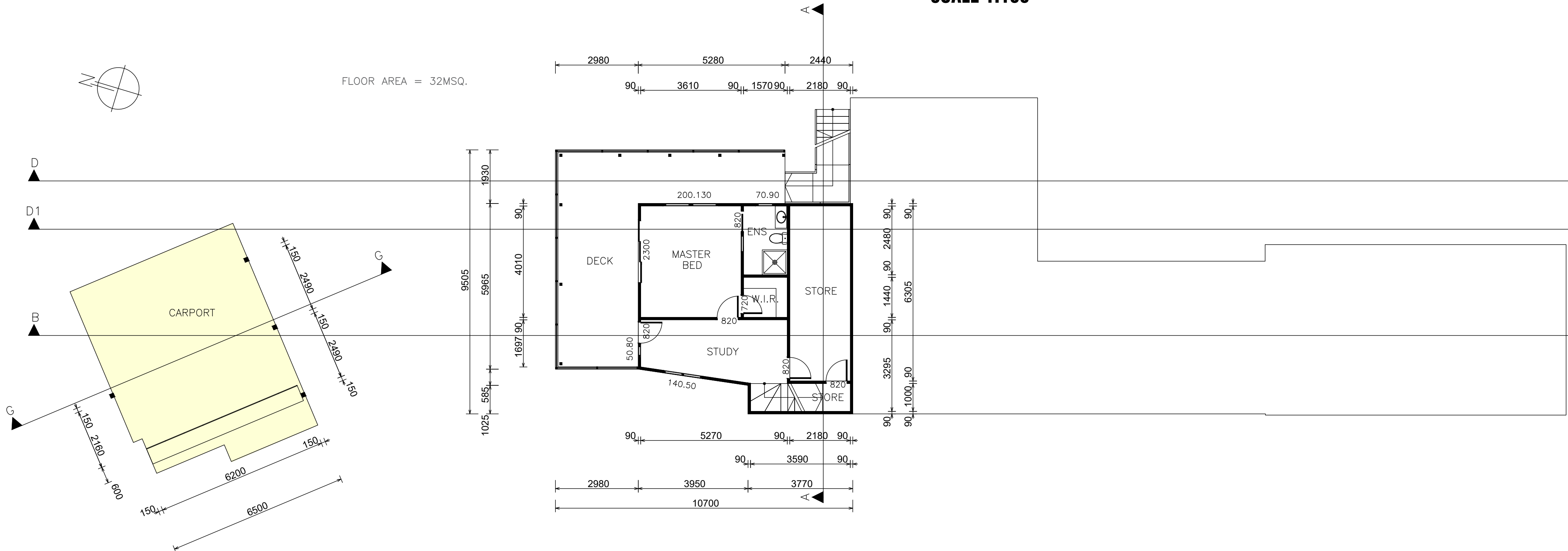
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APPROVED WORKS DA2023/1745

NEW WORKS FOR 4.55 (1A)



LOWER FLOOR PLAN - APPROVED WORKS DA2023/1745
SCALE 1:100



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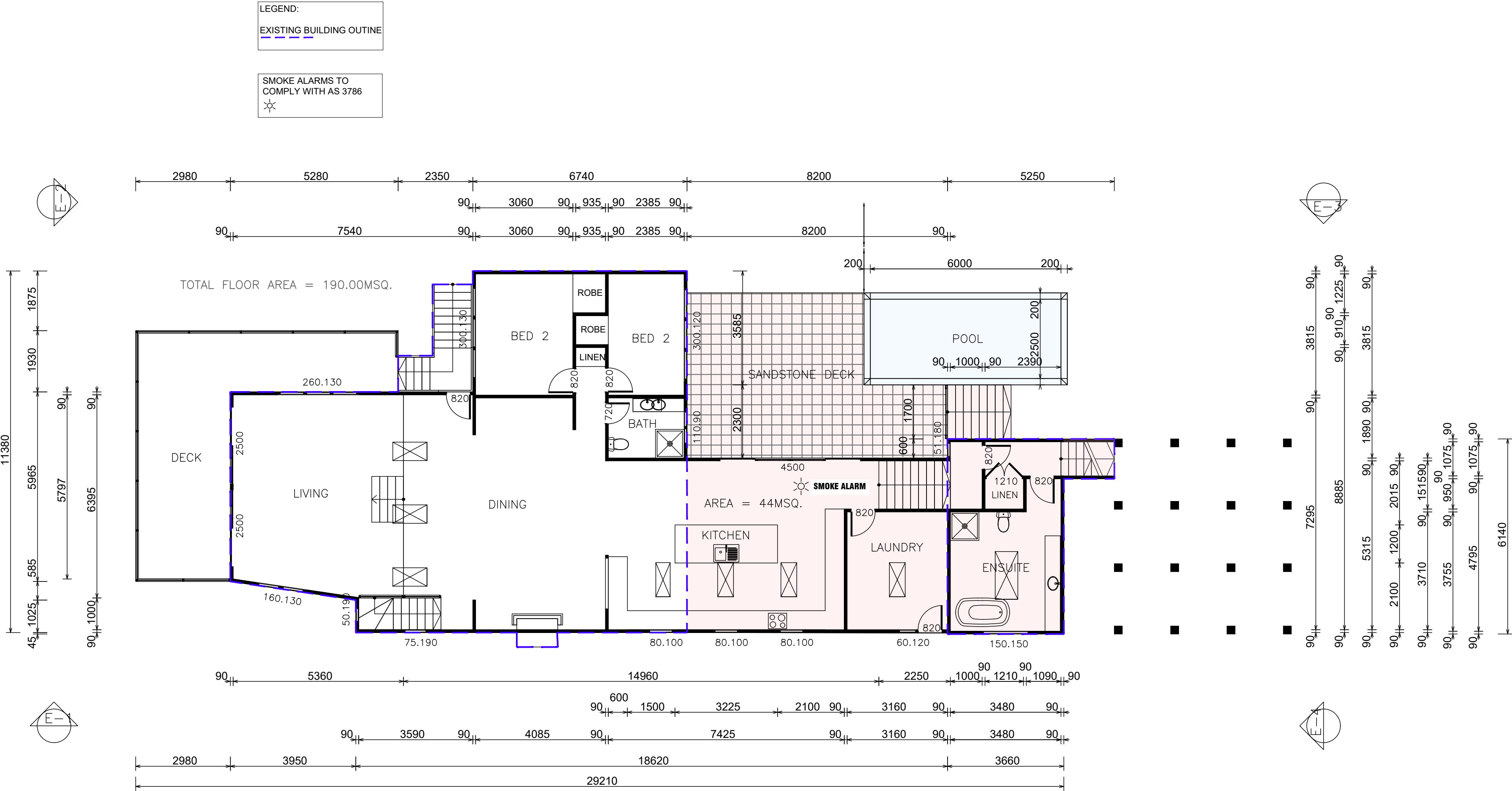
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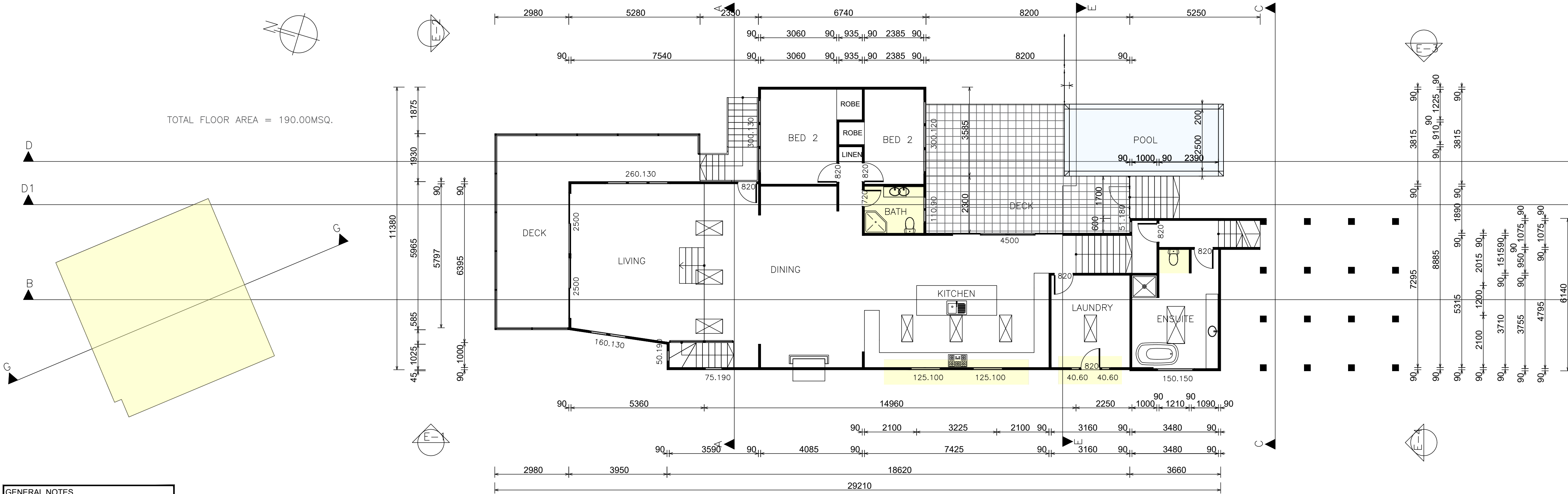
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GROUND FLOOR PLAN - APPROVED WORKS DA2023/1745
SCALE 1:100



GROUND FLOOR PLAN - NEW WORKS FOR 4.55 (1A)
SCALE 1:100

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PROPOSED GFA: 232.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
MOD (1A) PANS
NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

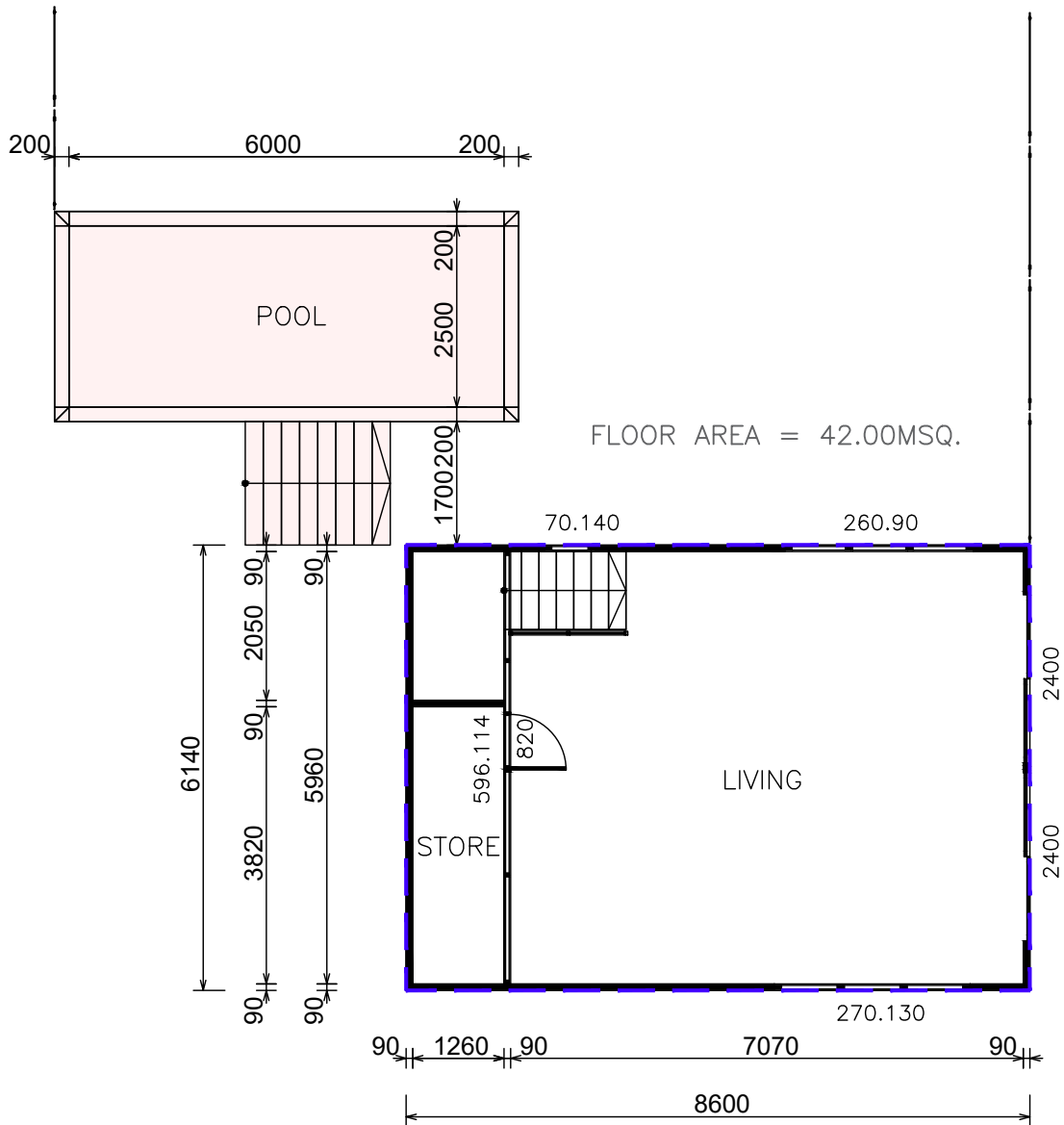
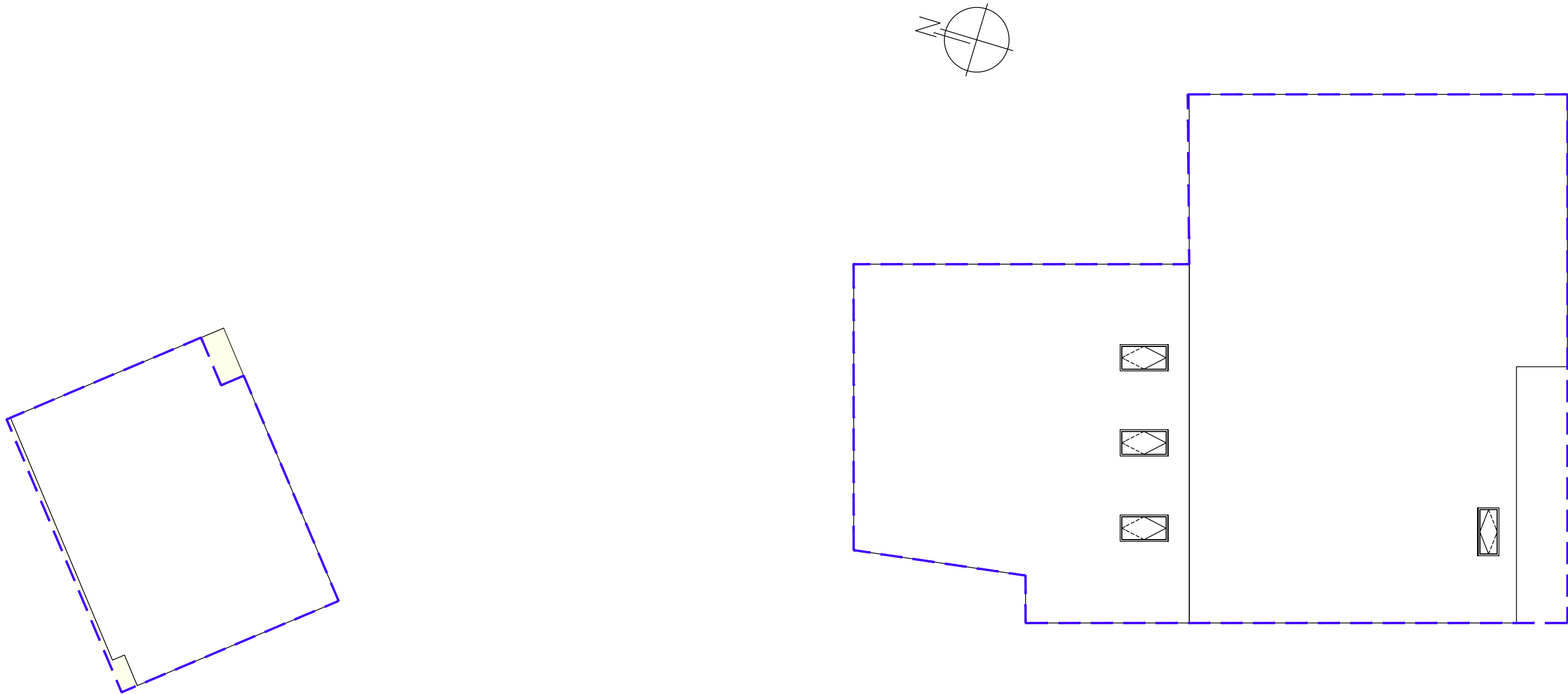
LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⚡

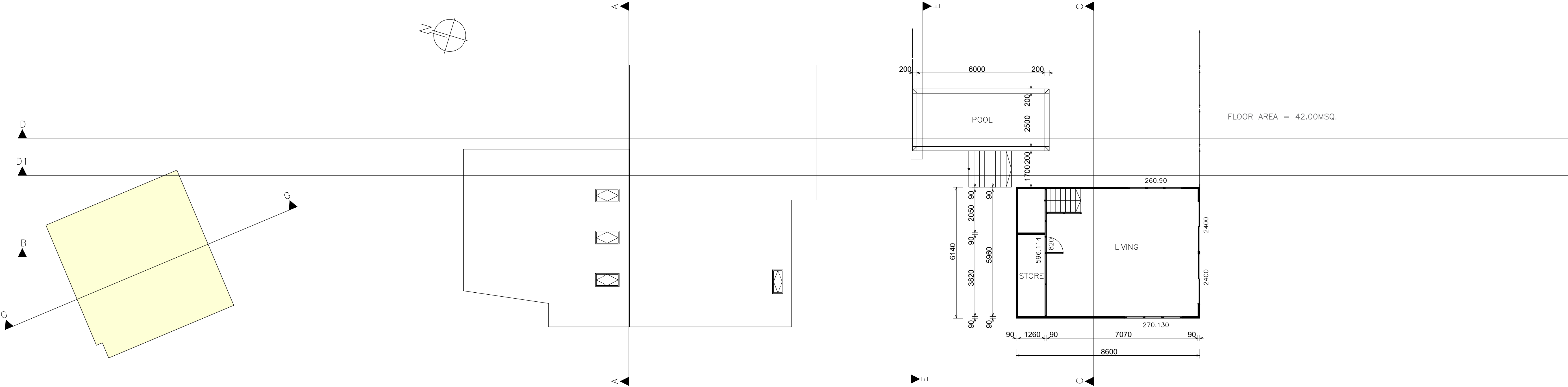
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APPROVED WORKS DA2023/1745

NEW WORKS FOR 4.55 (1A)



1ST FLOOR PLAN - APPROVED WORKS DA2023/1745
SCALE 1:100



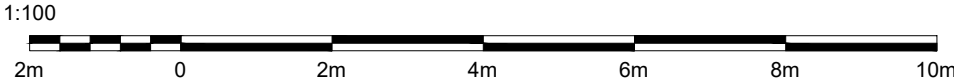
GENERAL NOTES

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•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.

•CONNECT DPS TO EXISTING STORMWATER SYSTEM.

•ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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1ST FLOOR PLAN - NEW WORKS FOR 4.55 (1A)
SCALE 1:100

85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

PROUDLY SUPPORTING
bear cottage
ARCHITECTURAL DRAFTING

Project Address and Alterations
Date: 27-Sep-22
Scale: AS SHOWN

Sheet
4

DP No. 16902
LOT No. 383

A ISSUED FOR DA Sep. 27, 22
No. Revision/Issue Date

dh DRAFTING HELP
5/470 Sydney Rd
Balgownie 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL - MOD (1A) PLANS

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: 232.00MSQ.
PROPOSED GFA: 232.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
MOD (1A) PANS
NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

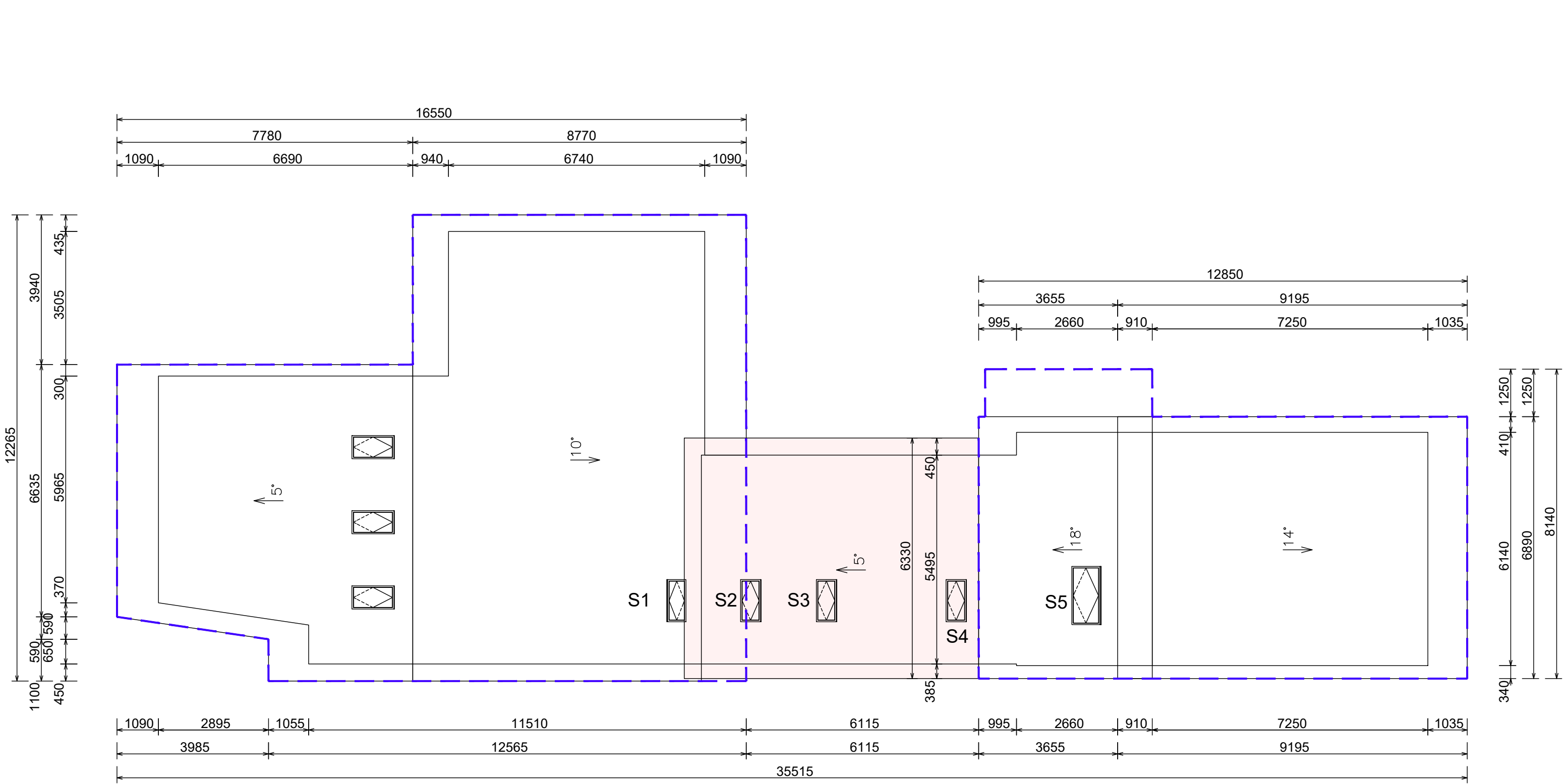
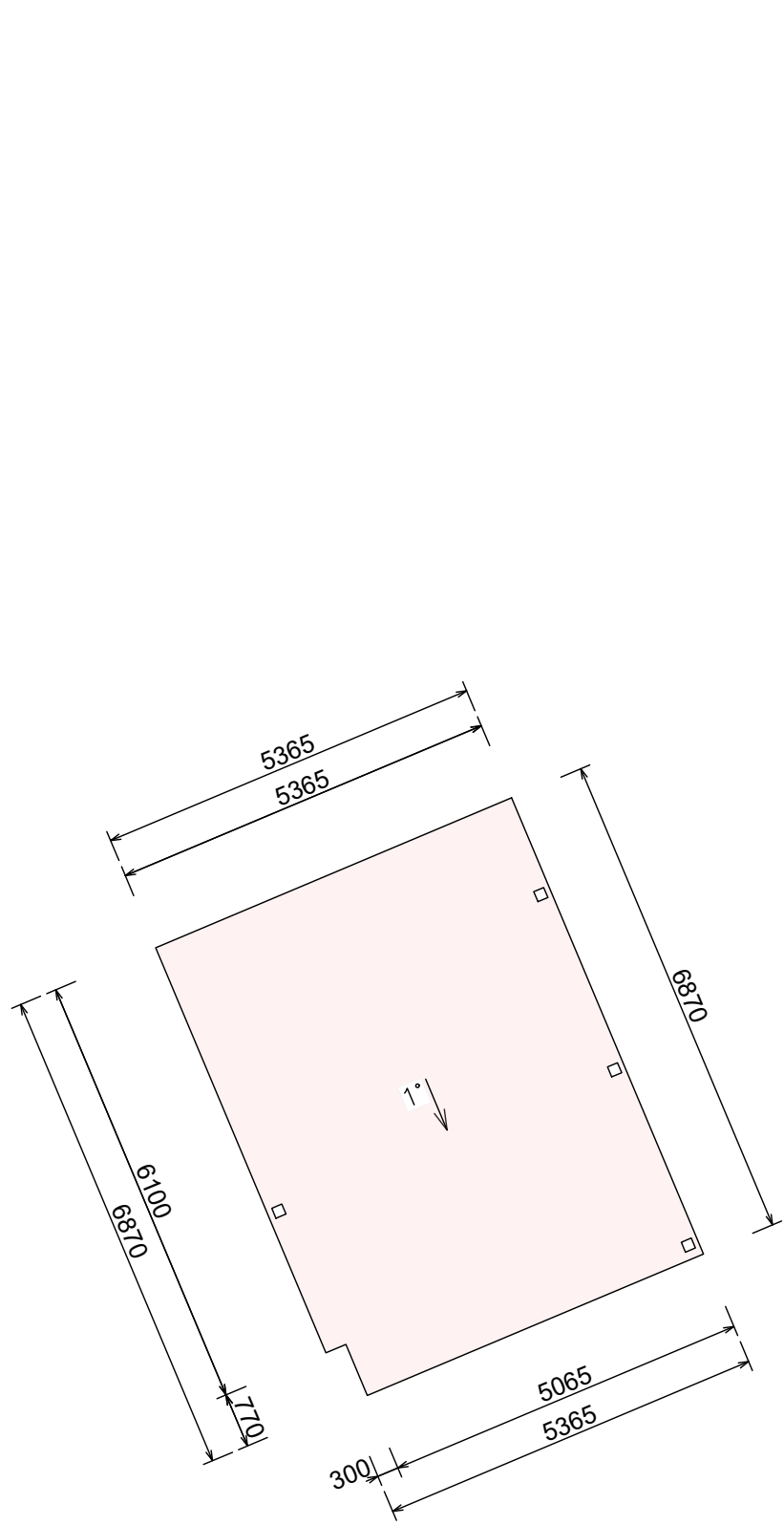
LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⌘

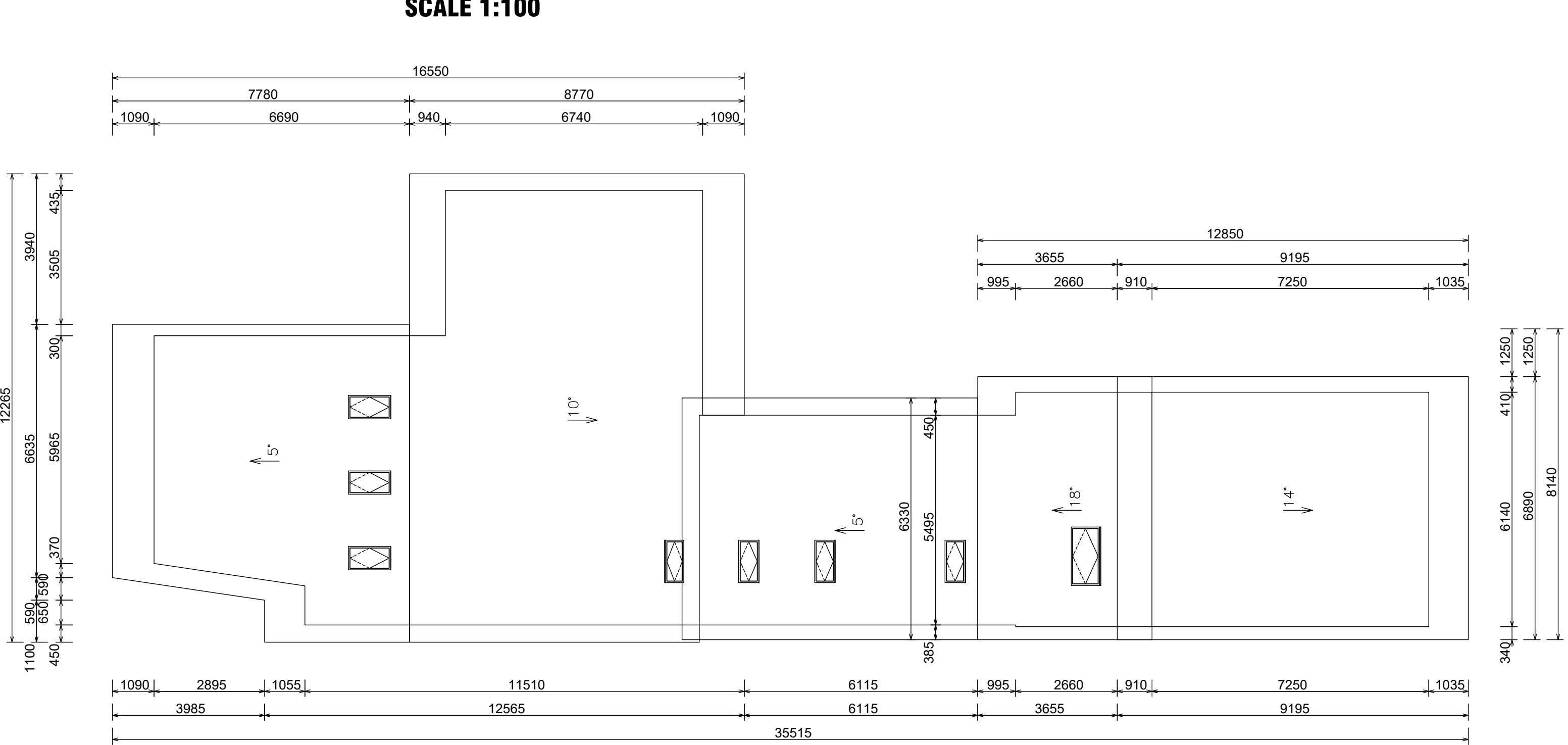
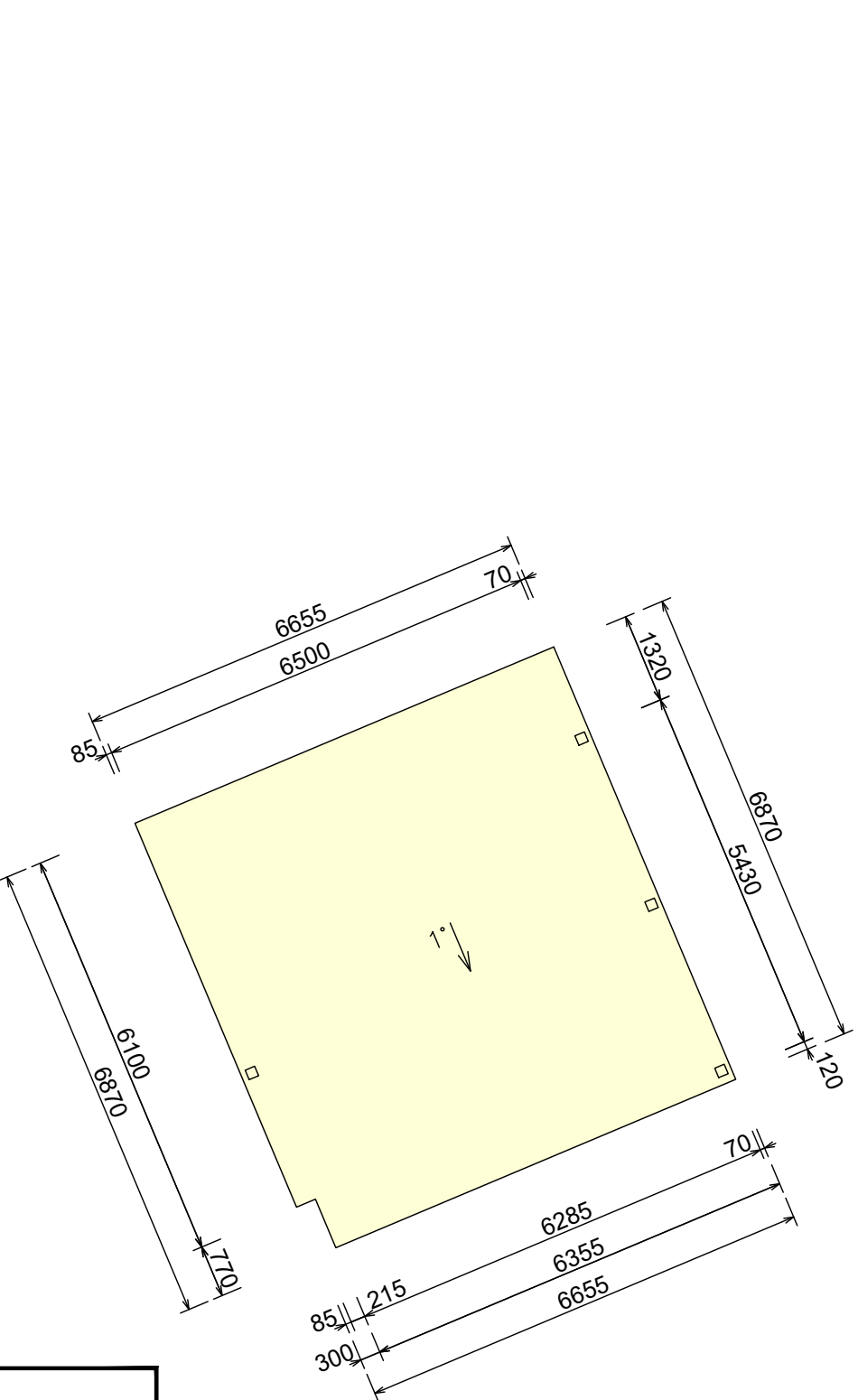
LEGEND:

APPROVED WORKS DA2023/1745

NEW WORKS FOR 4.55 (1A)



ROOF PLAN - APPROVED WORKS DA2023/1745
SCALE 1:100



ROOF PLAN - NEW WORKS FOR 4.55 (1A)
SCALE 1:100

GENERAL NOTES
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ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

PROUDLY SUPPORTING
bear cottage
ARCHITECTS

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Project Address and Alterations	Sheet
Date 27-Sep-22	5
Scale AS SHOWN	
DP No. 16902	
LOT No. 383	
A ISSUED FOR DA Sep. 27, 22	
No.	Revision/Issue Date

dh DRAFTING HELP

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Balgownie NSW 2093
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02 87763474

Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

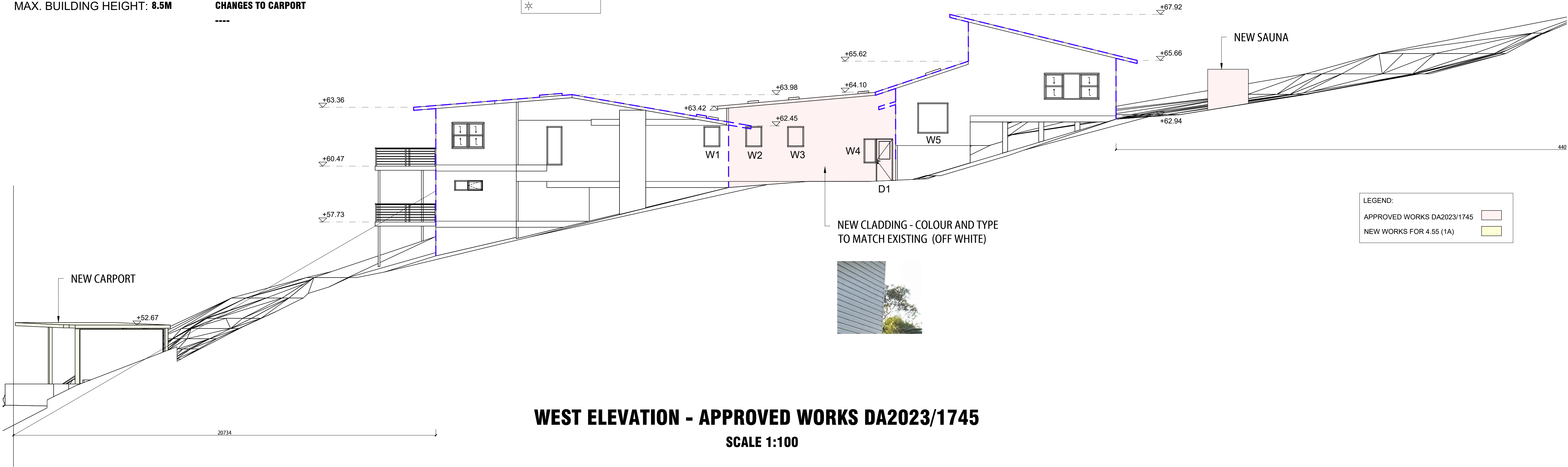
DEVELOPMENT PROPOSAL - MOD (1A) PLANS

DP: **16902**
LOT No. **383**
SITE AREA: **1551.10MSQ.**
EXIST. GFA: **232.00MSQ.**
PROPOSED GFA: **232.00MSQ**
MAX. BUILDING HEIGHT: **8.5M**

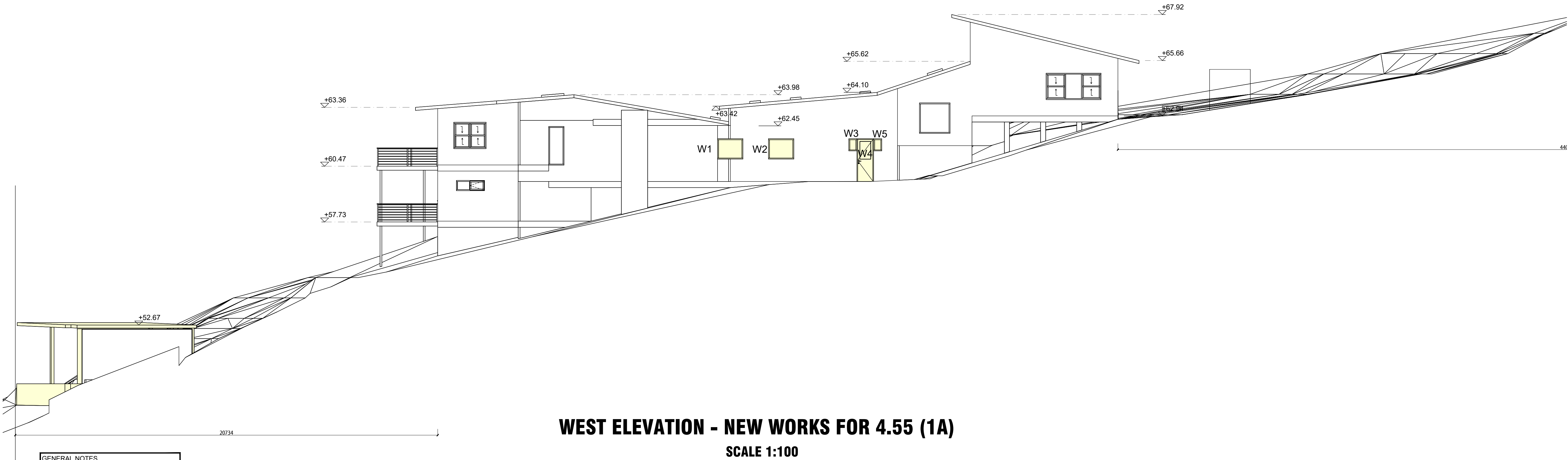
NEW WORKS:
MOD (1A) PANS
NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⚡



WEST ELEVATION - APPROVED WORKS DA2023/1745
SCALE 1:100



WEST ELEVATION - NEW WORKS FOR 4.55 (1A)
SCALE 1:100

GENERAL NOTES
•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

PROUDLY SUPPORTING
bear of cottage
AUSTRALIAN BUILT HOMES

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Project Address and Alterations
Date: 27-Sep-22
Scale: AS SHOWN

Sheet
6

DP No. 16902
LOT No. 383

A ISSUED FOR DA Sep. 27, 22
No. Revision/Issue Date

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Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL - MOD (1A) PLANS

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: 232.00MSQ.
PROPOSED GFA: 232.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
MOD (1A) PANS
NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

LEGEND:

EXISTING BUILDING OUTLINE

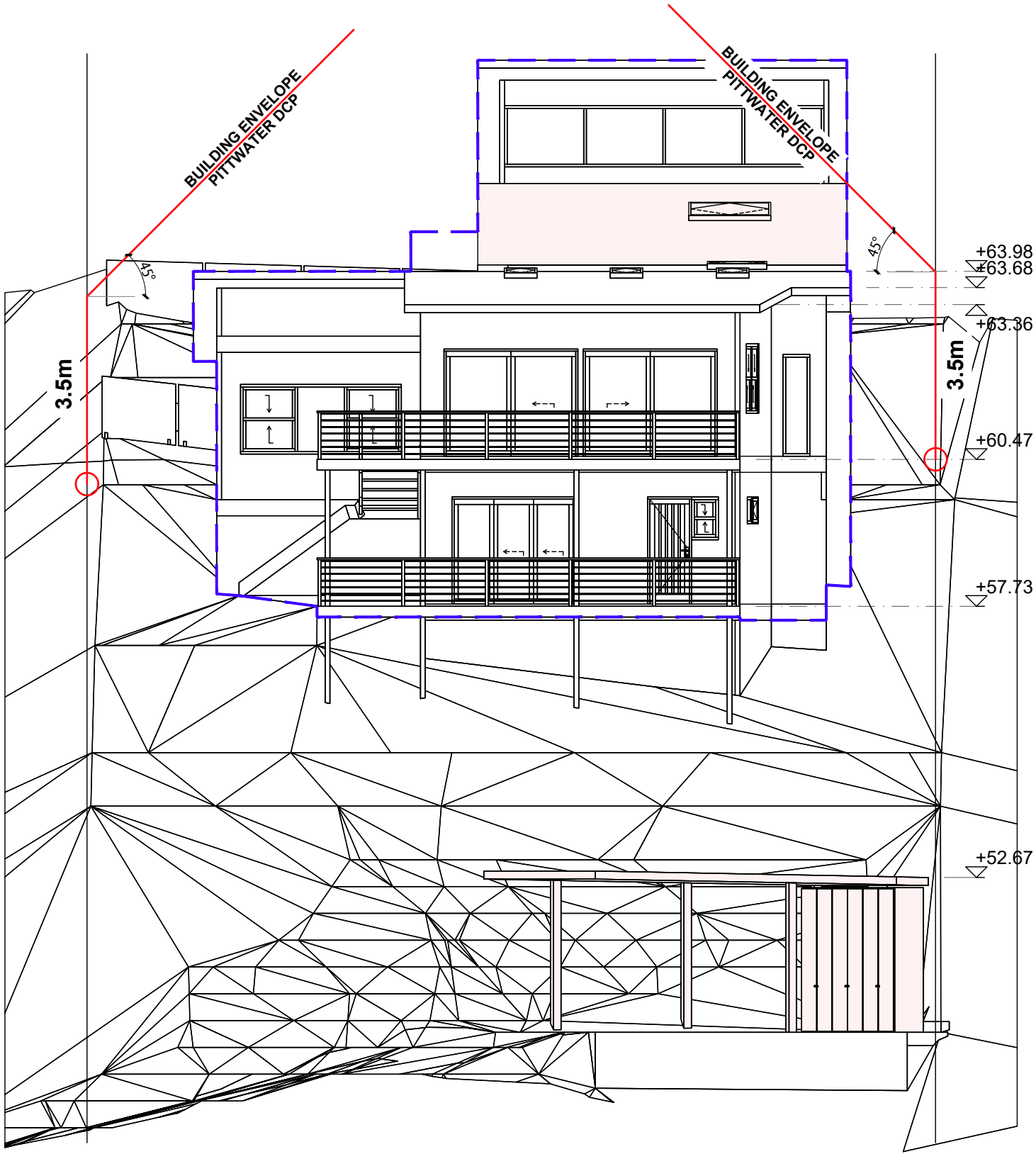
SMOKE ALARMS TO COMPLY WITH AS 3786

☆

LEGEND:

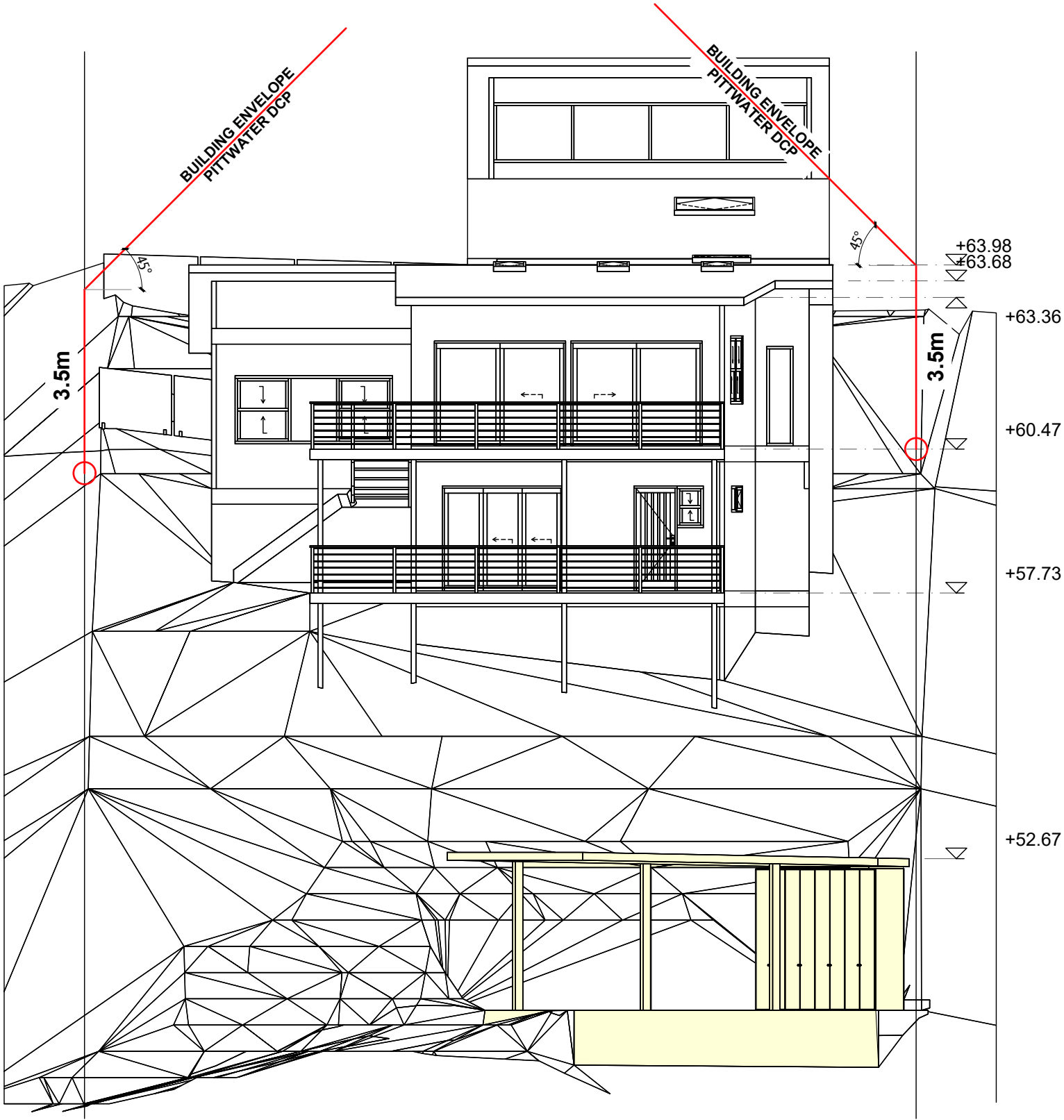
APPROVED WORKS DA2023/1745

NEW WORKS FOR 4.55 (1A)



NORTH ELEVATION - APPROVED WORKS DA2023/1745

SCALE 1:100

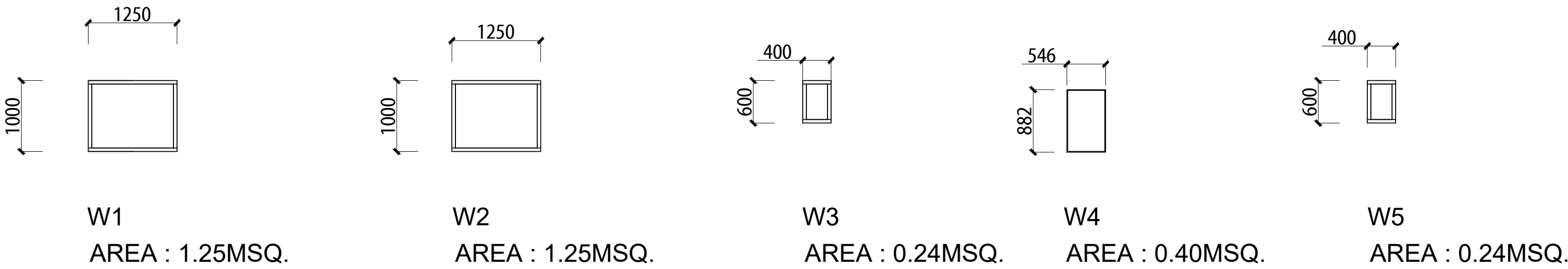


NORTH ELEVATION - NEW WORKS FOR 4.55 (1A)

SCALE 1:100

WINDOWS AND DOORS FOR BASIX

WEST ELEVATION



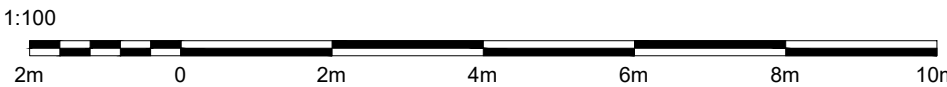
NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING

GENERAL NOTES

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85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

proudly supporting

bear cottage

Project
ADDRESS AND
ALTERATIONS

Date
27-Sep-22

Scale
AS SHOWN

Sheet
7

DP No.
16902

LOT No.
383

A

ISSUED FOR DA

Sep. 27, 22

No.

Revision/Issue

Date

dh DRAFTING HELP

5/470 Sydney Rd
Balgownie 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address

MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

DP: **16902**
 LOT No. **383**
 SITE AREA: **1551.10MSQ.**
 EXIST. GFA: **232.00MSQ.**
 PROPOSED GFA: **232.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
MOD (1A) PANS
NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786



LEGEND:

APPROVED WORKS DA2023/1745	
NEW WORKS FOR 4.55 (1A)	



GENERAL NOTES

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**85 PALMGROVE RD
AVALON BEACH
2107**

**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:

	EXISTING BUILDING OUTLINE
	PROPOSED WORK

General Notes

proudly supporting

bear cottage

an extension of
the children's hospital & museum

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Project ADDITONS AND ALTERATIONS	Sheet
Date 27-Sep-22	8
Scale AS SHOWN	

DP No. **16902**

LOT No. **383**

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

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ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL - MOD (1A) PLANS

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: 232.00MSQ.
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POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

LEGEND:

EXISTING BUILDING OUTLINE

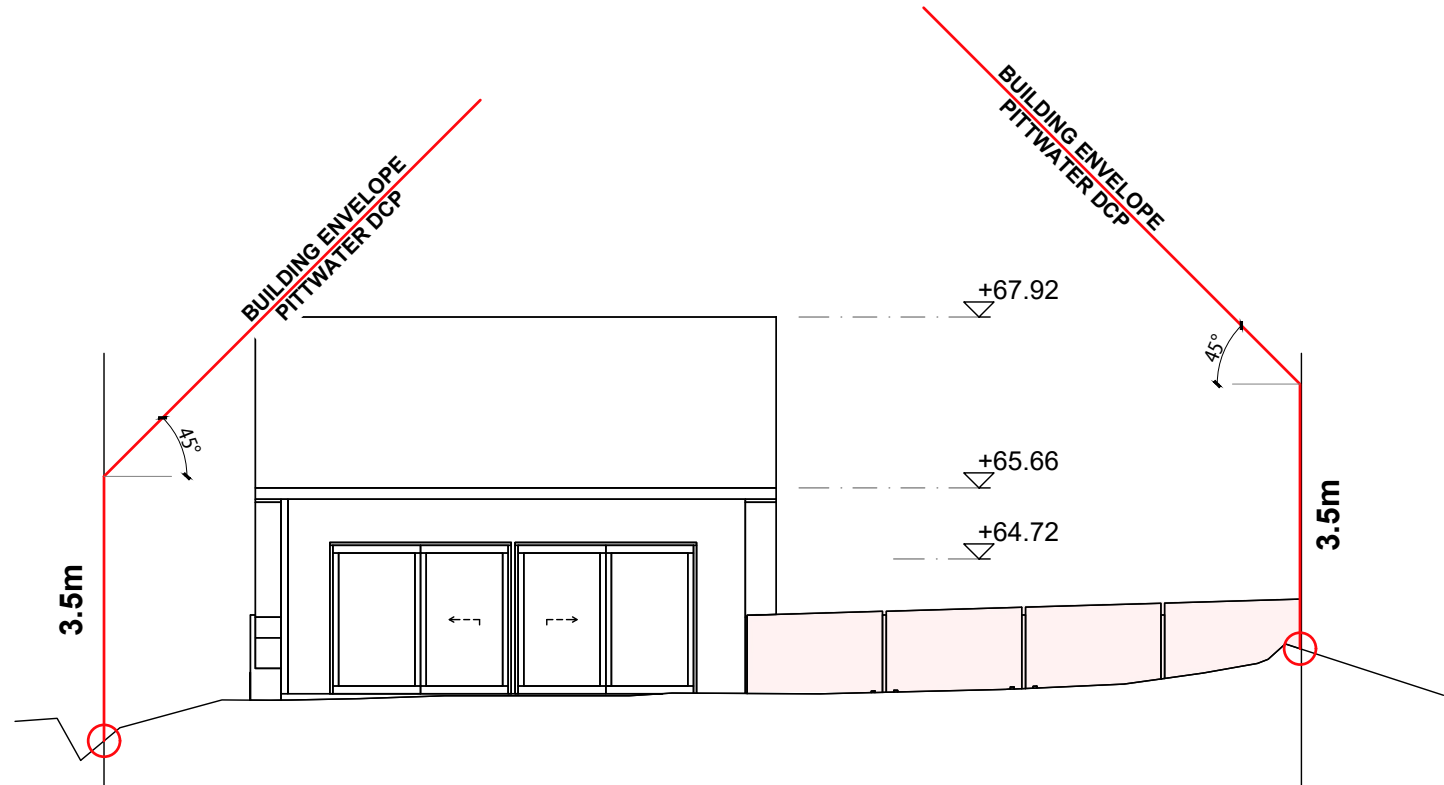
SMOKE ALARMS TO COMPLY WITH AS 3786

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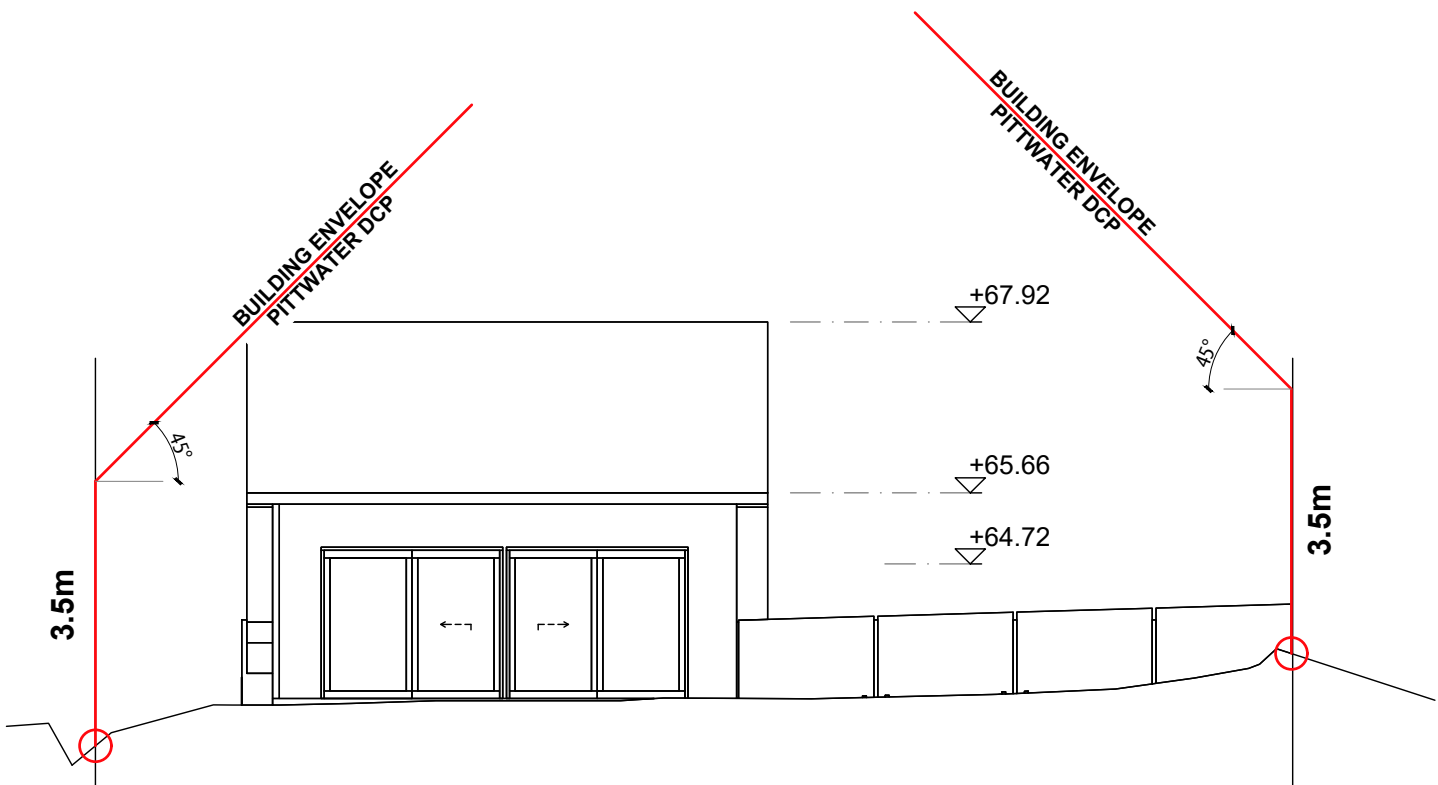
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APPROVED WORKS DA2023/1745

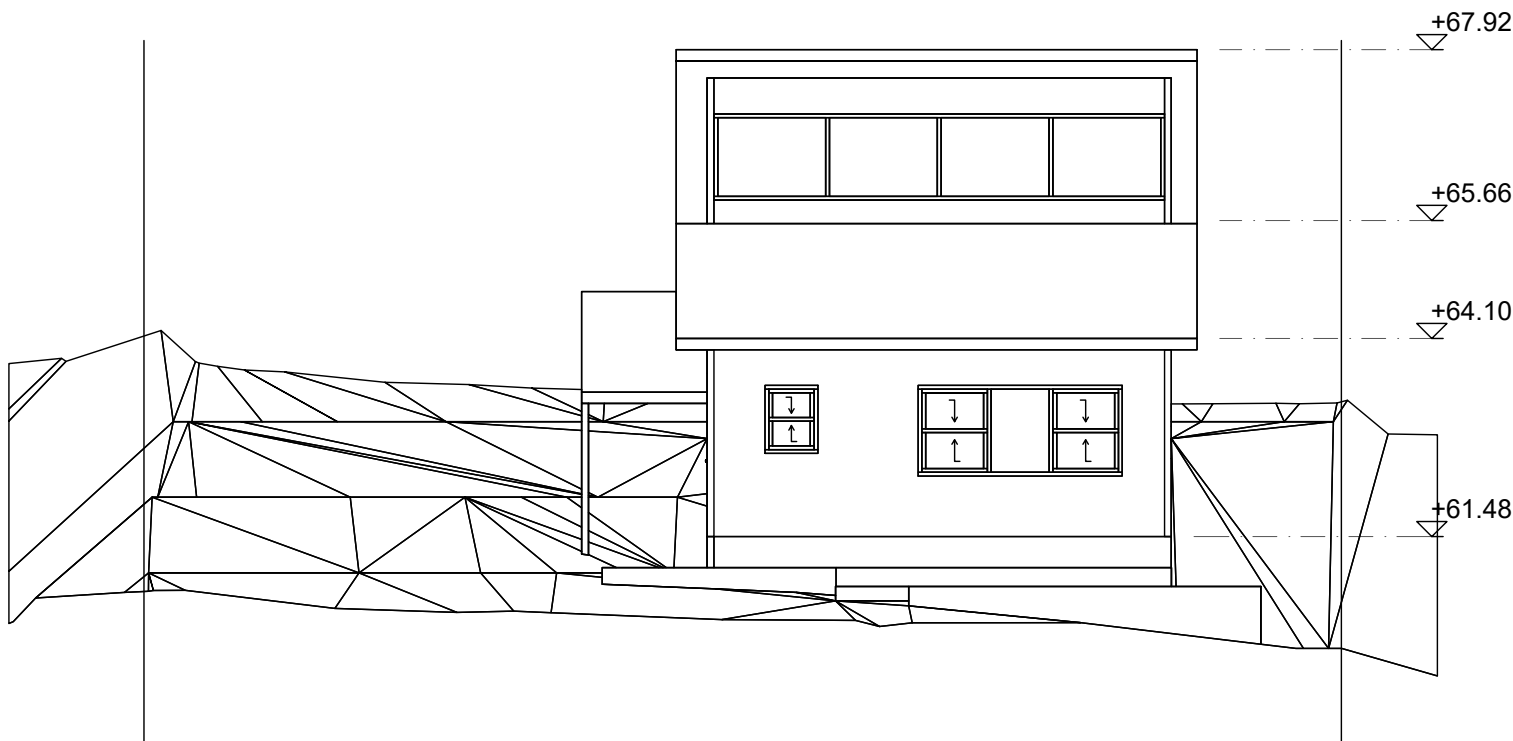
NEW WORKS FOR 4.55 (1A)



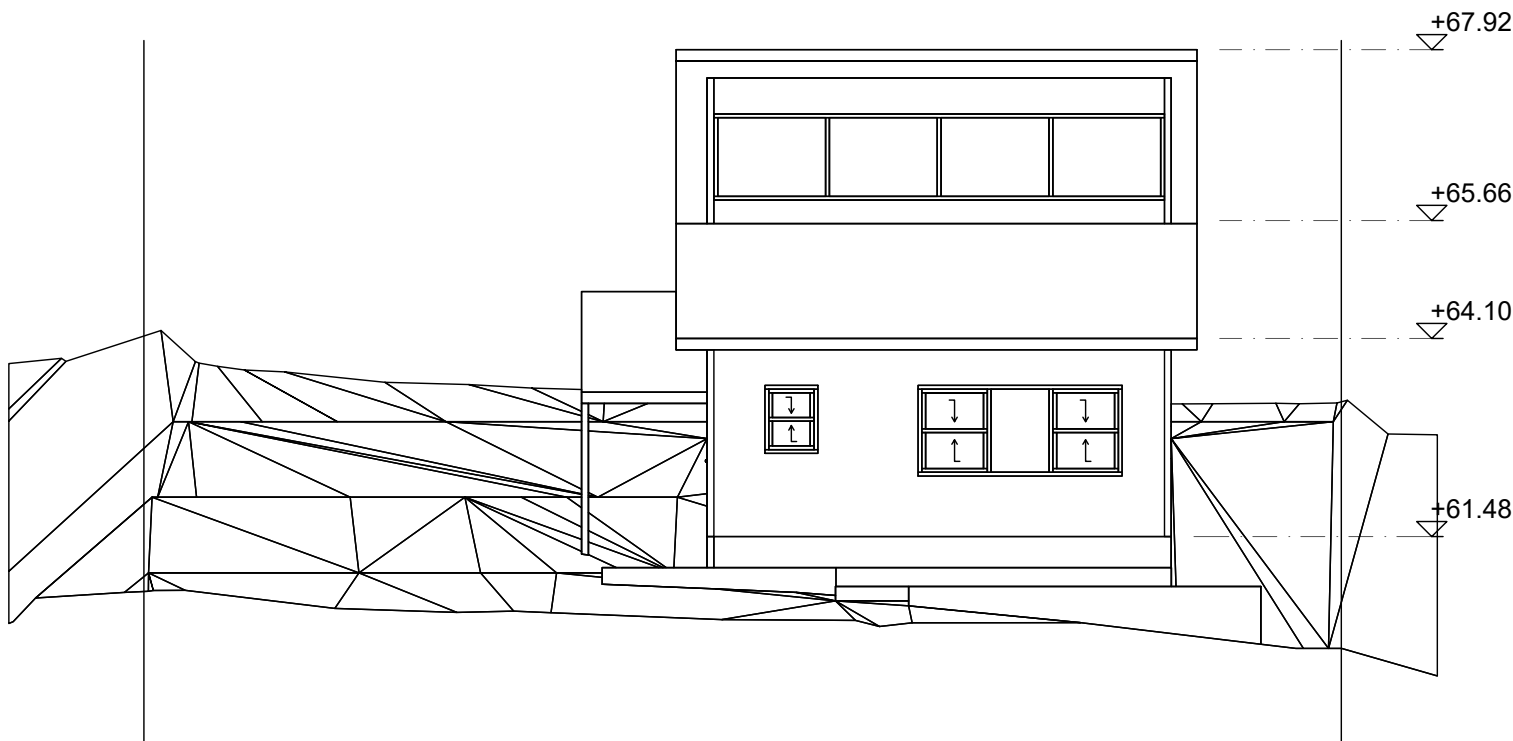
SOUTH ELEVATION - APPROVED WORKS DA2023/1745
SCALE 1:100



SOUTH ELEVATION - NEW WORKS FOR 4.55 (1A)
SCALE 1:100



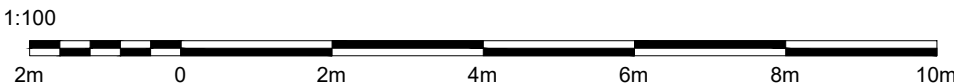
SOUTH ELEVATION - APPROVED WORKS DA2023/1745
SCALE 1:100



SOUTH ELEVATION - NEW WORKS FOR 4.55 (1A)
SCALE 1:100

GENERAL NOTES

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85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

proudly supporting

bear cottage

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Project ADDRESS AND ALTERATIONS
Date 27-Sep-22
Scale AS SHOWN

Sheet 9

DP No. 16902

LOT No. 383

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

dh DRAFTING HELP

5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address

MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL - MOD (1A) PLANS

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: 232.00MSQ.
PROPOSED GFA: 232.00MSQ
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POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

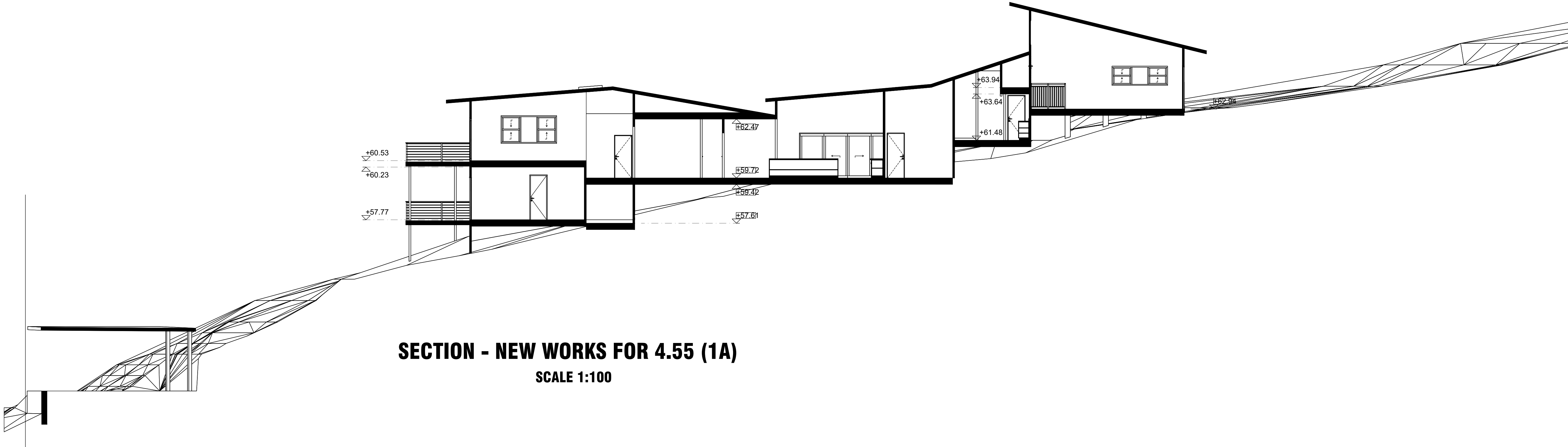
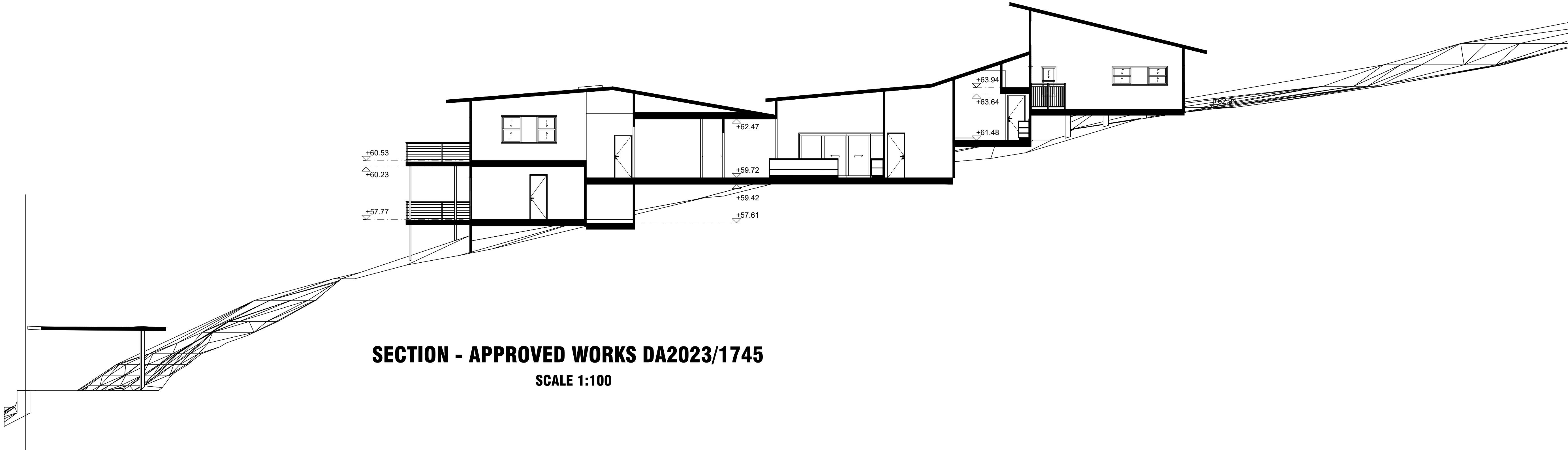
LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⚡

LEGEND:

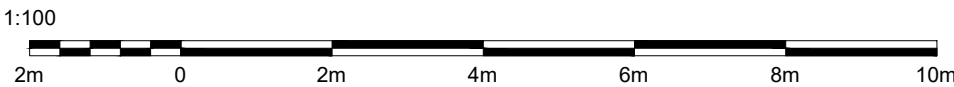
APPROVED WORKS DA2023/1745

NEW WORKS FOR 4.55 (1A)



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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes



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Project Address and Alterations
Date 27-Sep-22
Scale AS SHOWN

Sheet 10

DP No. 16902
LOT No. 383

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

dh DRAFTING HELP

5/470 Sydney Rd
Balgownie 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

85 PALMGROVE RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL - MOD (1A) PLANS

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: 232.00MSQ.
PROPOSED GFA: 232.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
MOD (1A) PANS
NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

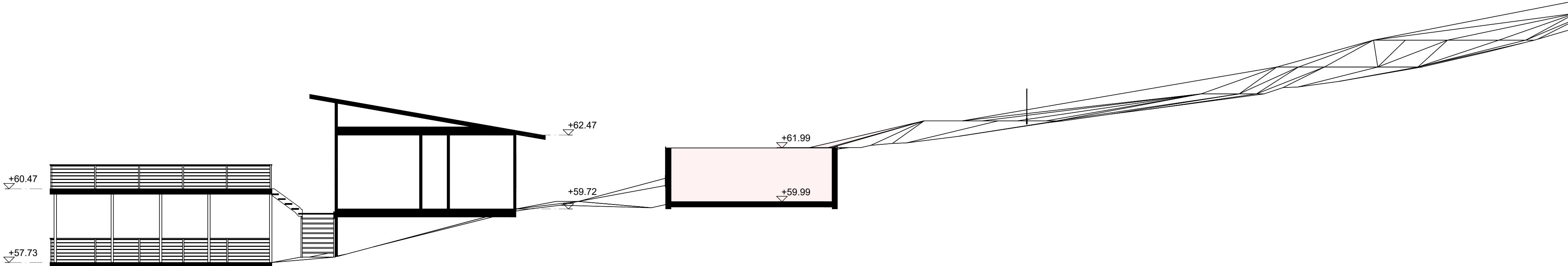
LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⚡⚡

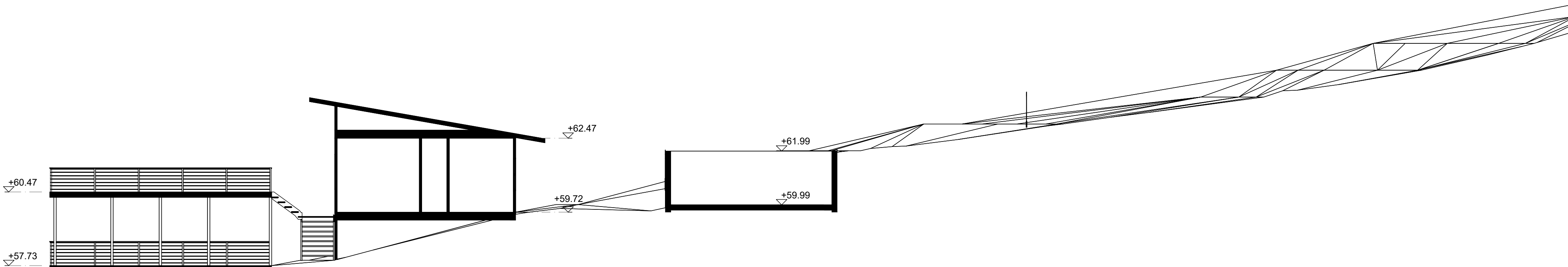
LEGEND:

APPROVED WORKS DA2023/1745

NEW WORKS FOR 4.55 (1A)

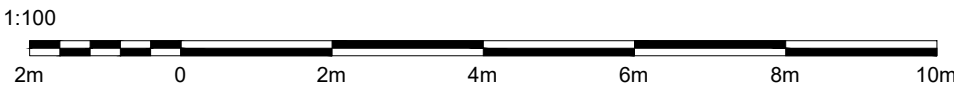


SECTION - APPROVED WORKS DA2023/1745
SCALE 1:100



SECTION - NEW WORKS FOR 4.55 (1A)
SCALE 1:100

GENERAL NOTES
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LEGEND:

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Project ADDRESS AND ALTERATIONS	Sheet 11
Date 27-Sep-22	
Scale AS SHOWN	

DP No. 16902
LOT No. 383

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

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Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
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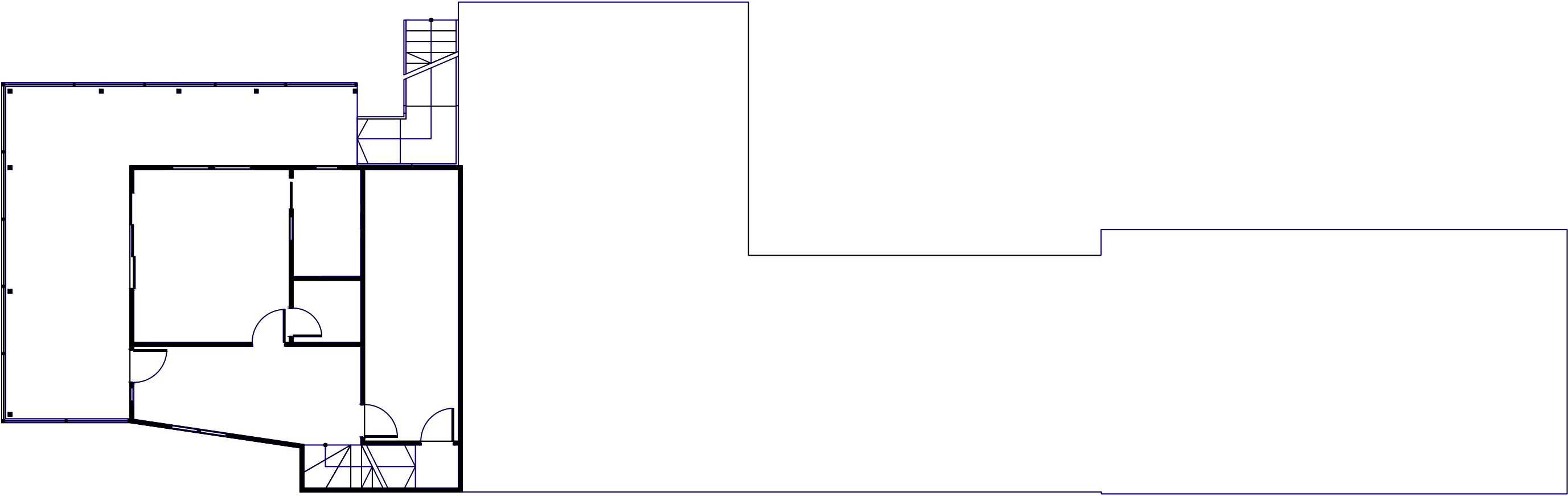
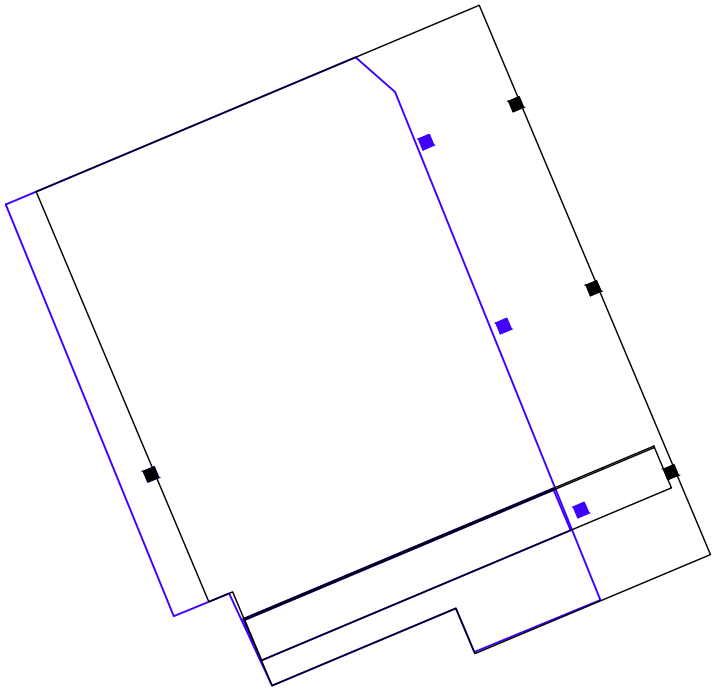
DEVELOPMENT PROPOSAL - MOD (1A) PLANS

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: 232.00MSQ.
PROPOSED GFA: 232.00MSQ
MAX. BUILDING HEIGHT: 8.5M

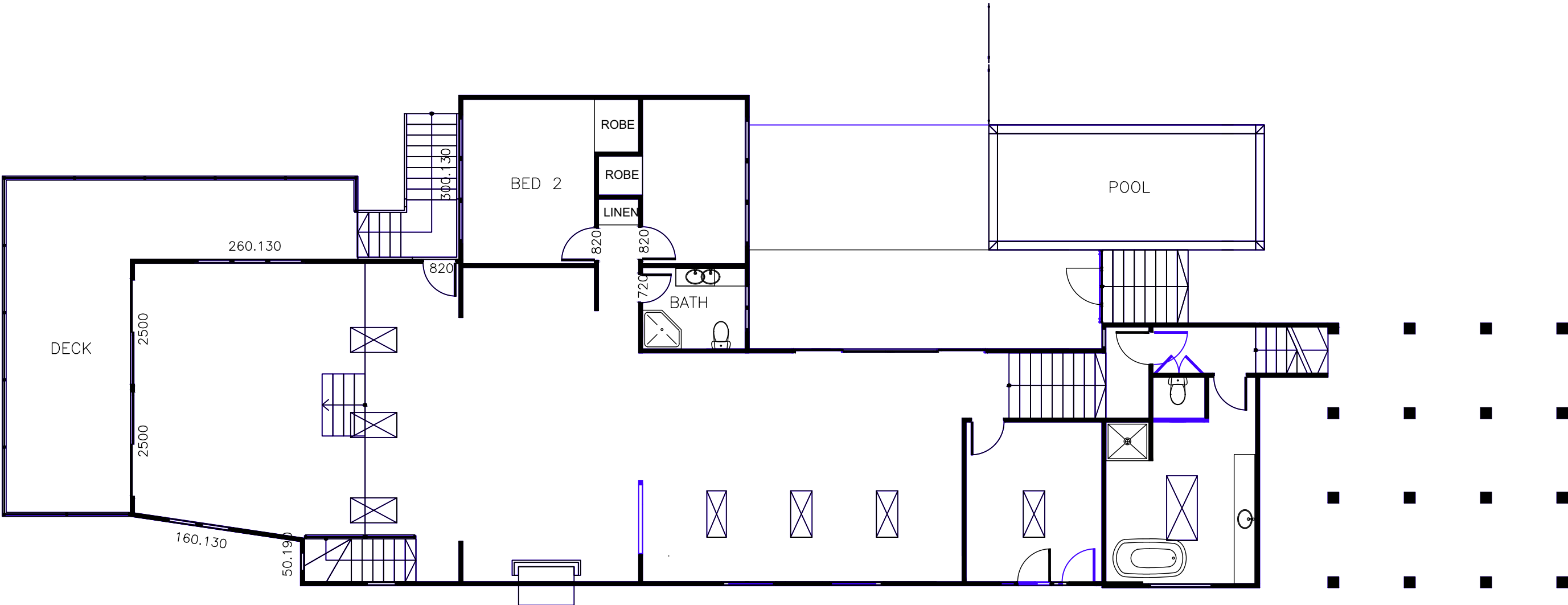
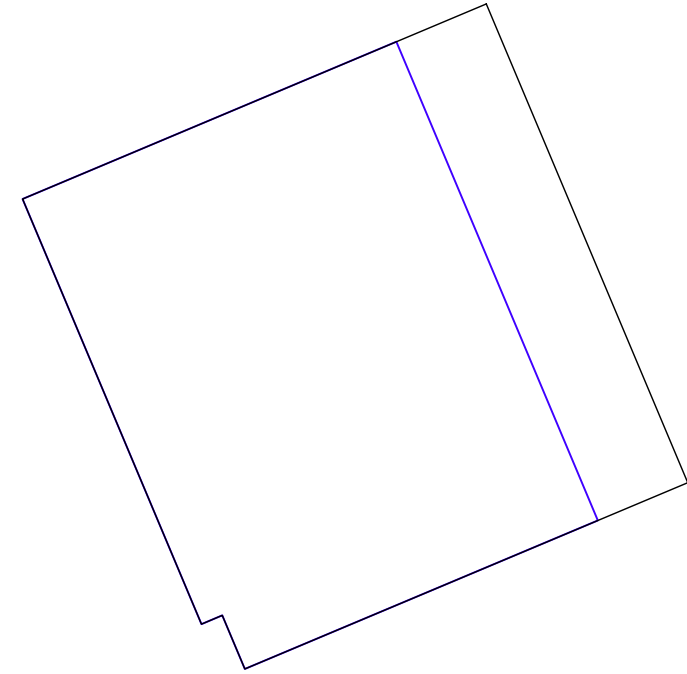
NEW WORKS:
MOD (1A) PANS
NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786
⚡

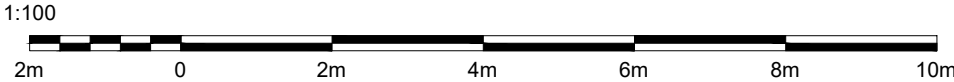


LOWER FLOOR DEMO PLAN
SCALE 1:100



GROUND FLOOR DEMO PLAN
SCALE 1:100

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2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

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Project Address and Alterations: 27-Sep-22
Scale: AS SHOWN
Sheet: 12

DP No. 16902
LOT No. 383

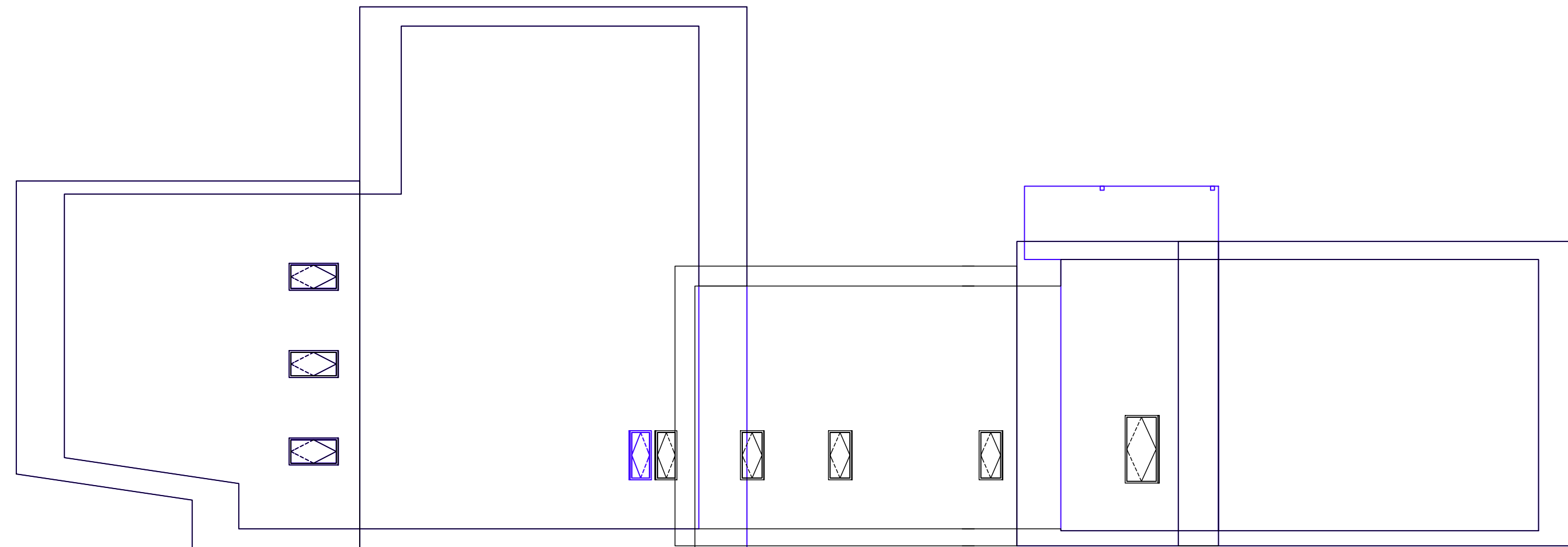
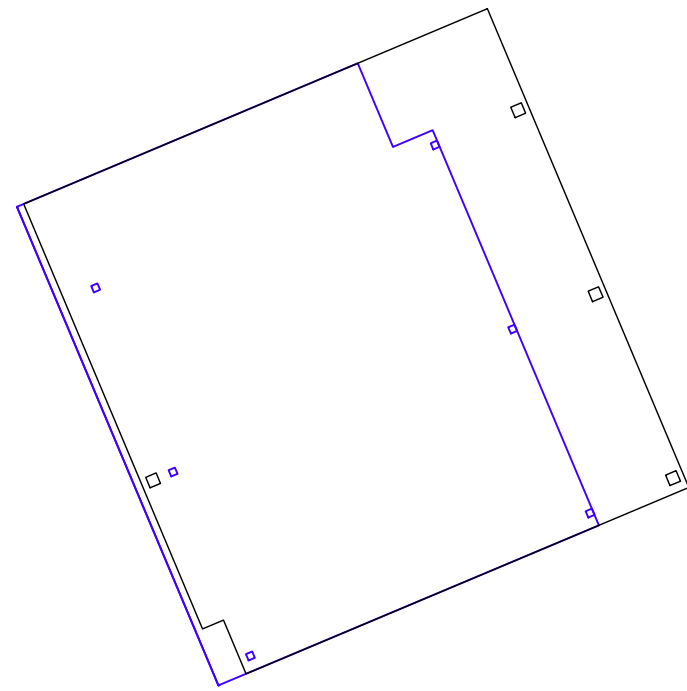
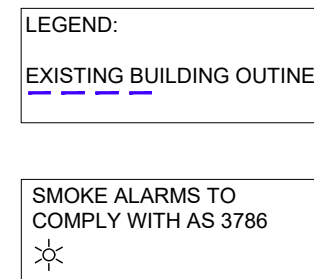
A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

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02 87763474

Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

DP: **16902**
 LOT No. **383**
 SITE AREA: **1551.10MSQ.**
 EXIST. GFA: **232.00MSQ.**
 PROPOSED GFA: **232.00MSQ**
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:
MOD (1A) PANS
NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT



ROOF PLAN DEMO

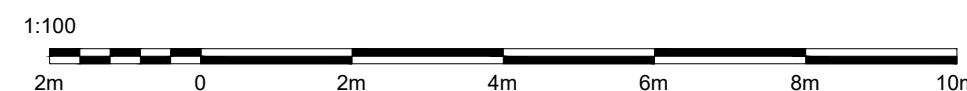
SCALE 1:100

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**85 PALMGROVE RD
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**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:

 EXISTING BUILDING OUTLINE

 PROPOSED WORK

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Project ADDITONS AND ALTERATIONS	Sheet
Date 27-Sep-22	13
Scale AS SHOWN	

DP No. 16902

LOT No. **383**

A	ISSUED FOR DA	Sep. 27, 2011
No.	Revision/Issue	Date

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ARCHITECTURAL DRAFTING & DESIGN SERVICES
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www.draftinghelp.com.au
02 87763474

Project Name and Address

**MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107**

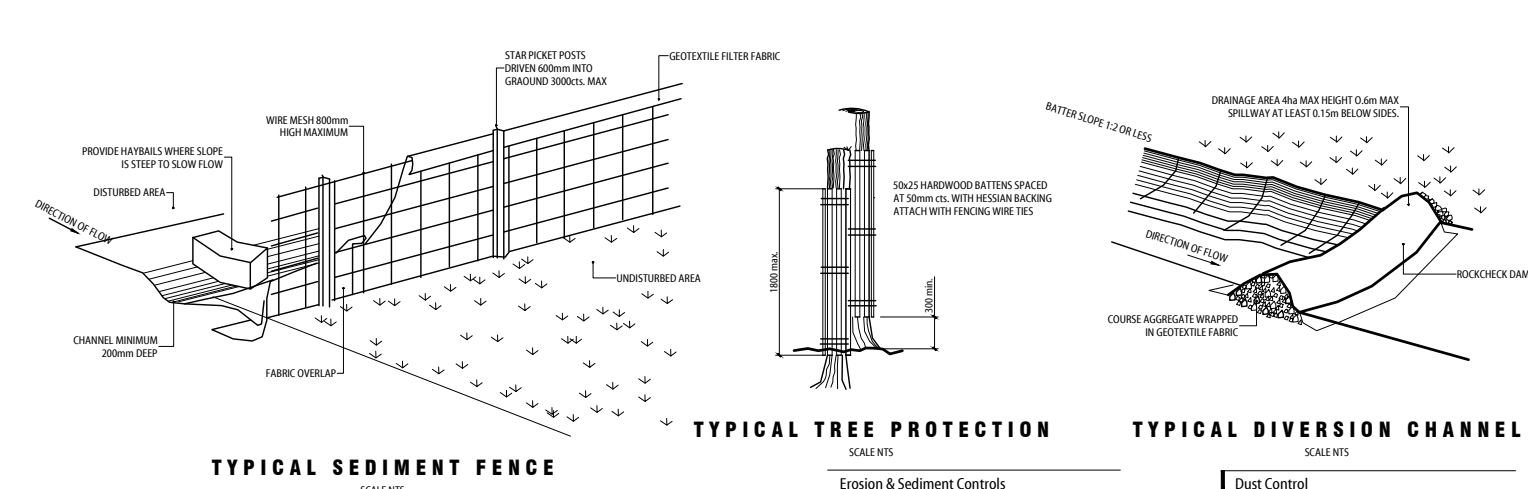
DEVELOPMENT PROPOSAL - MOD (1A) PLANS

DP: **16902**
LOT No. **383**
SITE AREA: **1551.10MSQ.**
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NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

LEGEND:
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786



Vehicle Movements

ALL VEHICLE MOVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY. ALL VEHICLE MOVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY. ALL VEHICLE MOVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.

Sediment Traps

SEDIMENT TRAPS SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE. SEDIMENT TRAPS SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE. SEDIMENT TRAPS SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE.

Diversion Channels

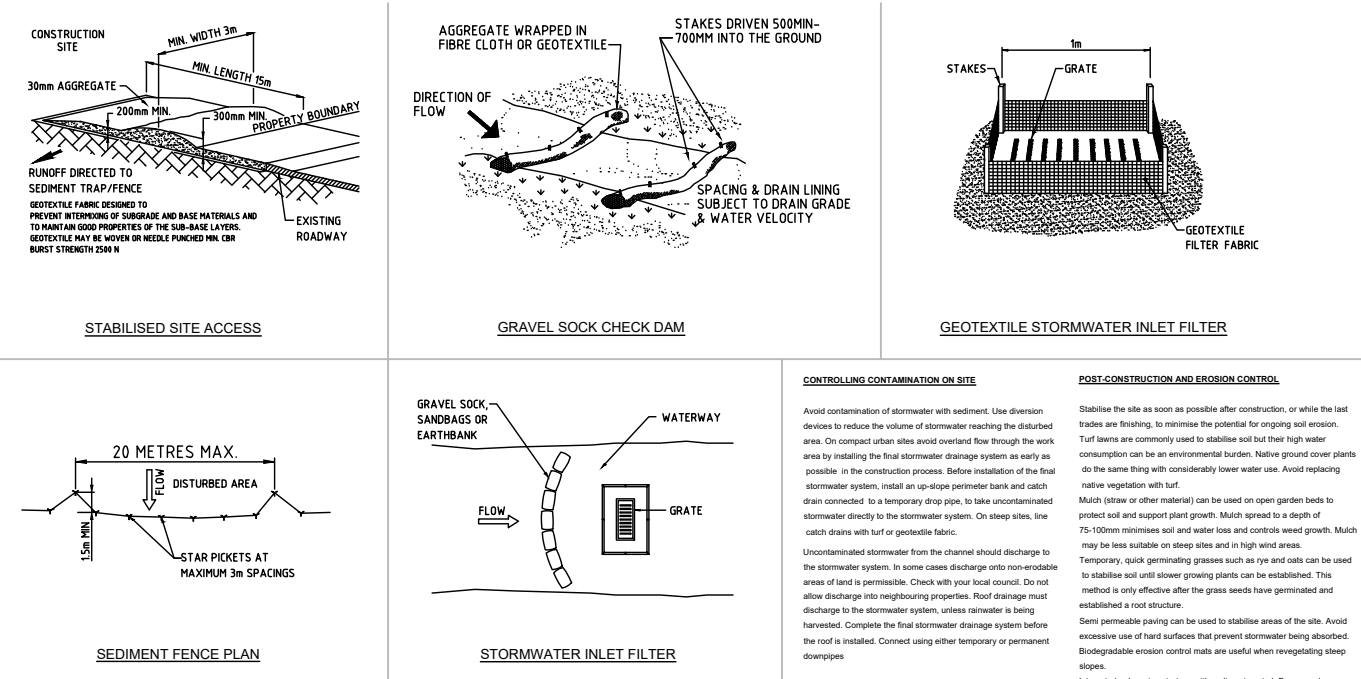
DIVERSION CHANNELS SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE. DIVERSION CHANNELS SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE. DIVERSION CHANNELS SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE.

Erosion & Sediment Controls

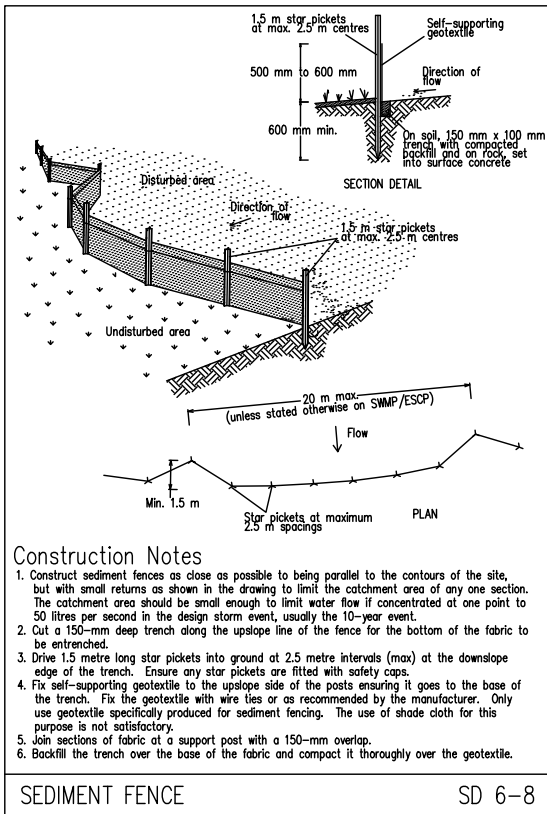
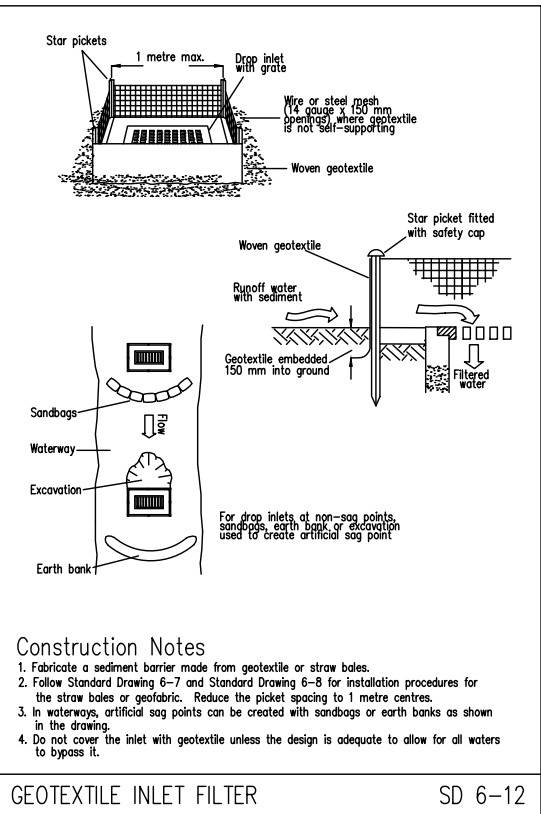
EROSION & SEDIMENT CONTROLS SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE. EROSION & SEDIMENT CONTROLS SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE. EROSION & SEDIMENT CONTROLS SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE.

Dust Control

DUST CONTROL SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE. DUST CONTROL SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE. DUST CONTROL SHALL BE PROVIDED AT ALL ENTRANCES TO THE SITE.



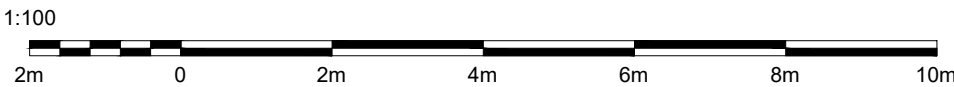
SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS



SEDIMENT & EROSION PLAN
SCALE 1:200

GENERAL NOTES

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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

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Project Address and Alternative
Date 27-Sep-22
Scale AS SHOWN
Sheet 14

DP No. 16902
LOT No. 383

A ISSUED FOR DA Sep. 27, 22
No. Revision/Issue Date

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Balgowlah 2093 NSW
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02 87763474

Project Name and Address
MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

DEVELOPMENT PROPOSAL - MOD (1A) PLANS

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: 232.00MSQ.
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MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:
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NEW MAIN BATHROOM LAYOUT
POOL FENCE TO STEPS
WINDOWS REMOVED AND ADDED
CHANGES TO CARPORT

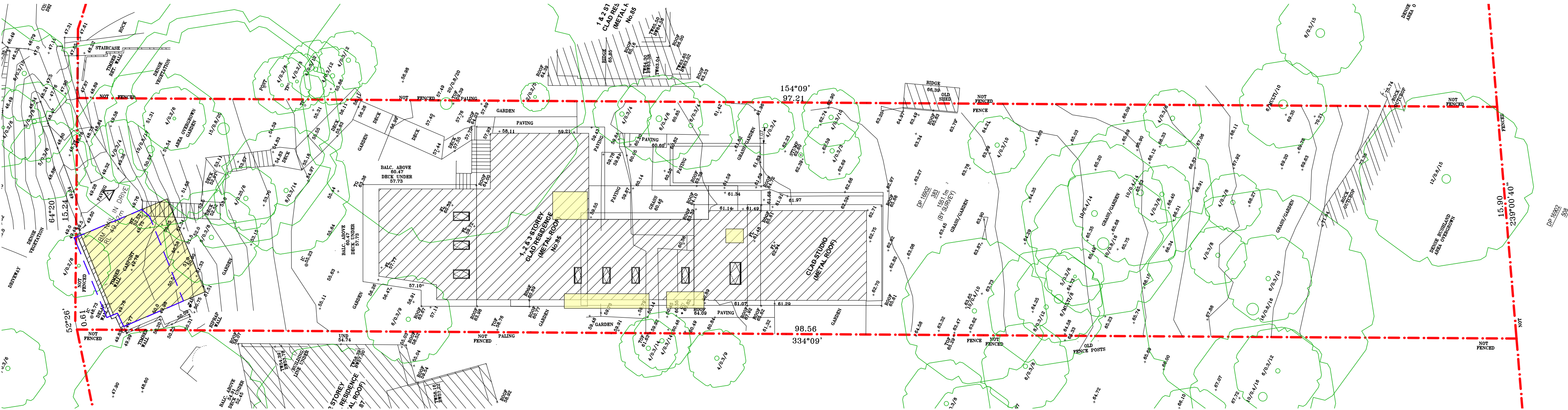
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EXISTING BUILDING OUTLINE

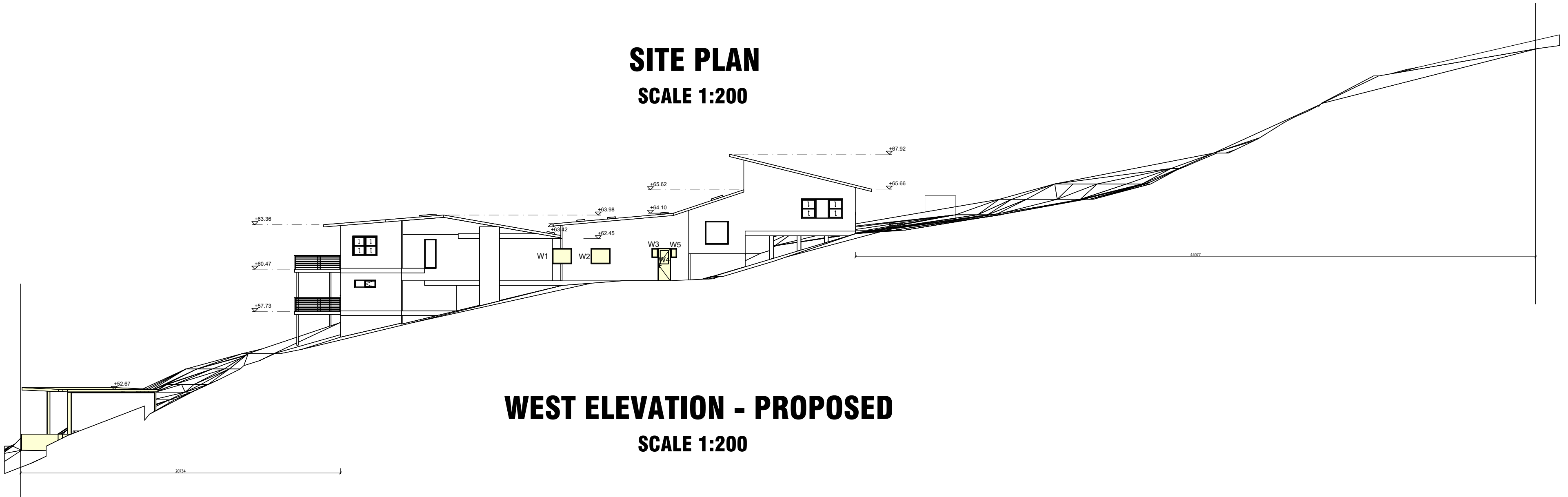
SMOKE ALARMS TO COMPLY WITH AS 3786

☆

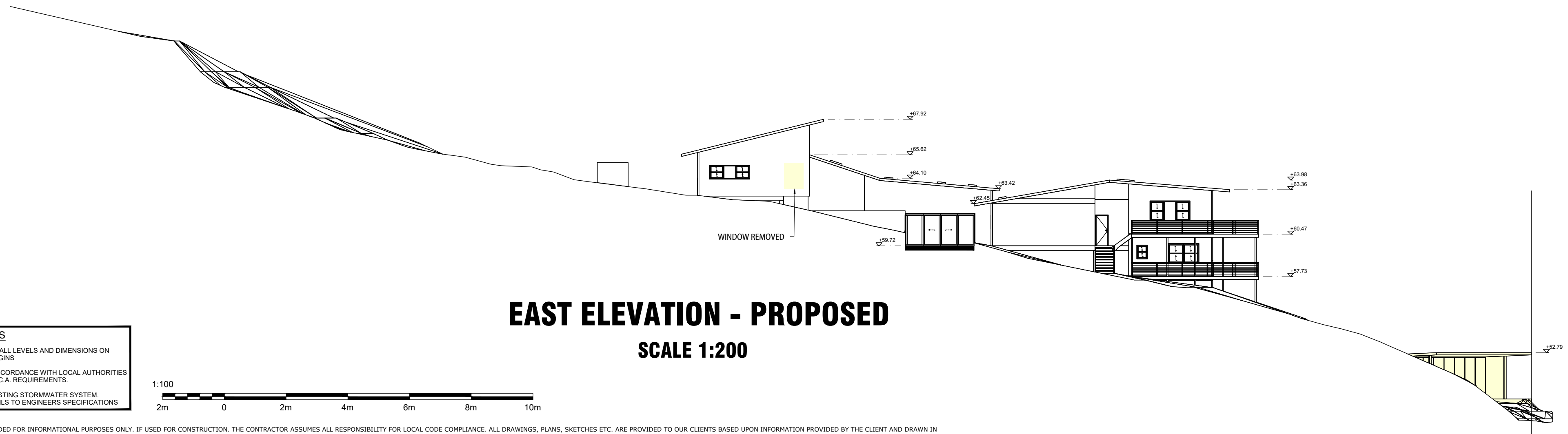
NOTIFICATION PLAN



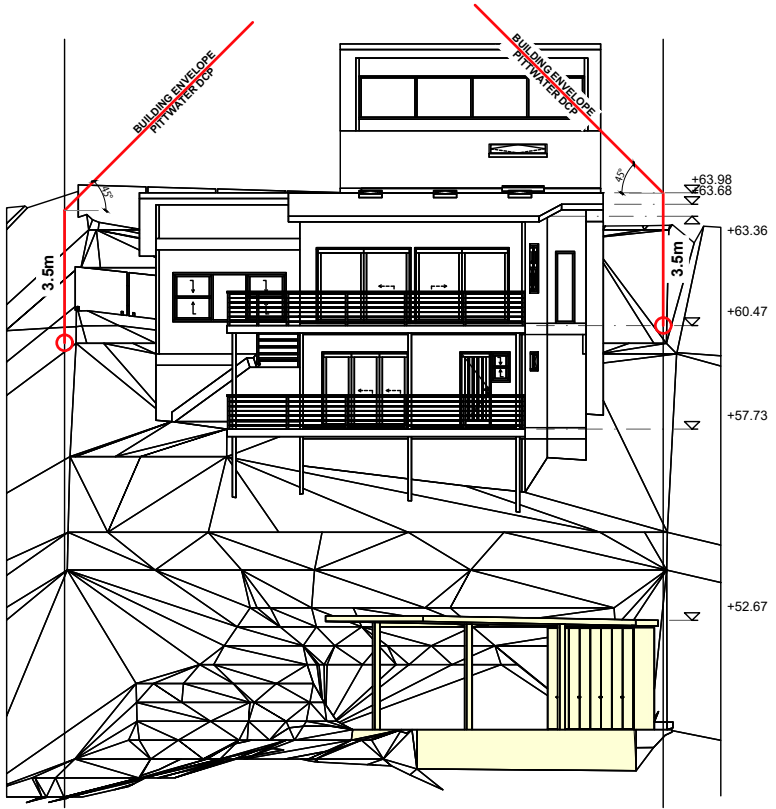
SITE PLAN
SCALE 1:200



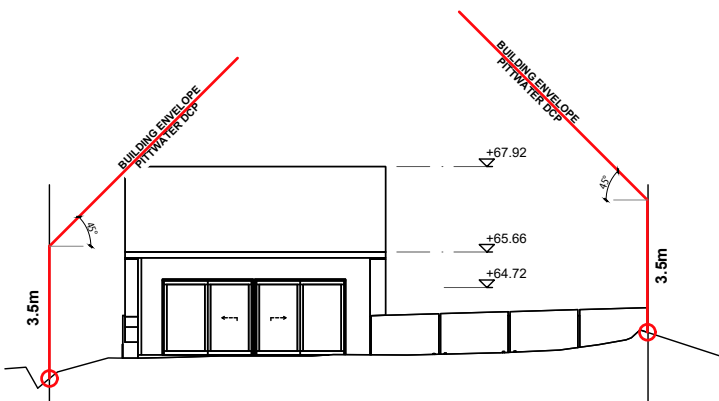
WEST ELEVATION - PROPOSED
SCALE 1:200



EAST ELEVATION - PROPOSED
SCALE 1:200



NORTH ELEVATION - PROPOSED
SCALE 1:200



SOUTH ELEVATION - PROPOSED
SCALE 1:200

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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

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Project Address and Alterations	Sheet
Date 27-Sep-22	15
Scale AS SHOWN	

DP No. 16902

LOT No. 383

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No.	Revision/Issue	Date

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02 87763474

Project Name and Address

MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107

DP: **16902**
LOT No. **383**
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CHANGES TO CARPORT

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EXISTING BUILDING OUTLINE

SMOKE ALARMS TO
COMPLY WITH AS 3786



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1:100

2m 0 2m 4m 6m 8m 10m

**85 PALMGROVE RD
AVALON BEACH
2107**

**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:

 EXISTING BUILDING OUTLINE

 PROPOSED WORK

General Notes

proudly supporting

bear cottage

an initiative of
the children's hospital at moseley

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Project ADDITONS AND ALTERATIONS	Sheet
Date 27-Sep-22	16
Scale AS SHOWN	

DP No. **16902**

LOT No. **383**

A	ISSUED FOR DA	Sep. 27,
No.	Revision/issue	Date

dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICE
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address

**MICHAEL BALL
85 PALMGROVE RD
AVALON BEACH
2107**

DEVELOPMENT PROPOSAL

DP: 16902
LOT No. 383
SITE AREA: 1551.10MSQ.
EXIST. GFA: XXXMSQ.
PROPOSED GFA: XXXMSQ
MAX. BUILDING HEIGHT: 8.5M

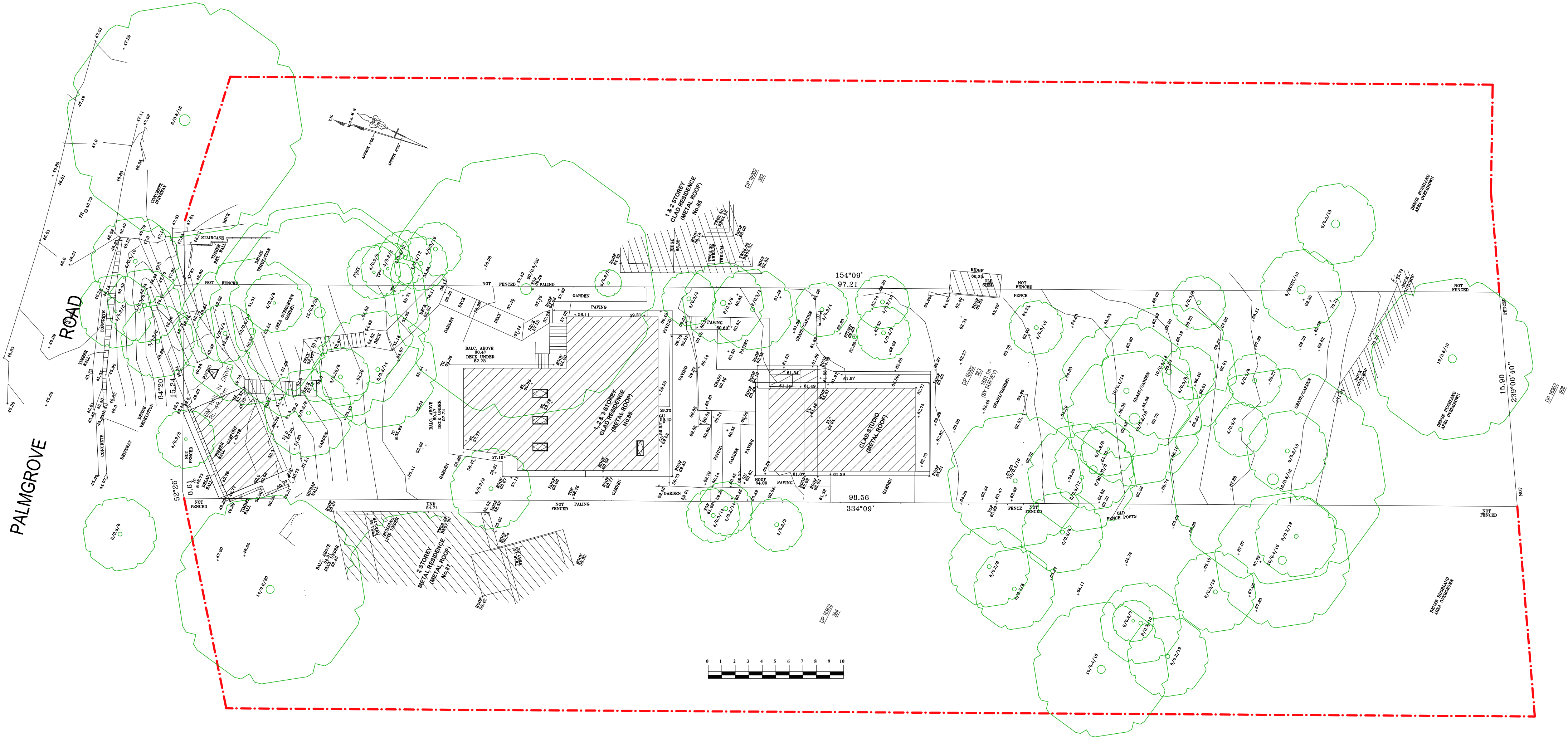
- NEW WORKS:
- NEW POOL
 - NEW REAR EXTENSION TO CONNECT REAR OF PROPERTY TO STUDIO
 - NEW DECK AND NEW WIDENED DRIVEWAY
 - NEW CARPORT
 - CHANGES TO INTERNAL FLOORPLAN
 - NEW WINDOWS AND DOORS

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

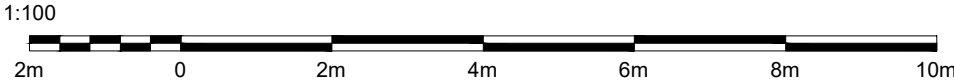
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SURVEY PLAN
SCALE 1:200

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.
- CONNECT DPS TO EXISTING STORMWATER SYSTEM.
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

85 PALMGROVE RD
AVALON BEACH
2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

Project
ADDRESS AND
ALTERATIONS
Date
27-Sep-22

Scale
AS SHOWN

Sheet
16

DP No. 16902

LOT No. 383

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