

SITE RATIO'S - EXISTING:

SITE AREA	3709m ²
SITE AREA Less 348.4m ² Access Handle	3360.6m ²
FOOTPRINT OF RESIDENCE	226.5m ²
CARPORT	82.5m ²
SHED	5m ²
PATIO	10m ²
COVERED SPA DECK	24m ²
CABANA	7m ²
PAVED AREAS & PATHWAYS	84m ²
DRIVEWAY & PARKING AREAS	117m ²
OPEN DECK	89m ²
FOOTPRINT OF SECONDARY DWELLING	91.25m ²
COVERED DECKS - SECONDARY DWELLING	61m ²
PATHWAY - SECONDARY DWELLING	9m ²
SUM TOTAL	806.25m ²
LESS 6% SITE AREA (IMPERVIOUS LANDSCAPING TREATMENT)	-201.6m ²
SUM TOTAL	604.65m ²
SITE COVERAGE %	17.9%
EXISTING LANDSCAPED AREA	2755.95m ²
LANDSCAPE COVERAGE %	82.1%

SITE RATIO'S - PROPOSED:

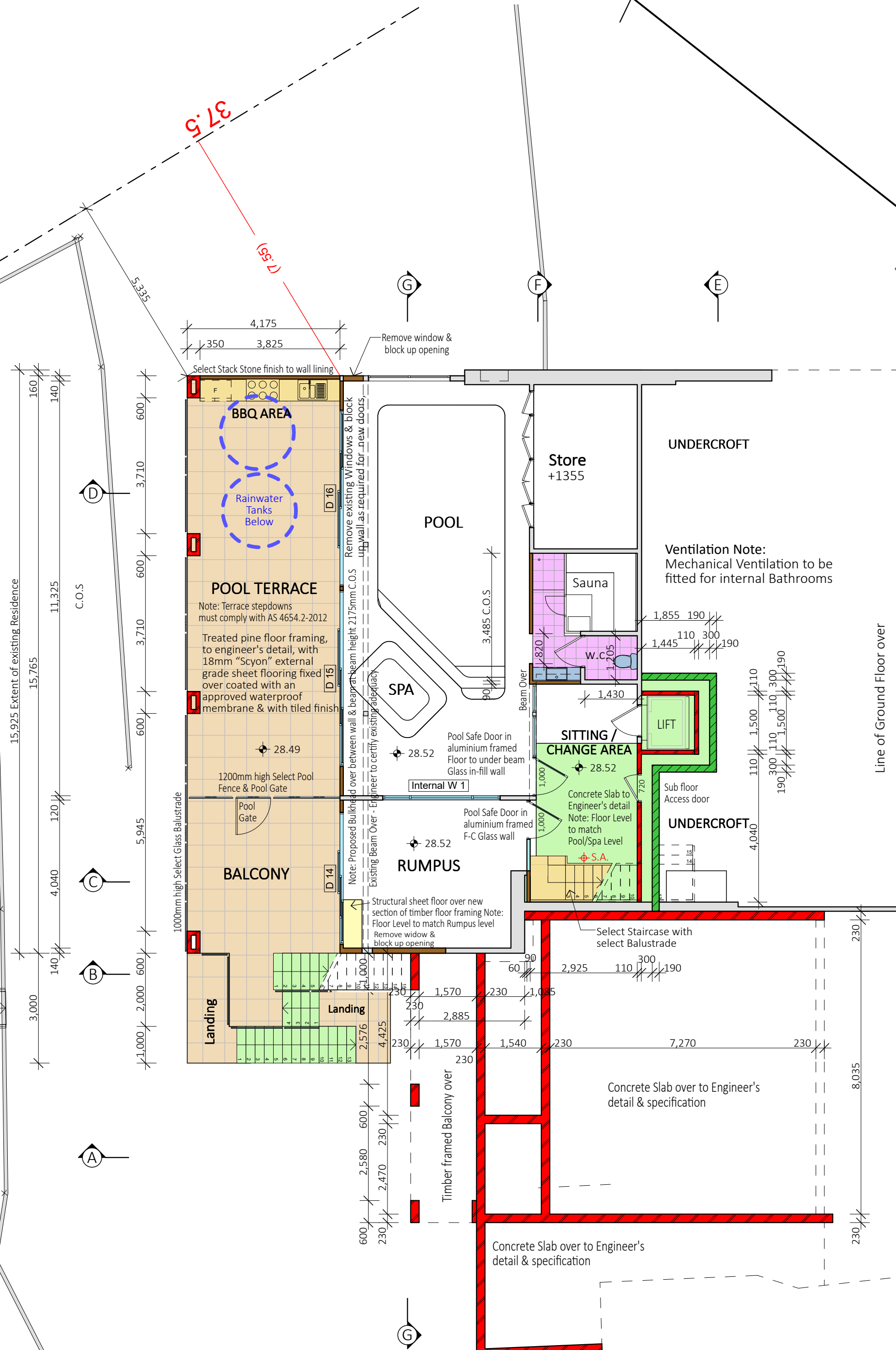
SITE AREA	3709m ²
SITE AREA Less 348.4m ² Access Handle	3360.6m ²
FOOTPRINT OF RESIDENCE (Including Garage)	302.5m ²
OPEN DECK PARKING	82.5m ²
TERRACE / PORCH	97.5m ²
PAVED AREAS & PATHWAYS	77m ²
DRIVEWAY	141.5m ²
FOOTPRINT OF SECONDARY DWELLING	91.25m ²
COVERED DECKS - SECONDARY DWELLING	61m ²
PATHWAY - SECONDARY DWELLING	9m ²
SUM TOTAL	862.25m ²
LESS 6% SITE AREA (IMPERVIOUS LANDSCAPING TREATMENT)	-201.6m ²
SUM TOTAL	660.65m ²
SITE COVERAGE %	20%
PROPOSED LANDSCAPED AREA	2699.95m ²
LANDSCAPE COVERAGE %	80%



THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

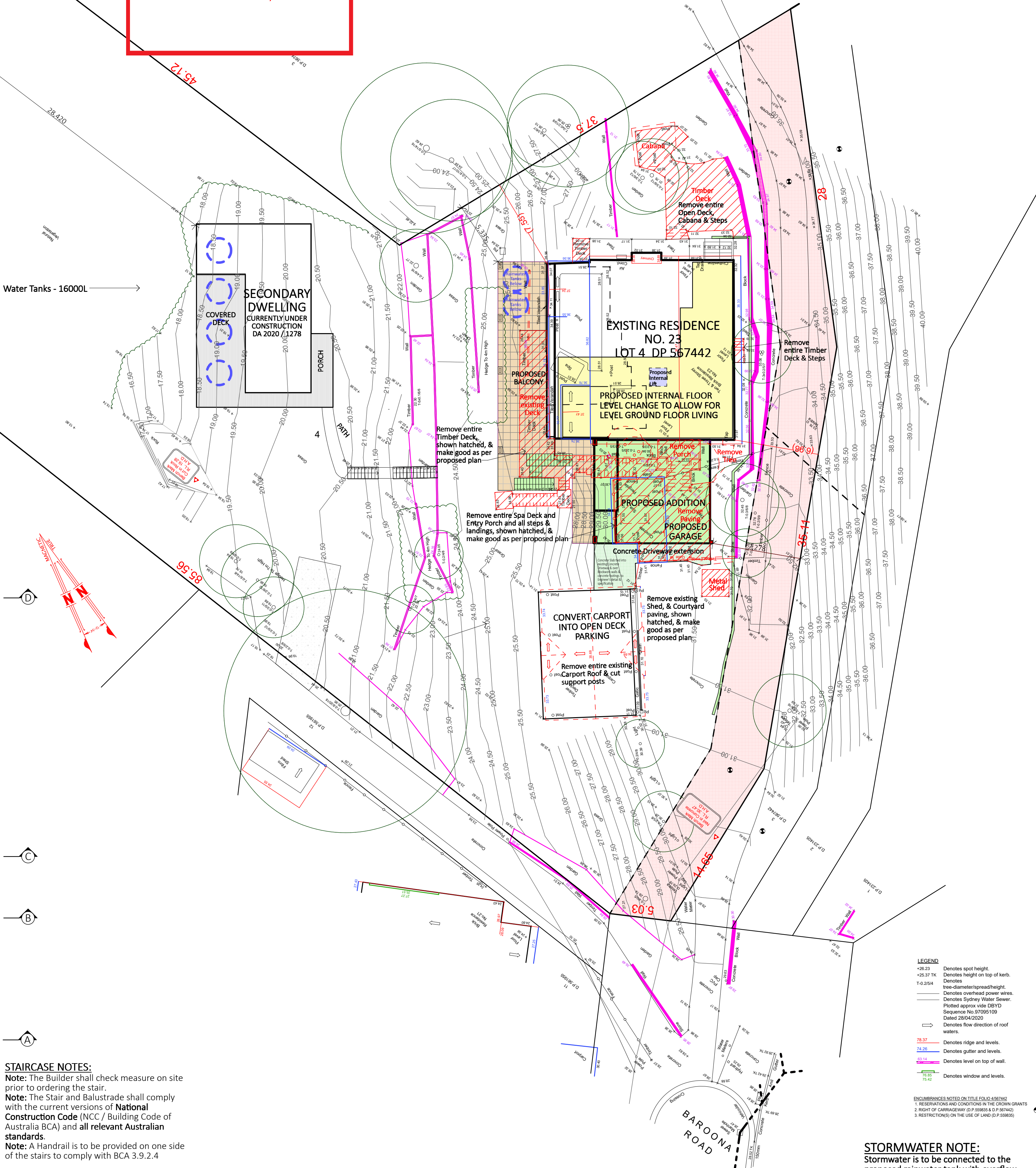
DA NUMBER: DA2021/1783

(Activation of consent must be obtained from Northern Beaches Council)



STAIRCASE NOTES:
Note: The Builder shall check measure on site prior to ordering the stair.
Note: The Stair and Balustrade shall comply with the current versions of **National Construction Code (NCC / Building Code of Australia (BCA))** and **all relevant Australian standards**.
Note: A Handrail is to be provided on one side of the stairs to comply with BCA 3.9.2.4

2 PROPOSED LOWER GROUND FLOOR 1:100



STORMWATER NOTE:
Stormwater is to be connected to the proposed rainwater tank with overflow connected to the existing drainage system which drains to the rear of the property

1 SITE PLAN - FULL 1:200

& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT / SEDIMENT & EROSION CONTROL

NOTES:
All work is to comply with the **National Construction Code (NCC / Building Code of Australia)**, the requirements of the **local council**, the requirements of the **legally constituted Authorities** for services and the relevant standards published by the **Standards Association of Australia**.

The Builder is to give all notices, obtain all permits and pay all fees.
Check all Levels and Dimensions on Site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors.
Finished ground levels on the plan are subject to the site conditions.
Do not scale from drawings. Figured dimensions to be given preference over scale. All figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

COPYRIGHT
This plan is the exclusive property of LIFESTYLE HOME DESIGNS and must not be used, reproduced or copied in any way without written permission.

BASIX INFORMATION REQUIREMENTS:

LIGHTING:
Lighting type
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

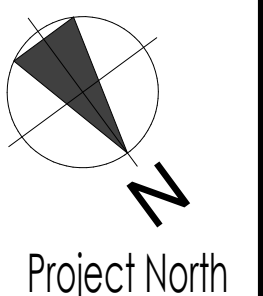
WATER COMMITMENTS:
New or altered fixture requirements
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating.
Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

HOT WATER SYSTEM:
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate

INSULATION REQUIREMENTS:
Construction / Additional insulation requirement (R-value)
concrete slab on ground floor: / nil
suspended floor with enclosed subfloor: framed (R0.7) / R0.60 (down) (or R1.30 including construction)
suspended floor above garage: framed (R0.7) / nil
floor above existing dwelling or building: / nil
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)
external wall: external insulated façade system (EIFS) (R3.24) / nil
internal wall shared with garage: plasterboard (R0.36) / nil
flat ceiling, pitched roof/ceiling: / R1.45 (up), roof: foil backed blanket (75 mm) raked ceiling, pitched/skillion roof: framed ceiling: / R1.74 (up), roof: foil backed blanket (75 mm)
The roof shall be of dark colour (solar absorption >0.70)

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door.
You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance.
There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed door.
If your shading device is a pergola with fixed polycarbonate, you will need to use a tinted polycarbonate capable of blocking a required proportion of the sun's heat. External louvers and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. If your shading device is a pergola, the frame only is not sufficient. You will need to provide battens to ensure it adequately shades the window or glazed door.
There are criteria for the batten spacing

SKYLIGHTS:
All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate



LIFESTYLE HOME DESIGNS
LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client	MR & MRS KONAREVA		
Project Name	ALTERATIONS & ADDITIONS		
	LOT 4, DP 567442		
	23 BAROONA ROAD		
	CHURCH POINT	NSW	2105
Drawing Title:	PROPOSED LOWER GROUND FLOOR PLAN & SITE PLAN - FULL		
Scale:	1:200 (A1)	Date:	SEPTEMBER 2021
Council:	NORTHERN BEACHES	Checked By:	J. ADAMS
Project No:	2019	Drawing #:	DA 01
ANNEXURE "A"	Plot Date: 22/09/2021		

SITE RATIO'S - EXISTING:

SITE AREA	3709m ²
SITE AREA Less 348.4m ² Access Handle	3360.6m ²
FOOTPRINT OF RESIDENCE	226.5m ²
CARPORT	82.5m ²
SHED	5m ²
PATIO	10m ²
COVERED SPA DECK	24m ²
CABANA	7m ²
PAVED AREAS & PATHWAYS	84m ²
DRIVEWAY & PARKING AREAS	117m ²
OPEN DECK	89m ²
FOOTPRINT OF SECONDARY DWELLING	91.25m ²
COVERED DECKS - SECONDARY DWELLING	61m ²
PATHWAY - SECONDARY DWELLING	9m ²
SUM TOTAL	806.25m ²
LESS 6% SITE AREA (IMPERVIOUS LANDSCAPING TREATMENT)	-201.6m ²
SUM TOTAL	604.65m ²
SITE COVERAGE %	17.9%
EXISTING LANDSCAPED AREA	2755.95m ²
LANDSCAPE COVERAGE %	82.1%

SITE RATIO'S - PROPOSED:

SITE AREA	3709m ²
SITE AREA Less 348.4m ² Access Handle	3360.6m ²
FOOTPRINT OF RESIDENCE (including Garage)	302.5m ²
OPEN DECK PARKING	82.5m ²
TERRACE / PORCH	97.5m ²
PAVED AREAS & PATHWAYS	77m ²
DRIVEWAY	141.5m ²
FOOTPRINT OF SECONDARY DWELLING	91.25m ²
COVERED DECKS - SECONDARY DWELLING	61m ²
PATHWAY - SECONDARY DWELLING	9m ²
SUM TOTAL	862.25m ²
LESS 6% SITE AREA (IMPERVIOUS LANDSCAPING TREATMENT)	-201.6m ²
SUM TOTAL	660.65m ²
SITE COVERAGE %	20%
PROPOSED LANDSCAPED AREA	2699.95m ²
LANDSCAPE COVERAGE %	80%

STORMWATER NOTE:
Stormwater is to be connected to the proposed rainwater tank with overflow connected to the existing drainage system which drains to the rear of the property

NOTES:
All work is to comply with the **National Construction Code (NCC / Building Code of Australia)**, the requirements of the **local council**, the requirements of the **legally constituted Authorities** for services and the relevant standards published by the **Standards Association of Australia**.

The Builder is to give all notices, obtain all permits and pay all fees.
Check all Levels and Dimensions on Site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors.
Finished ground levels on the plan are subject to the site conditions.
Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

COPYRIGHT
This plan is the exclusive property of LIFESTYLE HOME DESIGNS and must not be used, reproduced or copied in any way without written permission.

BASIX INFORMATION REQUIREMENTS:

LIGHTING:
Lighting type
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

WATER COMMITMENTS:
New or altered fixture requirements
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating.
Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

HOT WATER SYSTEM:
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate

INSULATION REQUIREMENTS:
Construction / Additional insulation requirement (R-value)
concrete slab on ground floor: / nil
suspended floor with enclosed subfloor: framed (R0.7) / R0.60 (down) (or R1.30 including construction)
suspended floor above garage: framed (R0.7) / nil
floor above existing dwelling or building: / nil
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)
external wall: external insulated façade system (EIFS) (R3.24) / nil
internal wall shared with garage: plasterboard (R0.36) / nil
flat ceiling, pitched roof/ceiling: / R1.45 (up), roof: foil backed blanket (75 mm) raked ceiling, pitched/skillion roof: framed ceiling: / R1.74 (up), roof: foil backed blanket (75 mm)
The roof shall be of dark colour (solar absorption >0.70)

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door.
You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance.
There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed door.
If your shading device is a pergola with fixed polycarbonate, you will need to use a tinted polycarbonate capable of blocking a required proportion of the sun's heat. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. If your shading device is a pergola, the frame only is not sufficient. You will need to provide battens to ensure it adequately shades the window or glazed door. There are criteria for the batten spacing

SKYLIGHTS:
All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate



LIFESTYLE HOME DESIGNS
LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client
MR & MRS KONAREVA
Project Name
ALTERATIONS & ADDITIONS
LOT 4, DP 567442
23 BAROONA ROAD
CHURCH POINT NSW 2105

Drawing Title:
SITE PLAN - PARTIAL

Scale : 1:100 (A1)	Date : SEPTEMBER 2021
Council : NORTHERN BEACHES	Checked By : J. ADAMS
Project No : 2019	Drawing # : DA 02
ANNEXURE "A" Plot Date: 22/09/2021	

Natural Vegetation

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT
DA NUMBER: DA2021/1783
(Activation of consent must be obtained from Northern Beaches Council)

SECONDARY DWELLING CURRENTLY UNDER CONSTRUCTION DA 2020 / 1278

PRIVATE OPEN SPACE - 371m²

EXISTING RESIDENCE NO. 23 LOT 4 DP 567442

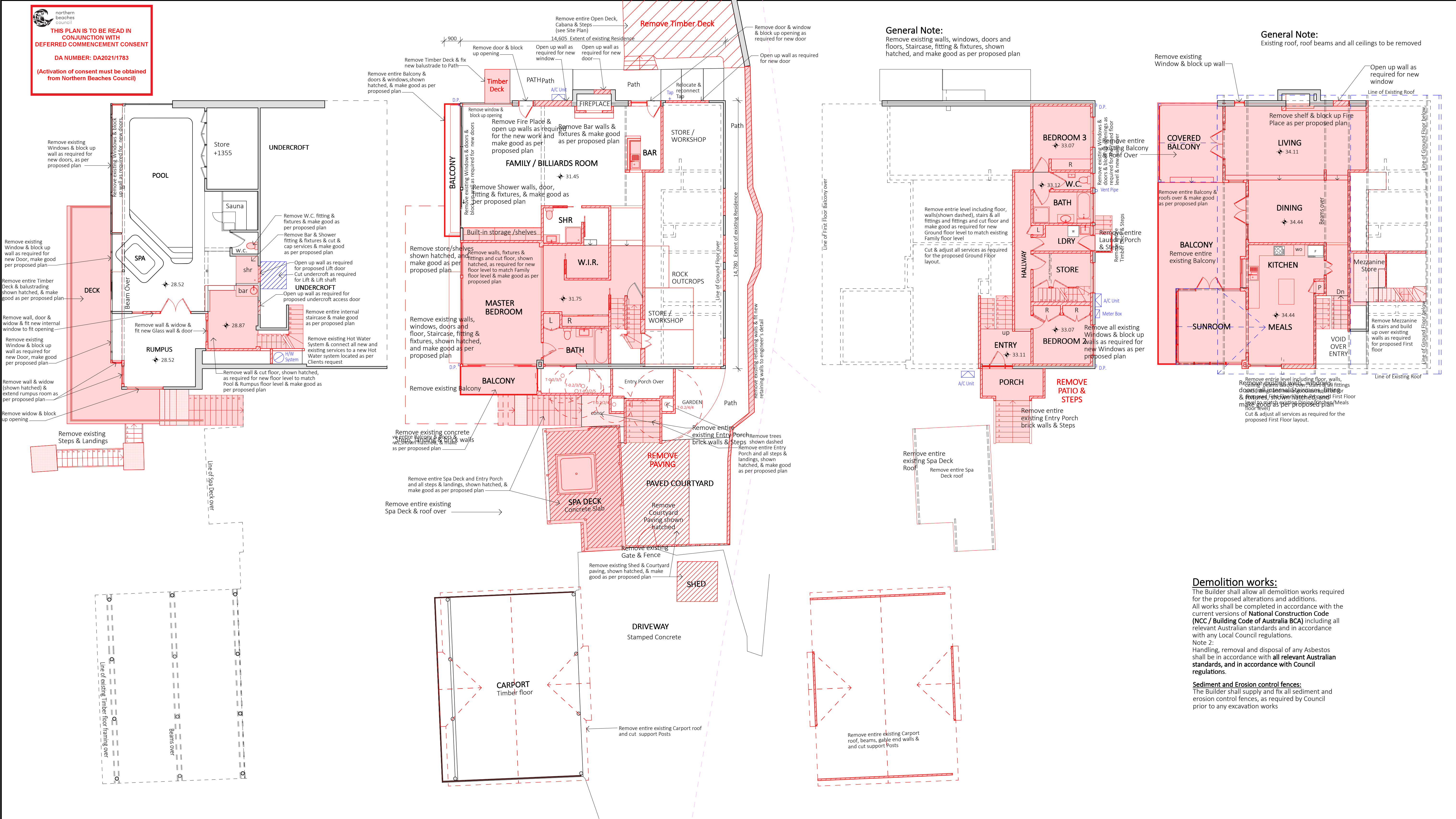
PROPOSED INTERNAL FLOOR LEVEL CHANGE TO ALLOW FOR LEVEL GROUND FLOOR LIVING

PROPOSED ADDITION REMOVE PAVING COURTYARD

PROPOSED GARAGE

CONVERT CARPORT INTO OPEN DECK PARKING

DRIVEWAY



1 EXISTING LOWER GROUND 1:100

2 EXISTING GROUND FLOOR 1:100

3 EXISTING ENTRY / BEDROOM FLOOR 1:100

4 EXISTING FIRST FLOOR 1:100

NOTES:

All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.
Check all Levels and Dimensions on Site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors.
Finished ground levels on the plan are subject to the site conditions.
Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

COPYRIGHT

This plan is the exclusive property of LIFESTYLE HOME DESIGNS and must not be used, reproduced or copied in any way without written permission.

Project North

LIFESTYLE

HOME DESIGNS

LEVEL 1, 10/14 NARABANG WAY - BELROSE

PH. (02)9986 1311 FAX (02)9986 1322

Client

MR & MRS KONAREVA

Project Name

ALTERATIONS & ADDITIONS

LOT 4, DP 567442

23 BAROONA ROAD

CHURCH POINTNSW 2105

ANNEXURE "A"

Plot Date: 22/09/2021

Drawing Title:

EXISTING FLOOR PLANS

Scale :1 : 100 (A1)

Council : NORTHERN BEACHES

Project No :

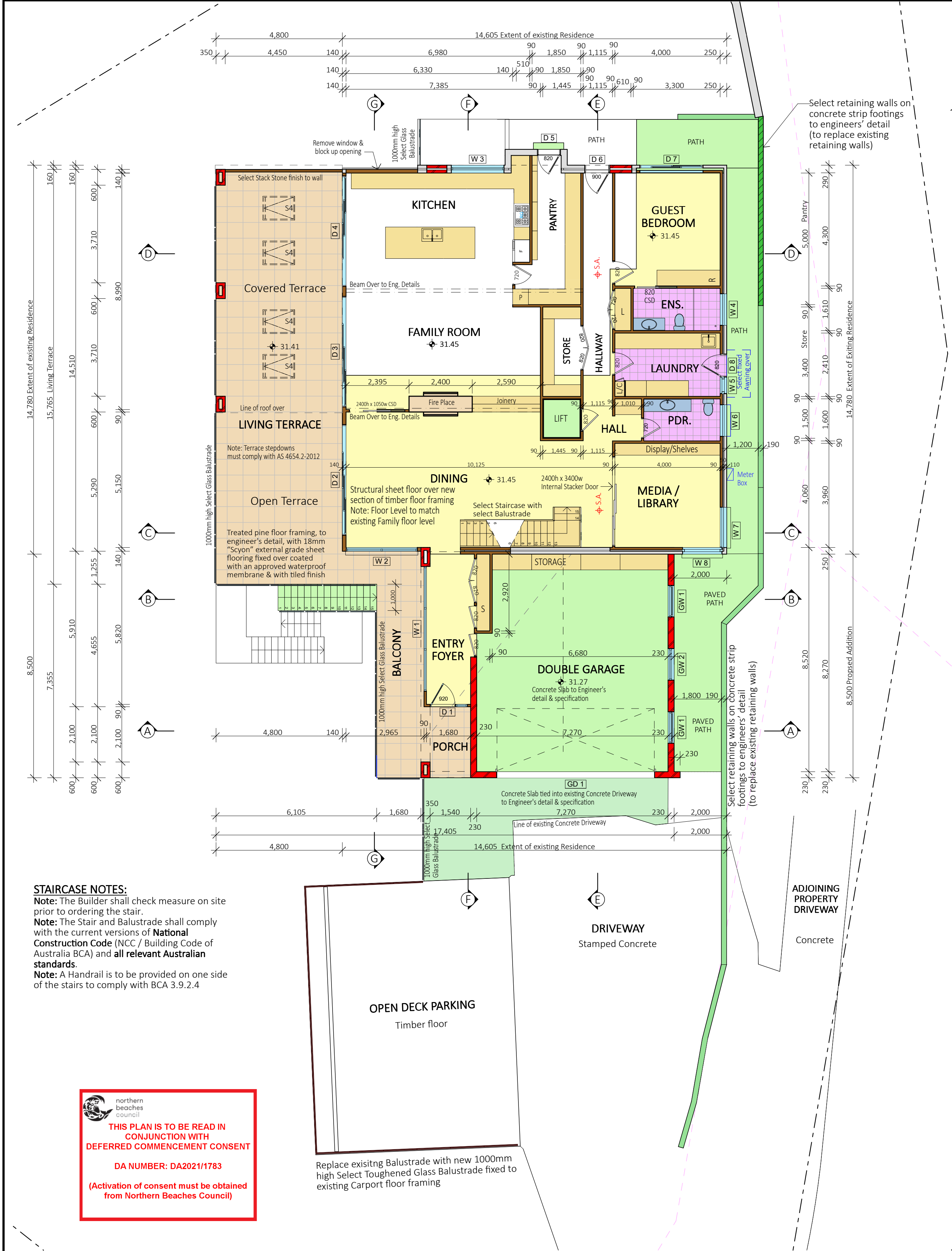
2019

Date : SEPTEMBER 2021

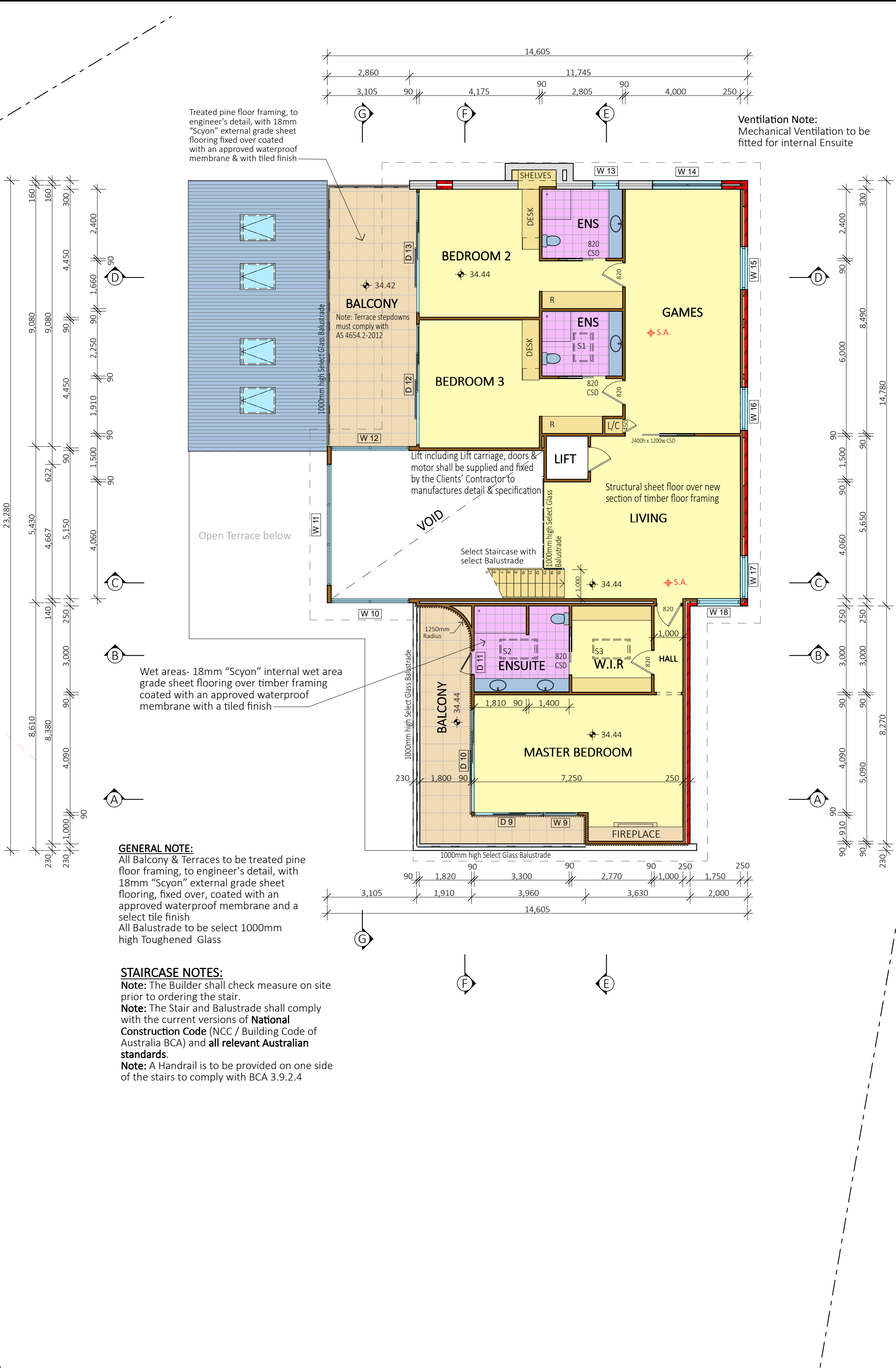
Checked By : J. ADAMS

Drawing # :

DA 03



1 PROPOSED GROUND FLOOR 1:100



2 PROPOSED FIRST FLOOR 1:100

BASIX INFORMATION REQUIREMENTS:
LIGHTING:
Lighting type
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.
WATER COMMITMENTS:
New or altered fixture requirements
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating.
Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.
HOT WATER SYSTEM:
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate
INSULATION REQUIREMENTS:
Construction / Additional insulation requirement (R-value)
concrete slab on ground floor: / nil
suspended floor with enclosed subfloor: framed (R0.7), / R0.60 (down) (or R1.30 including construction)
suspended floor above garage: framed (R0.7), / nil
floor above existing dwelling or building: / nil
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)
external wall: external insulated façade system (EIFS) (R3.24) / nil
internal wall shared with garage: plasterboard (R0.36) / nil
flat ceiling, pitched roof/ceiling: / R1.45 (up), roof: foil backed blanket (75 mm) raked ceiling, pitched/skillion roof: framed ceiling: / R1.74 (up), roof: foil backed blanket (75 mm)
The roof shall be of dark colour (solar absorption >0.70)
WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door.
You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance.
There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed door.
If your shading device is a pergola with fixed polycarbonate, you will need to use a tinted polycarbonate capable of blocking a required proportion of the sun's heat. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. If your shading device is a pergola, the frame only is not sufficient. You will need to provide battens to ensure it adequately shades the window or glazed door.
There are criteria for the batten spacing
SKYLIGHTS:
All skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate

FLOOR AREA CALCULATIONS - EXISTING	
SITE AREA	3709m ²
EXISTING LOWER GROUND FLOOR AREA	116m ²
EXISTING GROUND FLOOR - LOWER AREA	138.5m ²
EXISTING GROUND FLOOR - UPPER AREA	59.5m ²
EXISTING FIRST FLOOR	95.5m ²
SUM TOTAL RESIDENCE	409.5m ²
SECONDARY DWELLING FLOOR AREA (UNDERCONSTRUCTION)	87.3m ²
SUM TOTAL - SECONDARY DWELLING (max. permissible 60m ² or 25% of main residence = 102.4m ²)	87.3m ²
TOTAL GROSS FLOOR SPACE	496.8m ²
FLOOR AREA CALCULATIONS - PROPOSED	
SITE AREA	3709m ²
PROPOSED LOWER GROUND FLOOR AREA	116m ²
PROPOSED GROUND FLOOR AREA	208m ²
PROPOSED GARAGE FLOOR AREA	58m ²
PROPOSED FIRST FLOOR AREA	190m ²
SUM TOTAL - RESIDENCE	572m ²
SECONDARY DWELLING FLOOR AREA (UNDERCONSTRUCTION)	87.3m ²
SUM TOTAL - SECONDARY DWELLING (max. permissible 60m ² or 25% of main residence = 102.4m ²)	87.3m ²
TOTAL GROSS FLOOR SPACE	659.3m ²

NOTES:
All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.
Check all Levels and Dimensions on Site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors.
Finished ground levels on the plan are subject to the site conditions.
Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

COPYRIGHT
This plan is the exclusive property of LIFESTYLE HOME DESIGNS and must not be used, reproduced or copied in any way without written permission.

Project North

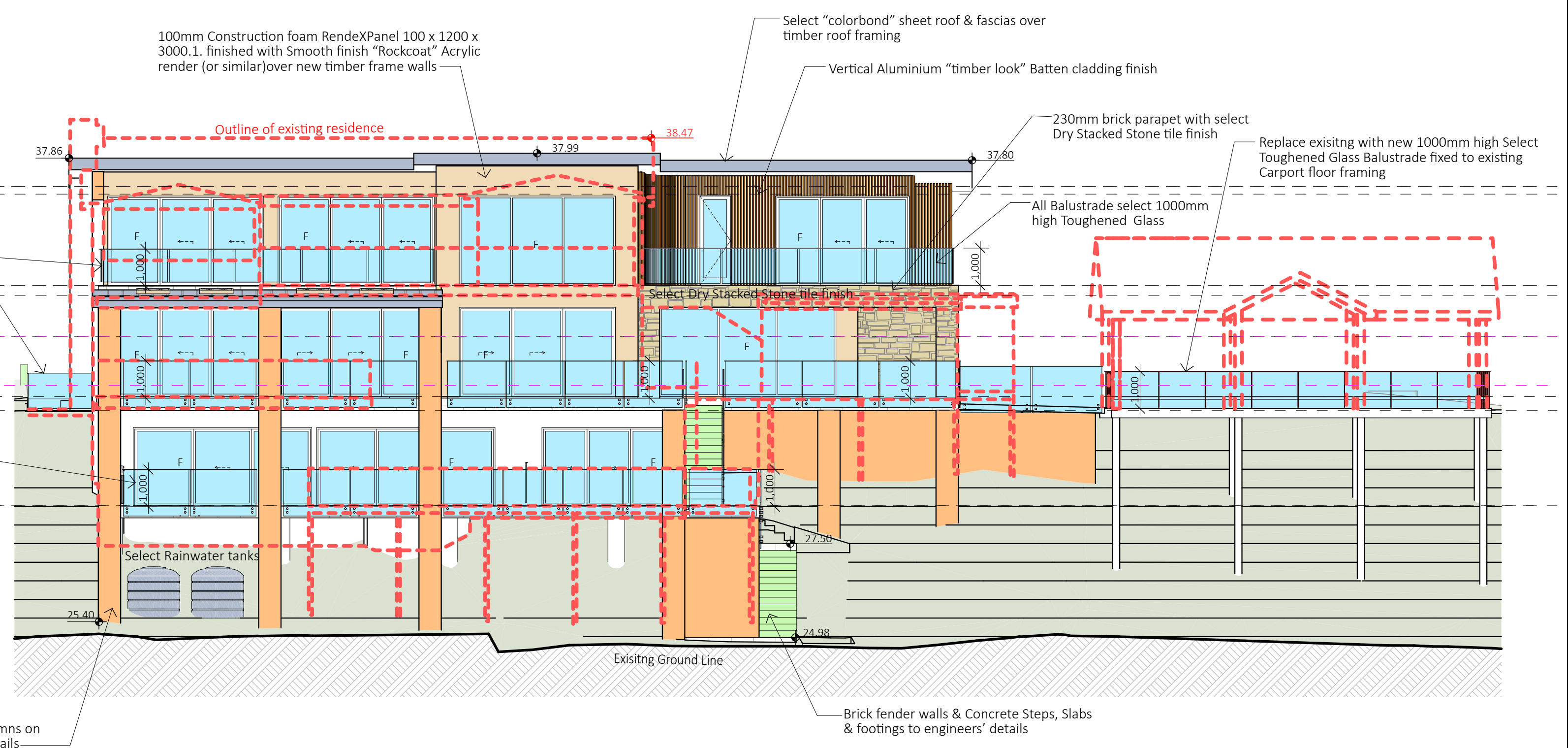
LIFESTYLE HOME DESIGNS
LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client
MR & MRS KONAREVA
Project Name
ALTERATIONS & ADDITIONS
LOT 4, DP 567442
23 BAROONA ROAD
CHURCH POINT NSW 2105
ANNEXURE "A" Plot Date: 22/09/2021

Drawing Title:
PROPOSED FLOOR PLANS

Scale: 1:100 (A1)	Date: SEPTEMBER 2021
Council: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: 2019	Drawing #: DA 04

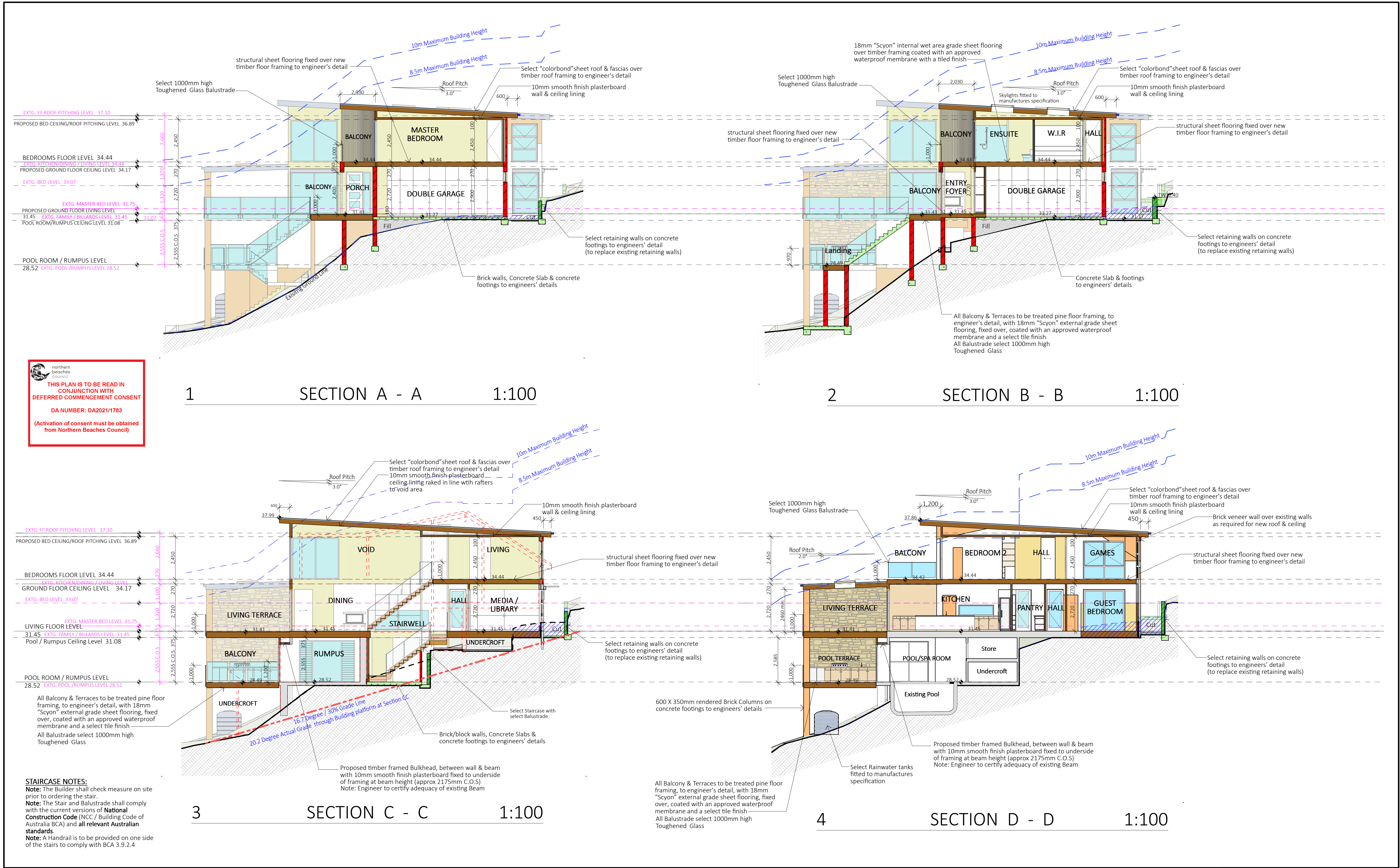
2 NORTH WEST ELEVATION 1:100

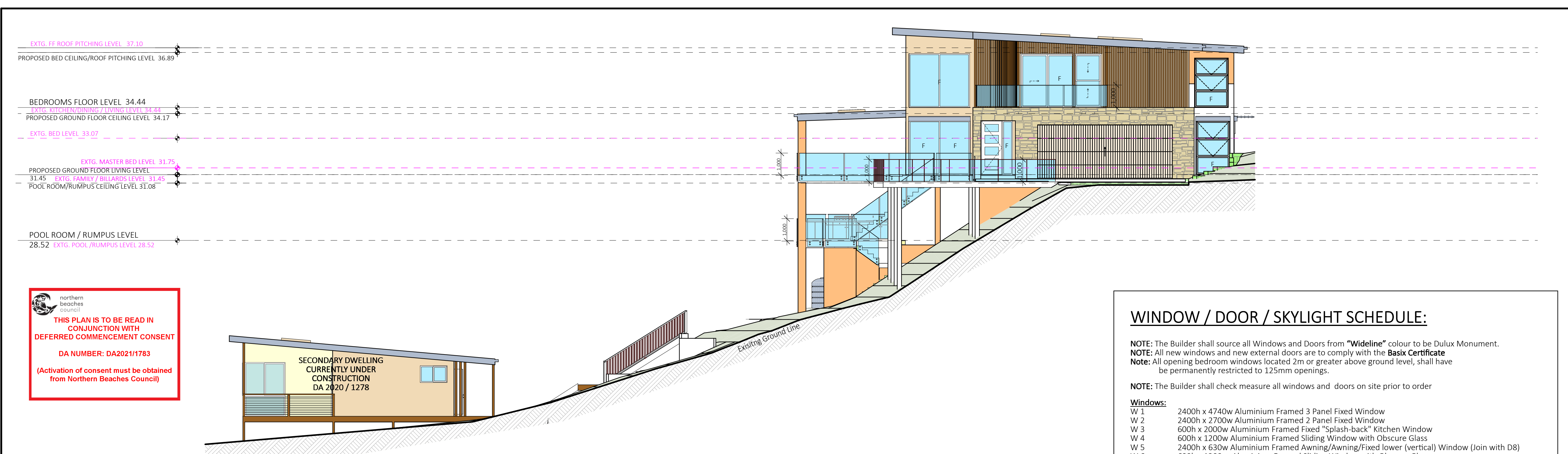


4 SOUTH EAST ELEVATION 1:100

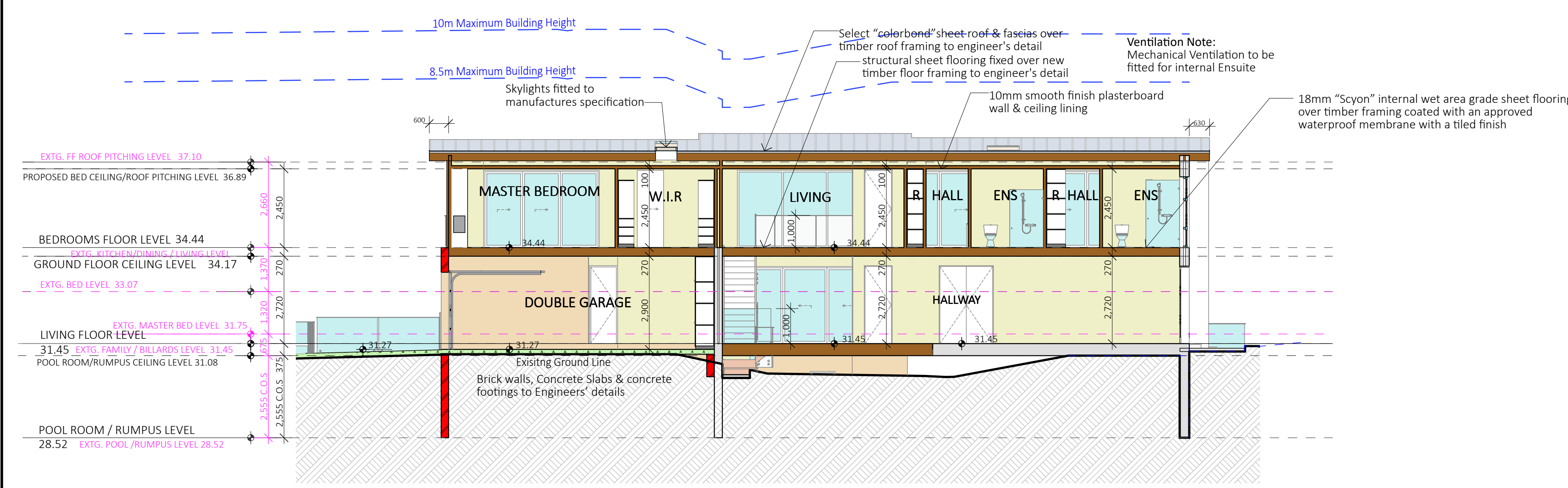
2019 DA 05

DA 05

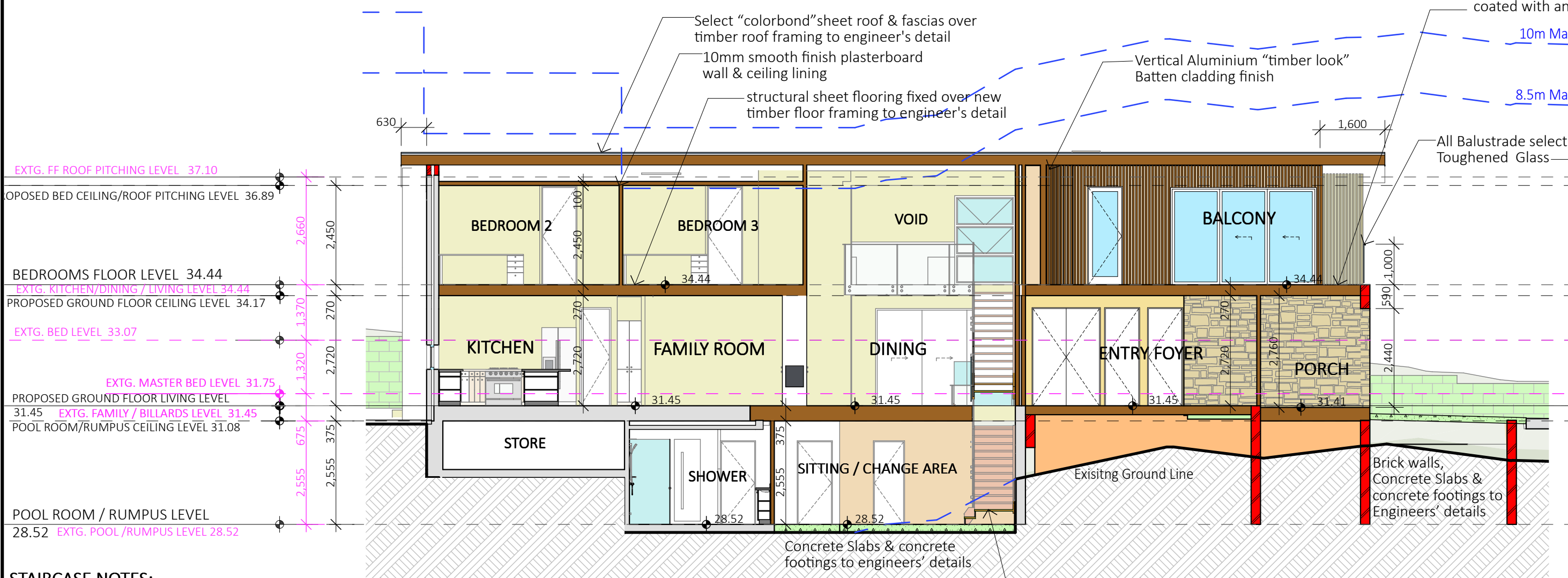




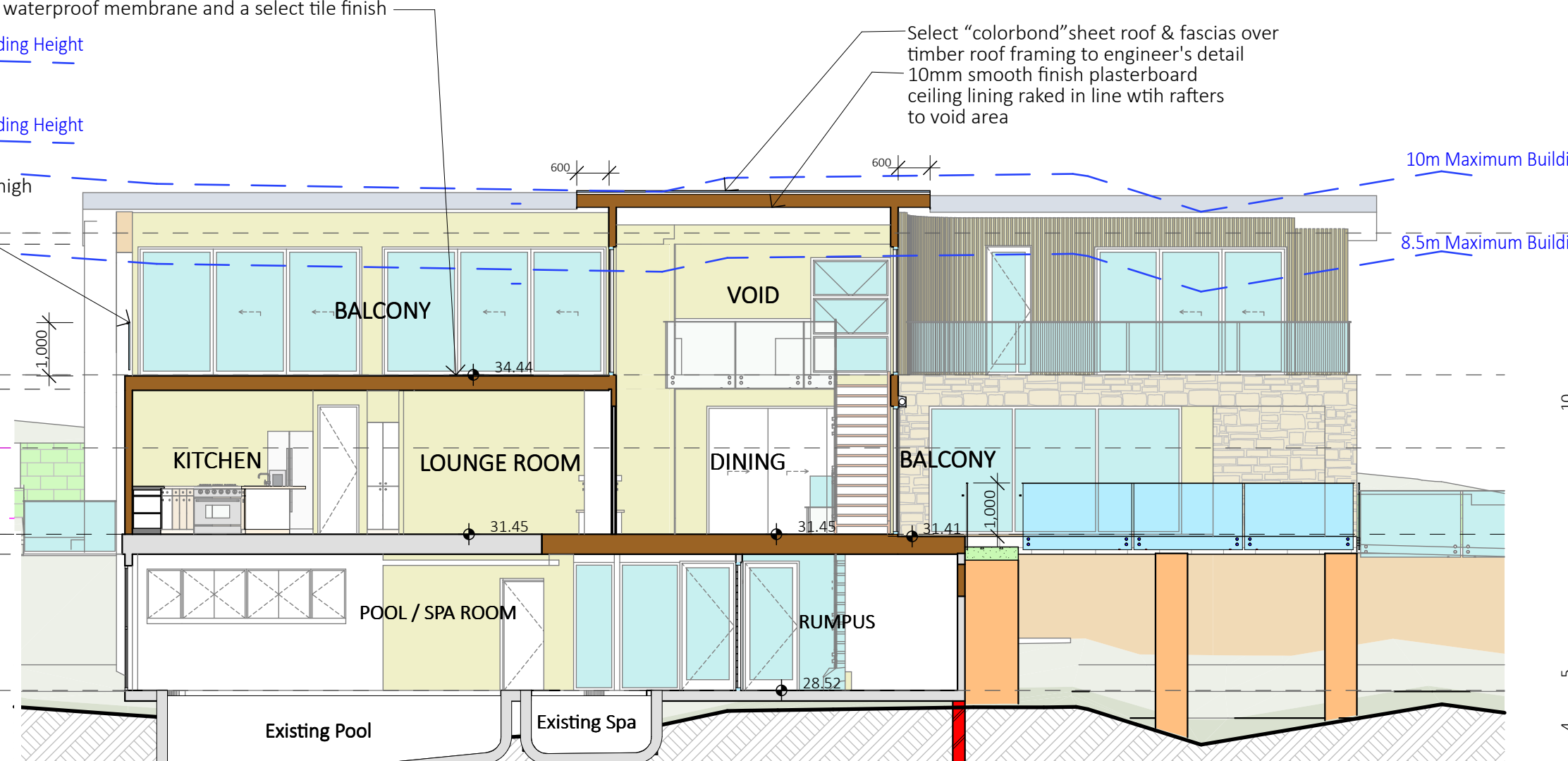
1 NORTH-EAST ELEVATION - FULL 1:100



2 SECTION E - E 1:100



3 SECTION F - F 1:100



4 SECTION G - G 1:100

WINDOW / DOOR / SKYLIGHT SCHEDULE:	
NOTE: The Builder shall source all Windows and Doors from "Wideline" colour to be Dulux Monument.	
NOTE: All new windows and new external doors are to comply with the Basix Certificate	
Note: All opening bedroom windows located 2m or greater above ground level, shall have be permanently restricted to 125mm openings.	
NOTE: The Builder shall check measure all windows and doors on site prior to order	
Windows:	
W 1	2400h x 4740w Aluminium Framed 3 Panel Fixed Window
W 2	2400h x 2700w Aluminium Framed 2 Panel Fixed Window
W 3	600h x 2000w Aluminium Framed Fixed "Splash-back" Kitchen Window
W 4	600h x 1200w Aluminium Framed Sliding Window with Obscure Glass
W 5	2400h x 630w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window (Join with D8)
W 6	600h x 1200w Aluminium Framed Sliding Window with Obscure Glass
W 7	2400h x 1500w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
W 8	2400h x 1500w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
W 9	2400h x 1200w Aluminium Framed Double Hung Window
W 10	2400h x 2700w Aluminium Framed 2 Panel Fixed Window
W 11	2400h x 4200w Aluminium Framed 3 Panel Fixed Window
W 12	2400h x 2700w Aluminium Framed 2 Panel Fixed Window
W 13	2200h x 900w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
W 14	2200h x 2400w Aluminium Framed Casement/Casement with fixed lower transom Window
W 15	2200h x 1500w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
W 16	2200h x 1500w Aluminium Framed Awning/Awning (vertical) Window
W 17	2200h x 1500w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
W 18	2200h x 1500w Aluminium Framed Awning/Awning/Fixed lower (vertical) Window
GW 1 x 2	600h x 1200w Aluminium Framed Awning Window
GW 2	600h x 1200w Aluminium Framed Fixed Window
Internal W1	2400h x 3200w Aluminium Framed Fixed window
Doors:	
D 1	Select 2400h x 920w Glass Panel Entry Door with 2400h x 450w fixed sidelight
D 2	2400h x 4200w Aluminium Framed 3 Glass Panel Stacker Door
D 3	2400h x 4200w Aluminium Framed 3 Glass Panel Stacker Door
D 4	2400h x 4200w Aluminium Framed 3 Glass Panel Stacker Door
D 5	2400h x 820w Aluminium Framed Glass Panel Hinged Door
D 6	Special - 2400h x 900w Aluminium Framed Glass Panel Hinged Door
Note: Door width to match window 13 over - Check size before order	
D 7	2400h x 2400w Aluminium Framed Glass Panel Sliding Door
D 8	2400h x 920w Aluminium Framed Glass Panel Hinged Door (Join with D5 total 1500mm wide)
D 9	2400h x 2400w Aluminium Framed Glass Panel Sliding Door
D 10	2400h x 3600w Aluminium Framed 3 Glass Panel Stacker Door
D 11	2400h x 820w Aluminium Framed Glass Panel Hinged Door
D 12	2400h x 4200w Aluminium Framed 3 Glass Panel Stacker Door
D 13	2400h x 4200w Aluminium Framed 3 Glass Panel Stacker Door
D 14	2100h x 3600w Aluminium Framed 3 Glass Panel Stacker Door
D 15	2100h x 4800w Aluminium Framed 3 Glass Panel Stacker Door
D 16	2100h x 4800w Aluminium Framed 3 Glass Panel Stacker Door
GD 1	2400h x 5980w Select Garage Door
Skylights:	
S1	VCS 675 x 970mm (2234) Skylight over the proposed Bedroom 3 Ensuite
S2	VCS 675 x 1275mm (2246) Skylight over the proposed Master Bedroom Ensuite
S3	FCM 675 x 1275mm (2246) Skylight over the proposed Master Bedroom Walk in Robe.
S4	4 x 4 FCM 876 x 1181mm (3346) Fixed Skylights over the proposed Living Terrace
Builder shall install Client supplied Skylights in accordance with the manufacturers' instructions.	
⚡ S.A.	Smoke-alarm - indicates a hard-wired smoke alarm installed in accordance with Clause 3.7.2.3 of the BCA and AS 3786-2014.

NOTES:

All work is to comply with the **National Construction Code (NCC / Building Code of Australia)**, the requirements of the **local council**, the requirements of the **legally constituted Authorities** for services and the relevant standards published by the **Standards Association of Australia**.

The Builder is to give all notices, obtain all permits and pay all fees.
Check all Levels and Dimensions on Site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors.
Finished ground levels on the plan are subject to the site conditions.
Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

COPYRIGHT

This plan is the exclusive property of LIFESTYLE HOME DESIGNS and must not be used, reproduced or copied in any way without written permission.

BASIX INFORMATION REQUIREMENTS:

LIGHTING:
Lighting type
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

WATER COMMITMENTS:
New or altered fixture requirements
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating.
Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

HOT WATER SYSTEM:
Any new Hot water system shall be a gas instantaneous system in accordance with the Basix certificate

INSULATION REQUIREMENTS:
Construction / Additional insulation requirement (R-value)
concrete slab on ground floor: / nil
suspended floor with enclosed subfloor: framed (R0.7) / R0.60 (down) (or R1.30 including construction)
suspended floor above garage: framed (R0.7) / nil
floor above existing dwelling or building: / nil
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)
external wall: external insulated façade system (EIFS) (R3.24) / nil
internal wall shared with garage: plasterboard (R0.36) / nil
flat ceiling, pitched roof/ceiling: / R1.45 (up), roof: foil backed blanket (75 mm) raked ceiling, pitched/skillion roof: framed ceiling: / R1.74 (up), roof: foil backed blanket (75 mm)
The roof shall be of dark colour (solar absorption >0.70)

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door.
You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance.
There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed door.
If your shading device is a pergola with fixed polycarbonate, you will need to use a tinted polycarbonate capable of blocking a required proportion of the sun's heat. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. If your shading device is a pergola, the frame only is not sufficient. You will need to provide battens to ensure it adequately shades the window or glazed door.
There are criteria for the batten spacing

SKYLIGHTS:
All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate

Project North

LIFESTYLE HOME DESIGNS

LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client
MR & MRS KONAREVA

Project Name
**ALTERATIONS & ADDITIONS
LOT 4, DP 567442
23 BAROONA ROAD
CHURCH POINT NSW 2105**

Drawing Title:
**NORTH-EAST ELEVATION - FULL &
WINDOW / DOOR SCHEDULE &
SECTIONS E - G**

Scale :	Date : SEPTEMBER 2021
Council : NORTHERN BEACHES	Checked By : J. ADAMS
Project No : 2019	Drawing # : DA 07
ANNEXURE "A"	Plot Date: 22/09/2021

Schedule of Colours & Materials for Property at:

23 Baroona Road, Lot 4, D.P. 567442,
Church Point NSW 2105

External finishes

Roof – CUSTOM ORB ACCENT 35 “Colorbond” sheet roofing –
Colour to be Monument Matt



Fascia – Colorbond Fascia -

Colour to be Monument Matt



Gutters – Colorbond gutters

Colour to be Monument



Down pipes – Colorbond down pipes

Colour to be Monument



Rendered Brick & Rendered Timber framed wall - 100mm Construction foam
RendeXPanel Acrylic Rendered

Colour to be Champignon



Timber framed wall - Weathertex cladding in SELFLOK VGROOVE 150 NATURAL.



Colour to be Champignon

