

SITE AREA	580.8 SQ.M
GROSS FLOOR AREA	
EXISTING	151.6 SQ.M
NET ADDITIONAL	19.4 SQ.M
	171.0 SQ.M
FSR	0.29:1
SITE COVER	110.2 SQ.M
	19%
LANDSCAPE OPEN SPACE	232.4 SQ.M
	40%
BUILDING HEIGHT	7.08 M MAX
WALL HEIGHT	6.73 M MAX

SUMMARY OF BASIC COMMITMENTS - ALTERATIONS AND ADDITIONS			
<p><i>This is a summary of the BASIC Commitments as detailed in the BASIC Certificate. Refer to the CURRENT BASIC Certificate for complete details. For definitions refer to basic.nsw.gov.au</i></p>			
FIXTURES AND SYSTEMS			
Hot Water System (if applicable)			
Type	n/a		
Lighting			
A minimum of four new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures			
All new or altered water fixtures (toilet cisterns, shower roses or taps) must have a minimum 3 Star water rating.			
CONSTRUCTION			
Insulation to be installed to all new or altered floors, walls, ceilings and roofs as described below. The recommended values are standard construction practice and will exceed or be equal to minimum BASiC requirements.			
Floors	Timber	Added R Value	Other Specifications
		None	
Walls	External	R1.3	or R1.7 incl. construction
Ceilings	Refracted ceiling	R2.24 up	medium (solar absorbance 0.475-0.70)
Roofs	Pitched/cold roof Metal	(oil backed blanket (55mm)	
Glazing to all new or altered windows or doors can be as described for clear or tinted glazing.			
Other glazing systems must have U and SHGC values no greater than those listed.			
All values calculated to NFRC conditions.			
Glazing & Frame	U Value	SHGC Value	Details
Single clear or improved aluminium	7.63	0.75	To all new windows UNO
Shading devices (eaves, sunshades, awnings, blinds etc) are those as drawn on the plans and elevations.			
<p>For construction in NSW the BCA Vol 1 or 2 must also be complied with, in particular the following:</p> <ul style="list-style-type: none"> Thermal construction in accordance with Vol 1 Section 3.1.2 or Vol 2 Part 3.12.1 f Thermal breaks in accordance with Section 3.10(4) & 3.16(1) or Part 3.12.1.3(b) & 3.12.1.4(b) Building separation in accordance with Section 3.12.1.3 f & 3.12.1.3 f Glazing of ceiling insulation in accordance with Section 3.12.1.3 f & 3.12.1.4(b) Floral insulation in accordance with Section 3.16(1) & 3.12.1.3(a)(ii) or (b) & (d) & (f) 			

A1

ISSUE	DATE	ISSUE / AMENDMENT
A	15.1.25	DEVELOPMENT APPROVAL

Hugh Slatyer & Associates
 Arctect Pty. Ltd. trading as Hugh Slatyer & Associates
 ABN 75 001 873 669
 PO Box 949 Stlves NSW 2075
 Email : hughslatyer@bigpond.com
 M: 0414 256 939
 1:200 NOV.24
 email : hughslatyer@bigpond.com

HSA
Architects
NSW Board of Architects
Registration 3311

PROJECT
ALTERATIONS & ADDITIONS
82 ANZAC AVE. COLLAROY

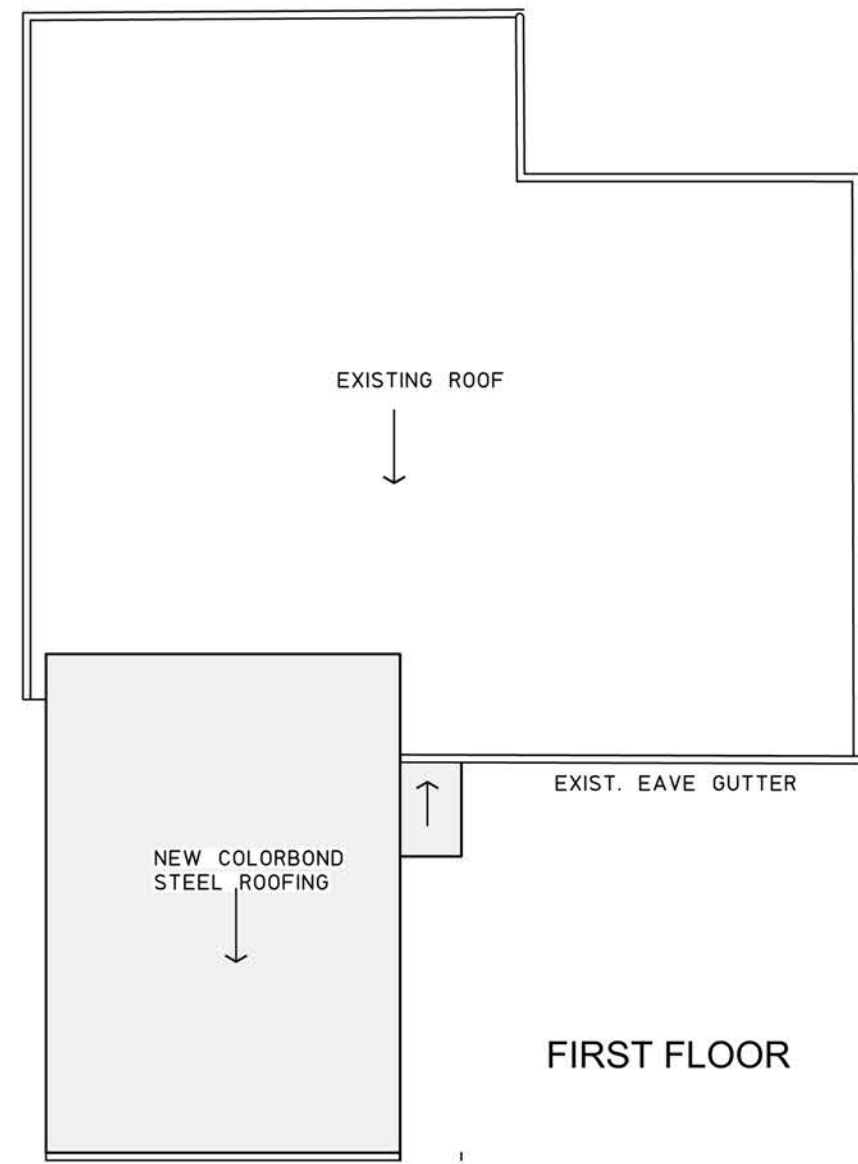
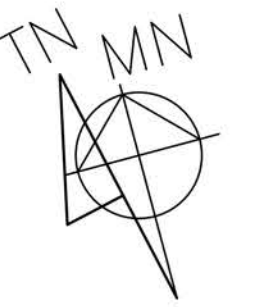
DRAWING

SITE PLAN
SITE ANALYSIS

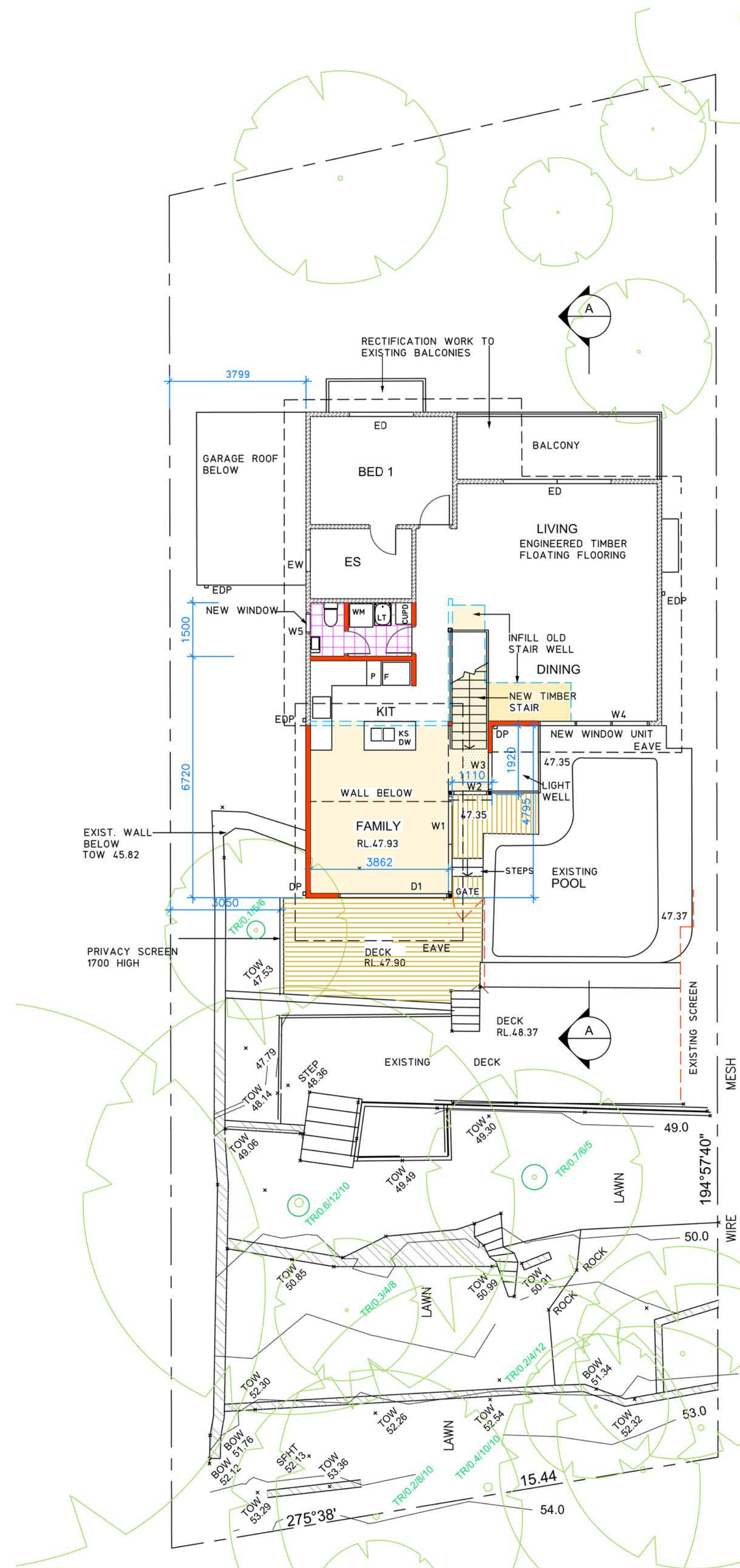
101524.01	
-----------	--

ISSUE
A

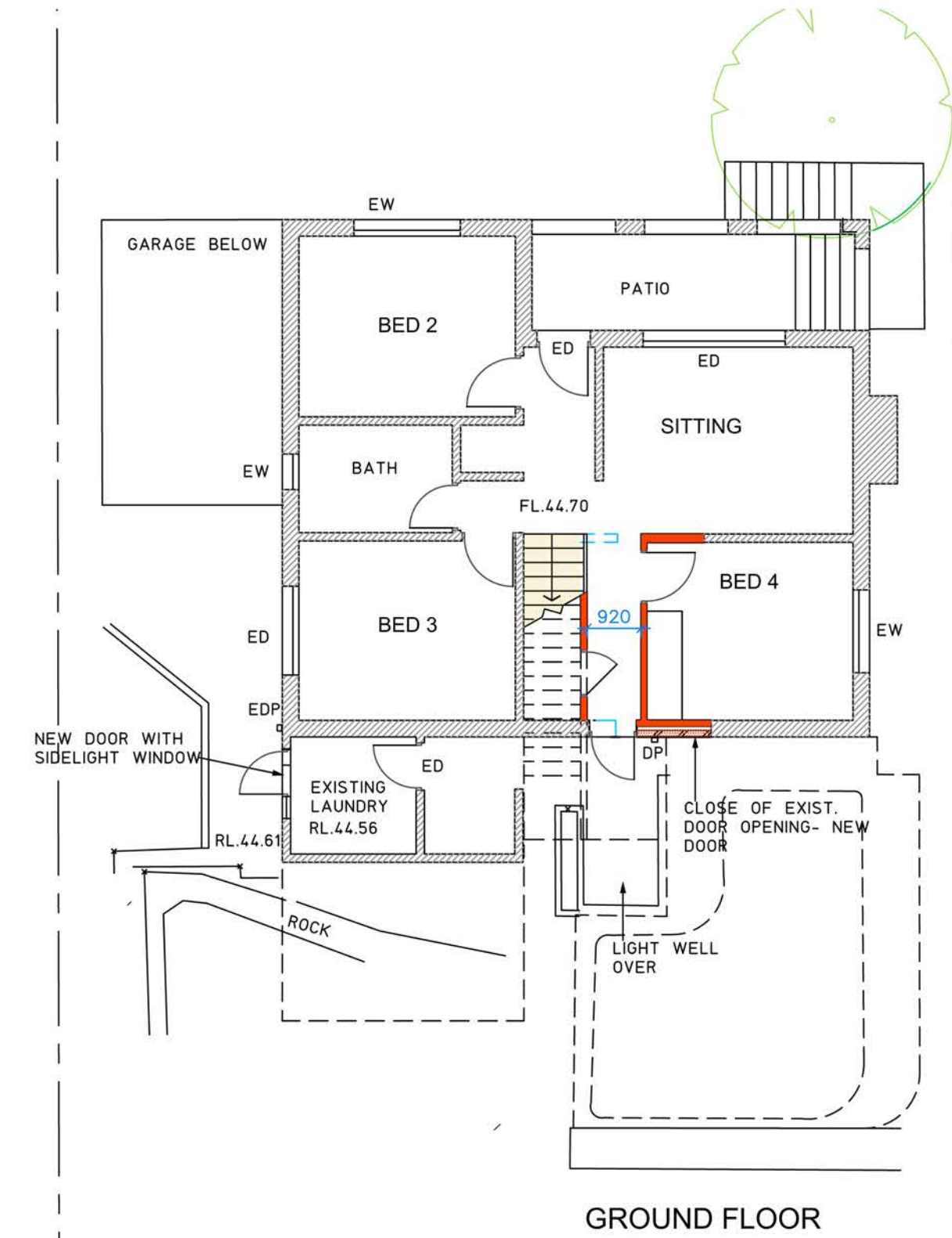
SCALE 1:100	DATE NOV.24	APPROVED
----------------	----------------	----------



FIRST FLOOR



FIRST FLOOR



GROUND FLOOR

- LEGEND
- EW DENOTES EXISTING WINDOW
 - ED DENOTES EXISTING DOOR
 - EXISTING WALLS
 - EXISTING WALLS TO BE REMOVED
 - NEW WALLS

A1

ISSUE	DATE	ISSUE / AMENDMENT
A	15.1.25	DEVELOPMENT APPROVAL

Hugh Slatyer & Associates
Architect Pty. Ltd. trading as Hugh Slatyer & Associates
ABN 75 001 873 669
PO Box 949 Stives NSW 2075
Email : hughslatyer@bigpond.com
M: 0414 256 939
Email : hughslatyer@bigpond.com

HSA
Architects
NSW Board of Architects
Registration 3311

PROJECT
ALTERATIONS & ADDITIONS
82 ANZAC AVE. COLLAROY

DRAWING
FLOOR & ROOF PLANS

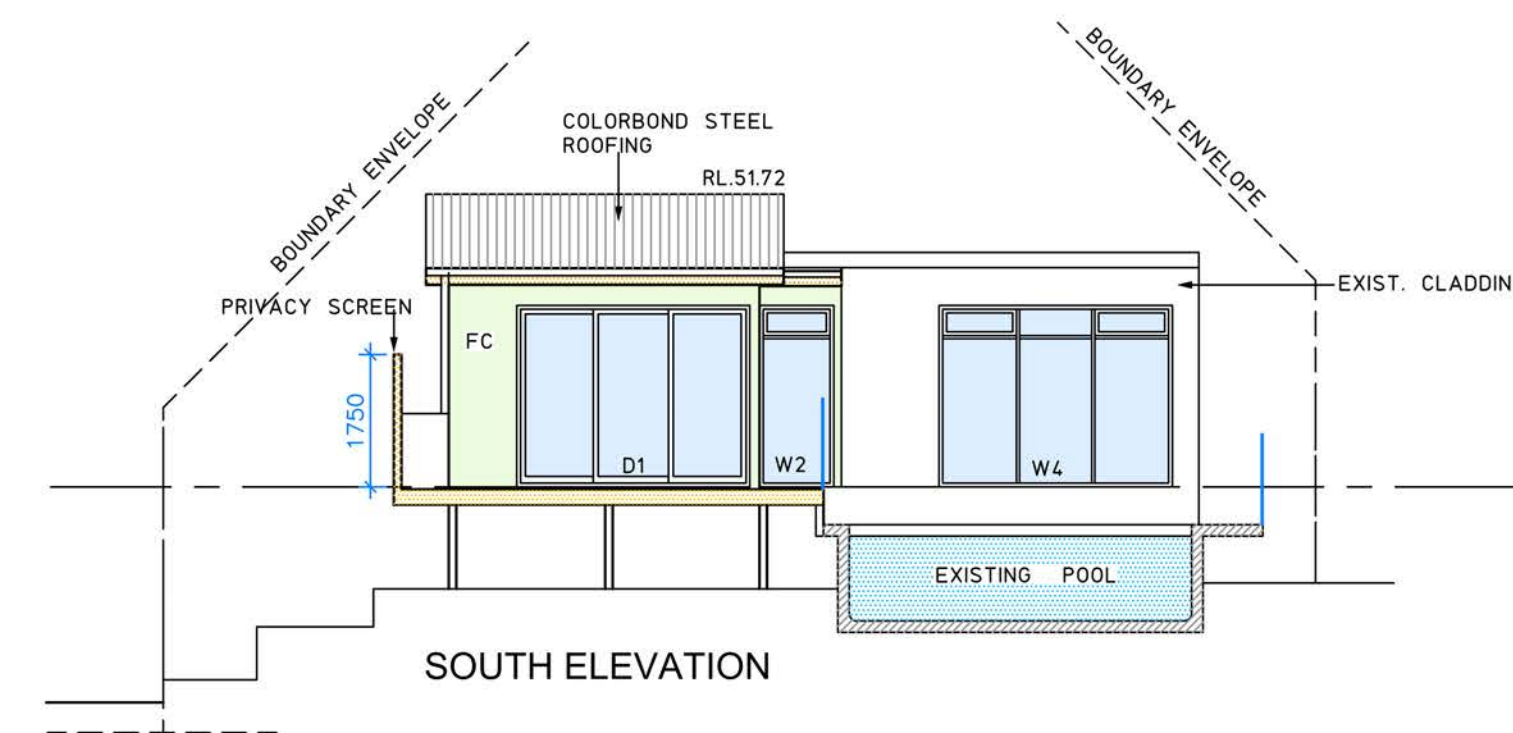
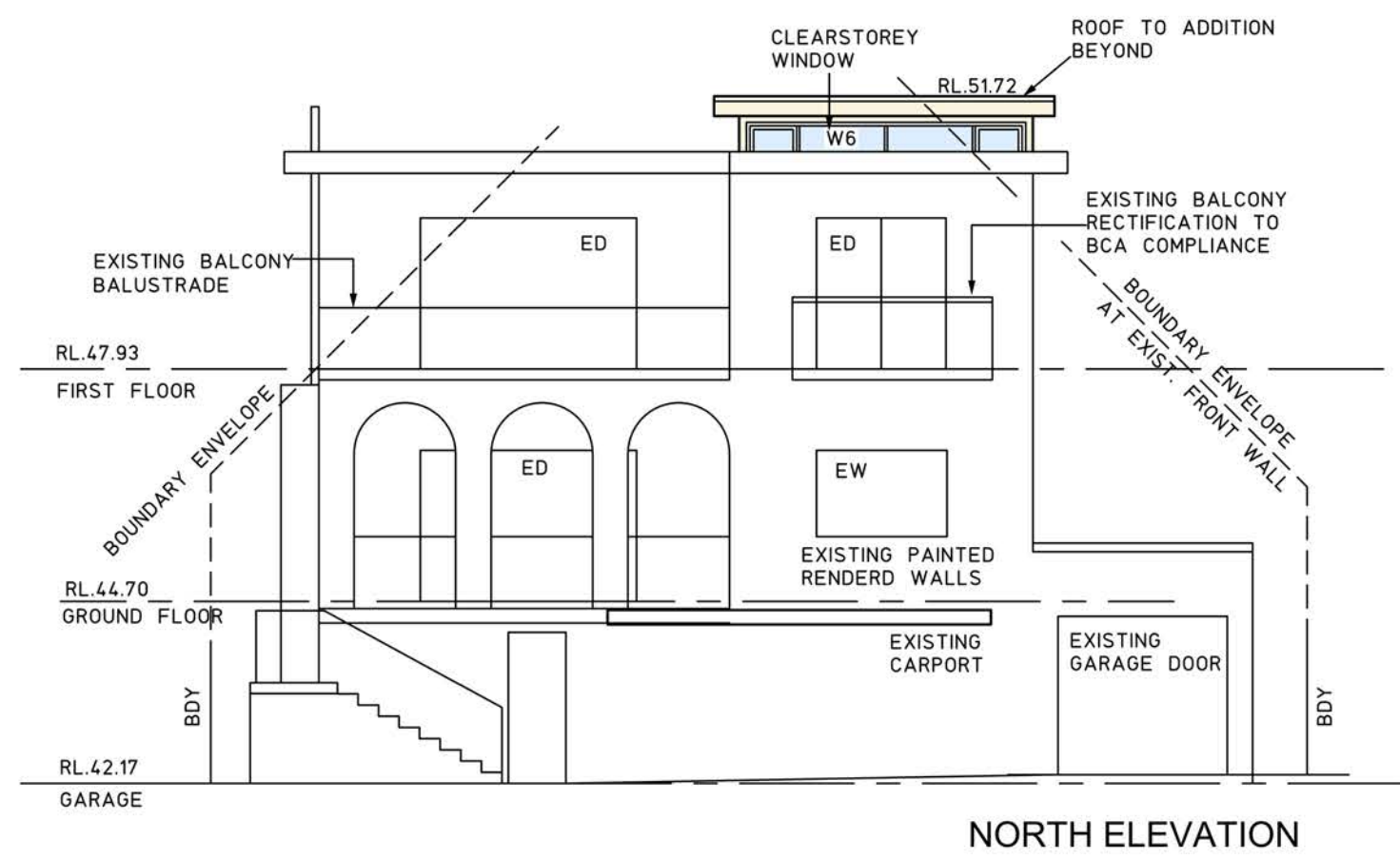
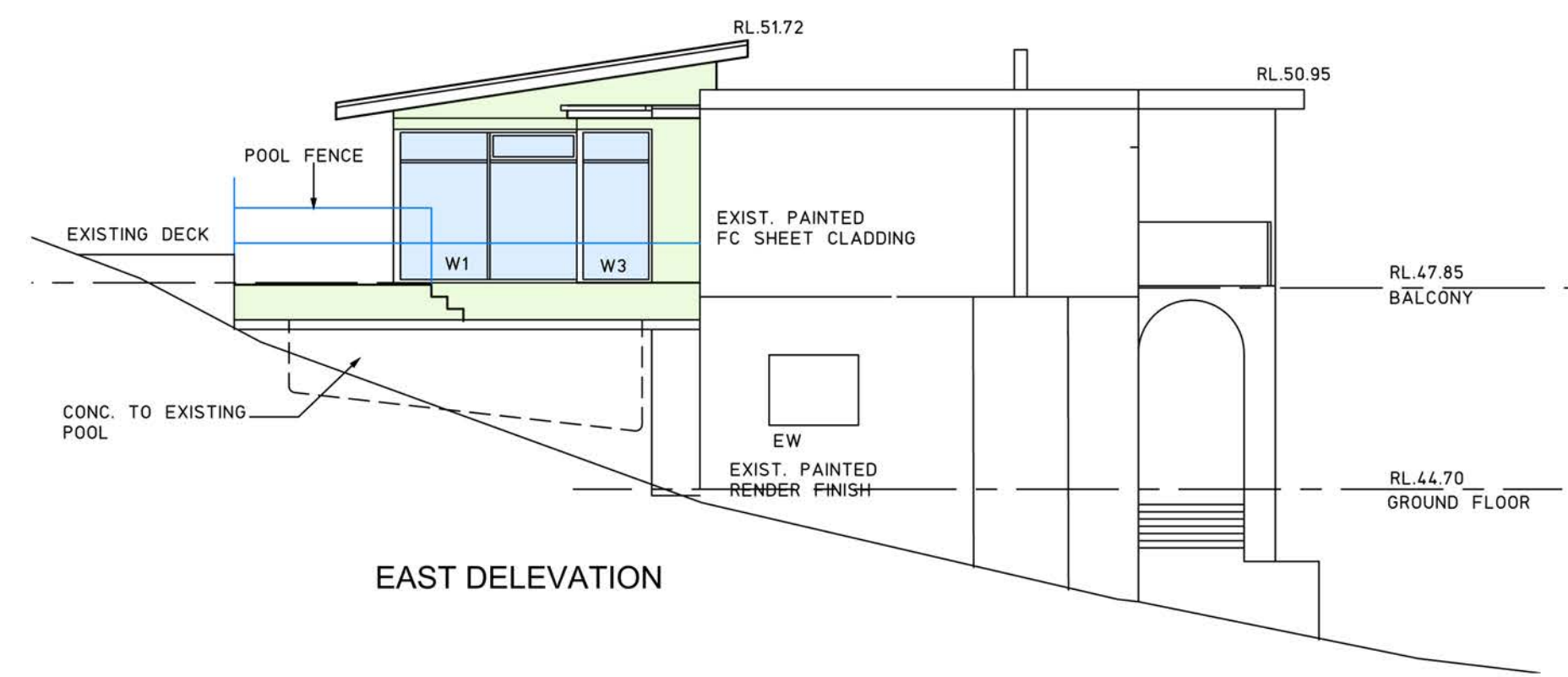
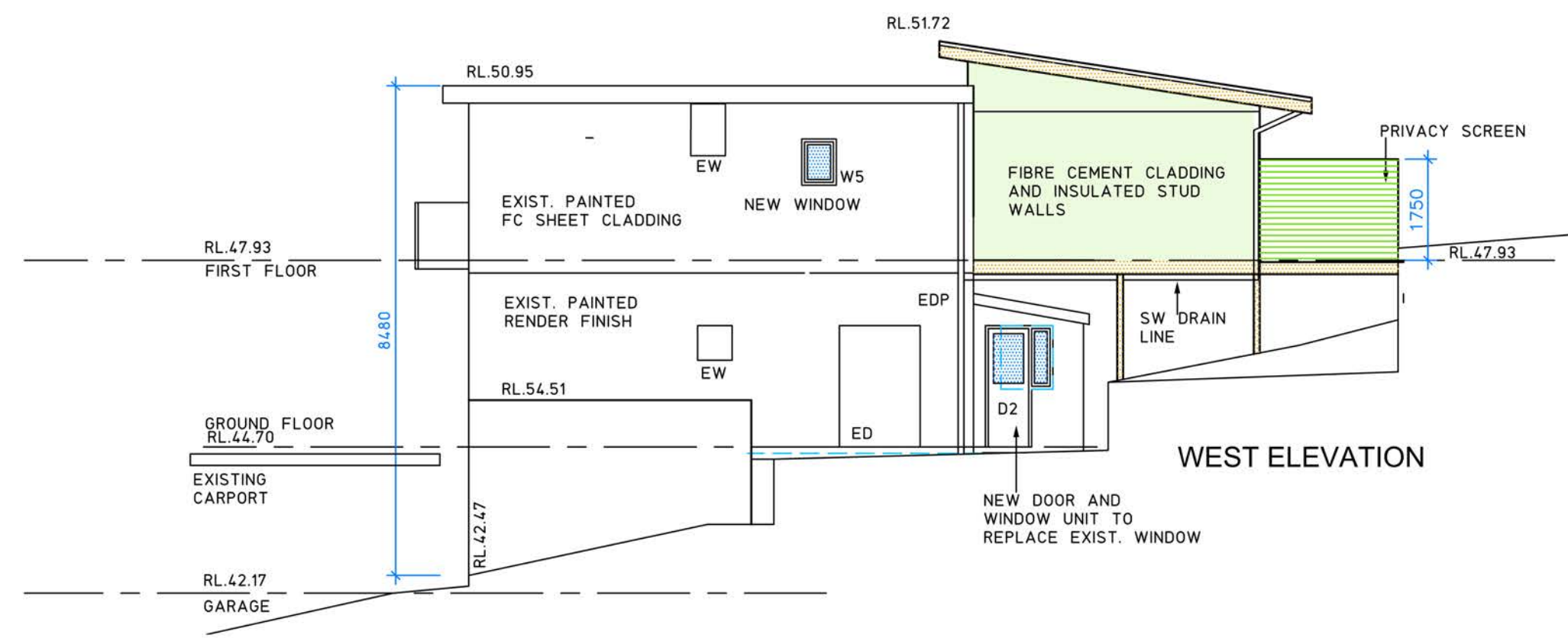
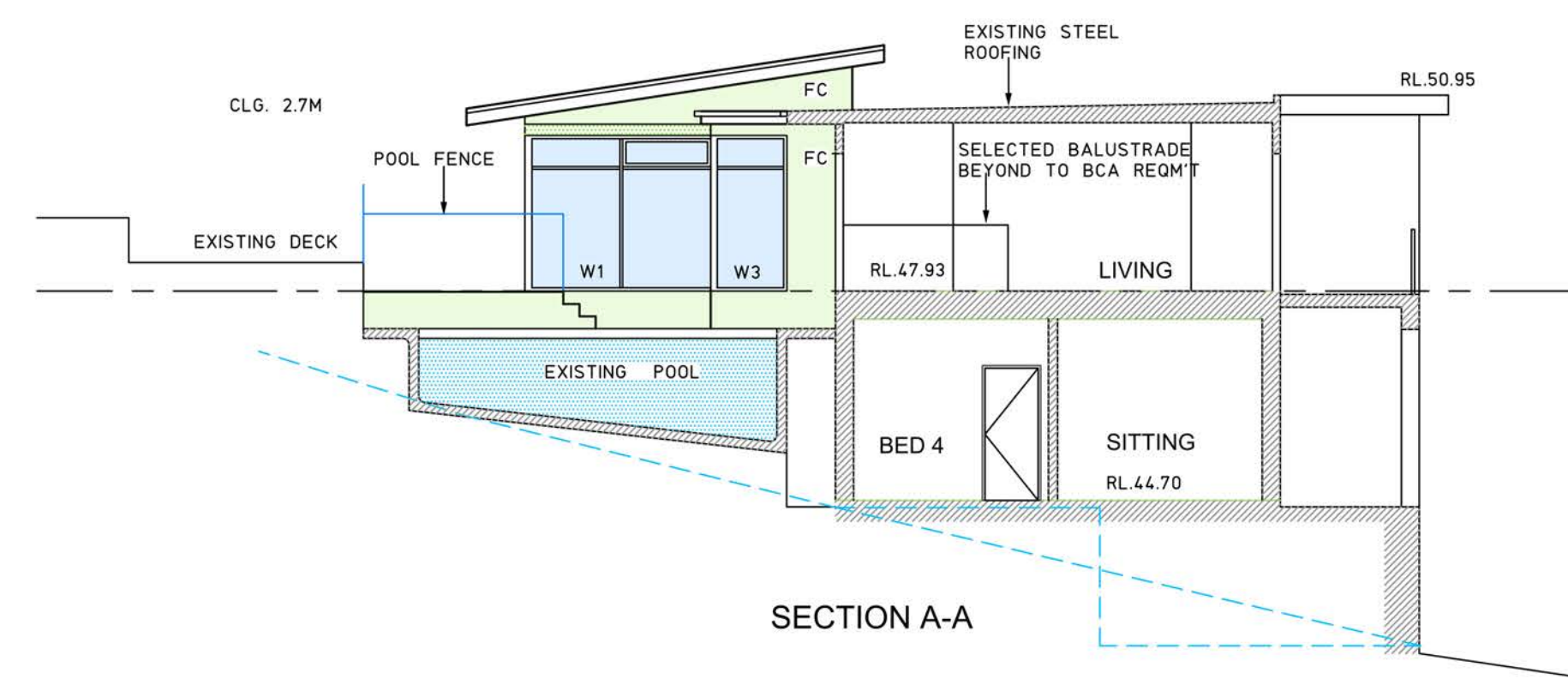
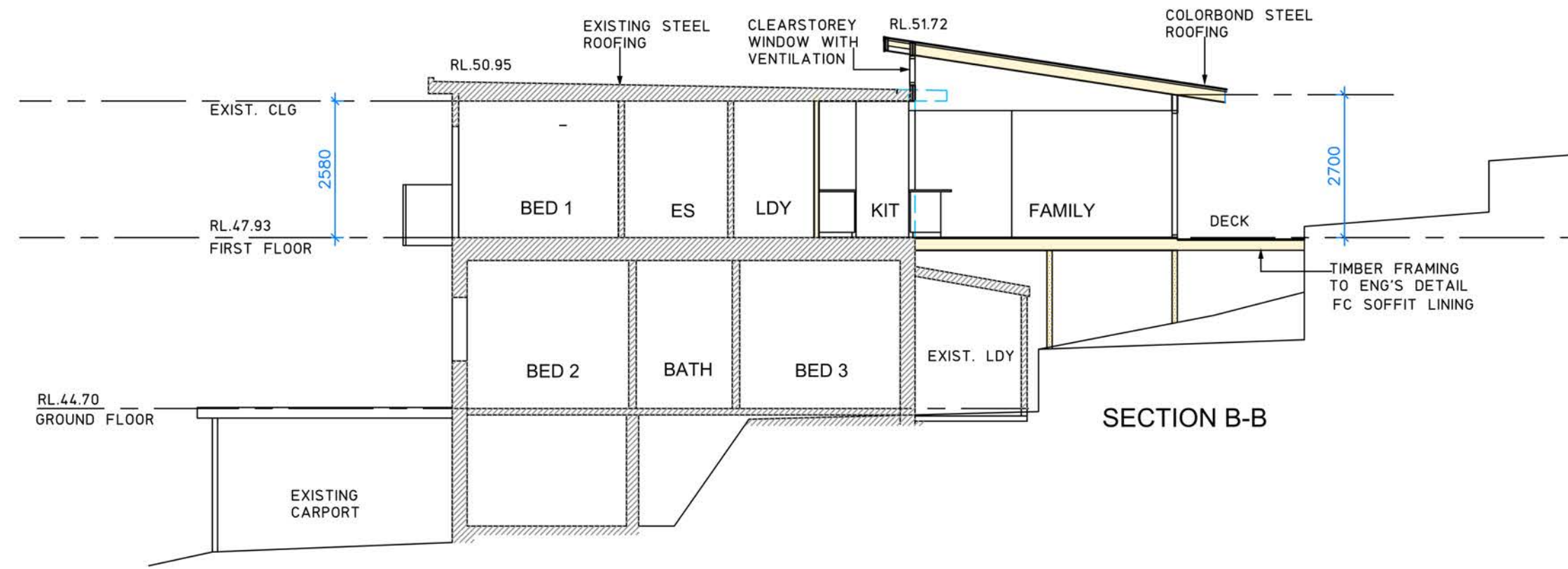
101524.02

ISSUE
A

SCALE
1:100

DATE
NOV.24

APPROVED



A1

ISSUE DATE A 15.1.25	ISSUE / AMENDMENT DEVELOPMENT APPROVAL	<div data-bbox="1771 1900 2169 2030"> <p>Hugh Slatyer & Associates Architect Pty. Ltd. trading as Hugh Slatyer & Associates ABN 75 001 873 669 PO Box 949 Stives NSW 2075 Email : hughslatyer@bigpond.com M: 0414 256 939 email : hughslatyer@bigpond.com 1100 NOV.24</p> </div> <div data-bbox="2041 1860 2151 1942"> <p>HSA Architects NSW Board of Architects Registration 3311</p> </div>	PROJECT ALTERATIONS & ADDITIONS 82 ANZAC AVE. COLLARROY	DRAWING SECTIONS & ELEVATIONS	<div data-bbox="2522 1942 2870 2030"> <p>101524.03</p> <p>SCALE 1:100 DATE NOV.24 APPROVED</p> </div>

Demolition Work Plan

Plan for Demolition Work

Associated with Proposed Alterations and New Carports
at
82 Anzac Ave. Collaroy

In accordance with AS2601-2001

1. Site

The existing property consists of an existing two storey, with lower ground floor, detached brick dwelling with steel roofing.. The area of demolition works is within the existing dwelling footprint.

2. Structure Height

The overall height of the building elements to be demolished is the existing ceiling heights.

3. Description of Building and Elements to be Demolished

Details of the materials and structural system are as follows;

House		Element	Demolition work
Walls	Internal	Brick walls to ground floor Stud walls to first floor	Remove to extent shown on the drawings.

4. Methods of Demolition

Generally

Demolition shall be generally in accordance with the precautions of AS2601-2001 'the demolition of structures'.

In view of the modest extent of demolition, it is proposed to carry out demolition by hand using hand held tools.

Dust Control

Dust will be controlled by means of hosing down with water spray, during demolition if necessary.

Hazardous Materials

There is no evidence of hazardous materials.

5. Handling and Disposal

Demolished material will be removed from site by hand to contractors truck parked adjacent to the property. Disposal will be to selected waste management and recycling facilities

6. Hoardings and Fencing

Provide all required safety fencing and protection during the works.

Hugh Slatyer B.Arch Mpm.
Principal

Hugh Slatyer & Associates
Architects
November 2024

