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private residence

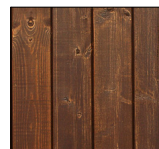
27 francis st, fairlight
alterations & additions
Section 96(1A) development application

architectural perspectives

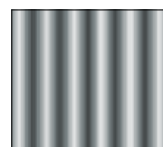
WEATHERBOARD
WEATHERTEX
or similar
to match existing



TIMBER
TO DECK
or similar



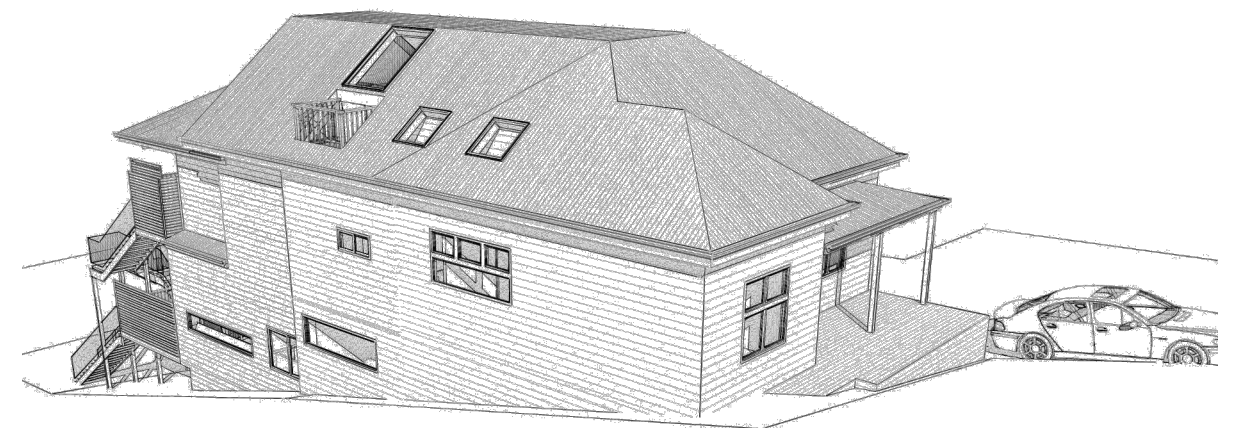
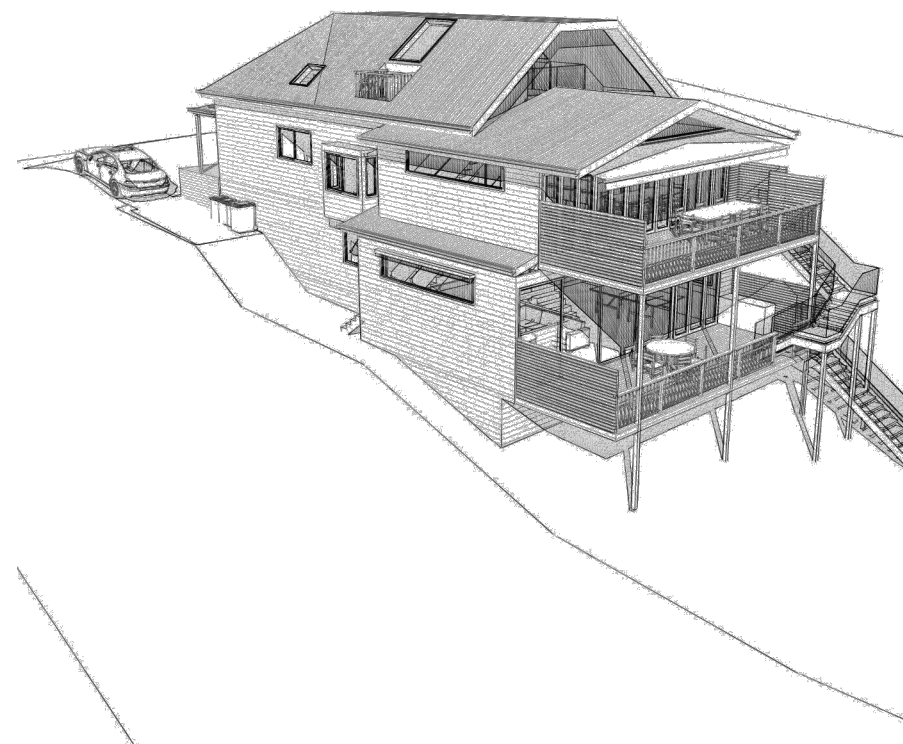
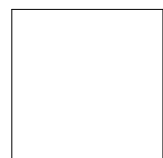
ROOF
COLORBOND
WINDSPRAY
or similar
to match existing

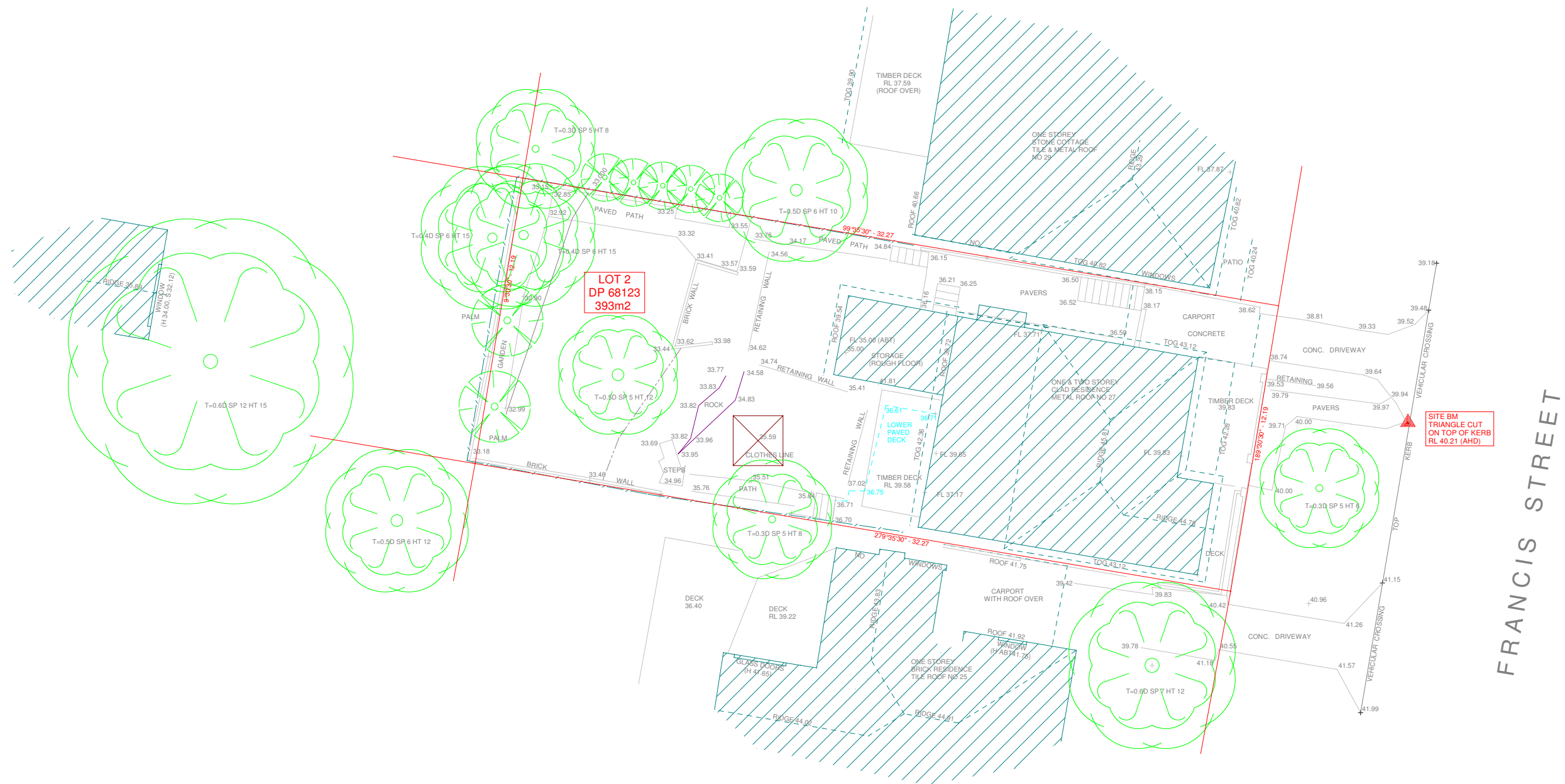


RAILING
GLASS
or similar



WINDOWS
WHITE
ALUMINIUM
or similar
to match existing





THIS PLAN IS PREPARED FOR DETAIL AND LEVEL PURPOSES ONLY AND THE BOUNDARIES OF THE LAND HAVE NOT BEEN MARKED.

THIS SURVEY IS LIMITED TO THOSE PARTS OF THE SUBJECT BUILDING AND OTHER IMPROVEMENTS THAT WERE VISIBLE AND ACCESSABLE. ANY FUTURE DEVELOPMENT OR FENCING WOULD REQUIRE THE BOUNDARIES TO BE MARKED ON THE GROUND.

ANY STRUCTURES RELATED TO PHYSICAL FEATURES (BUILDINGS, TREES, ETC.) MUST BE CONFIRMED PRIOR TO FINAL DESIGN.

ALL SERVICES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

THE DIAMETER OF TREE TRUNKS CONTAINED WITHIN TREE SYMBOLS ARE NOT TO SCALE AND ARE INDICATIVE ONLY.

THE BEARINGS ON THESE PLAN BOUNDARIES ARE FROM LAND PROPERTY INFORMATION PLANS. THEY ARE ON ISG NORTH. IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.

ORIGIN OF RL'S: PM 10939 - RL 47.307 (A.H.D.)



16 / 9 NARABANG WAY, BELROSE 2085
TEL : 94500868 FAX : 94500268 EMAIL : admin@truenorthsurveys.com.au

PROJECT : DETAIL AND LEVELS OVER LOT 2 IN DP 68123
BEING NO 27 FRANCIS STREET, FAIRLIGHT.

CLIENT : JAMES CHENG

DATUM : AHD

DATE : 4/05/2016

SCALE : 1:100

SHEET No. 1 OF SHEETS

DRAWING No. : 8259DU

JOB REF : 8259

P

PROPOSED

POS

PRIVATE OPEN SPACE (EXISTING)

ED

EXISTING DWELLING

MS

MATERIAL STOCKPILE

95° 51'

CAR ENTRY POINT

HARDSTAND AREA

BOUNDARY

WM

WASTE MANAGEMENT

FOR DEVELOPMENT APPLICATION PURPOSES ONLY
NOT FOR CONSTRUCTION

ALL TIMBER FRAMING AND FOOTINGS TO ENGINEERS DETAILS

EXISTING SITE SERVICES TO BE USED

STORMWATER TO BE CONNECTED TO EXISTING SYSTEM

FRANCIS STREET

S96

Date :	Issue :	Description :

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

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Po Box 377 Manly NSW 1655
m : 0422 521 871
e : power@sketcharc.com.au <<mailto:power@sketcharc.com.au>>
w : www.sketcharc.com.au <<http://www.sketcharc.com.au>>

Project :

Additions & Alterations
S96
27 Francis St, Fairlight
LOT 2 in DP 68123 - 393m2

Client :

Private Residence

Drawing :

- Site Analysis and Waste Management Plan

= Proposed Work

= Demolition

= Existing

Drawn/Designed :

PB / MP

Project Number :

1623

Drawing No. :

S96-3

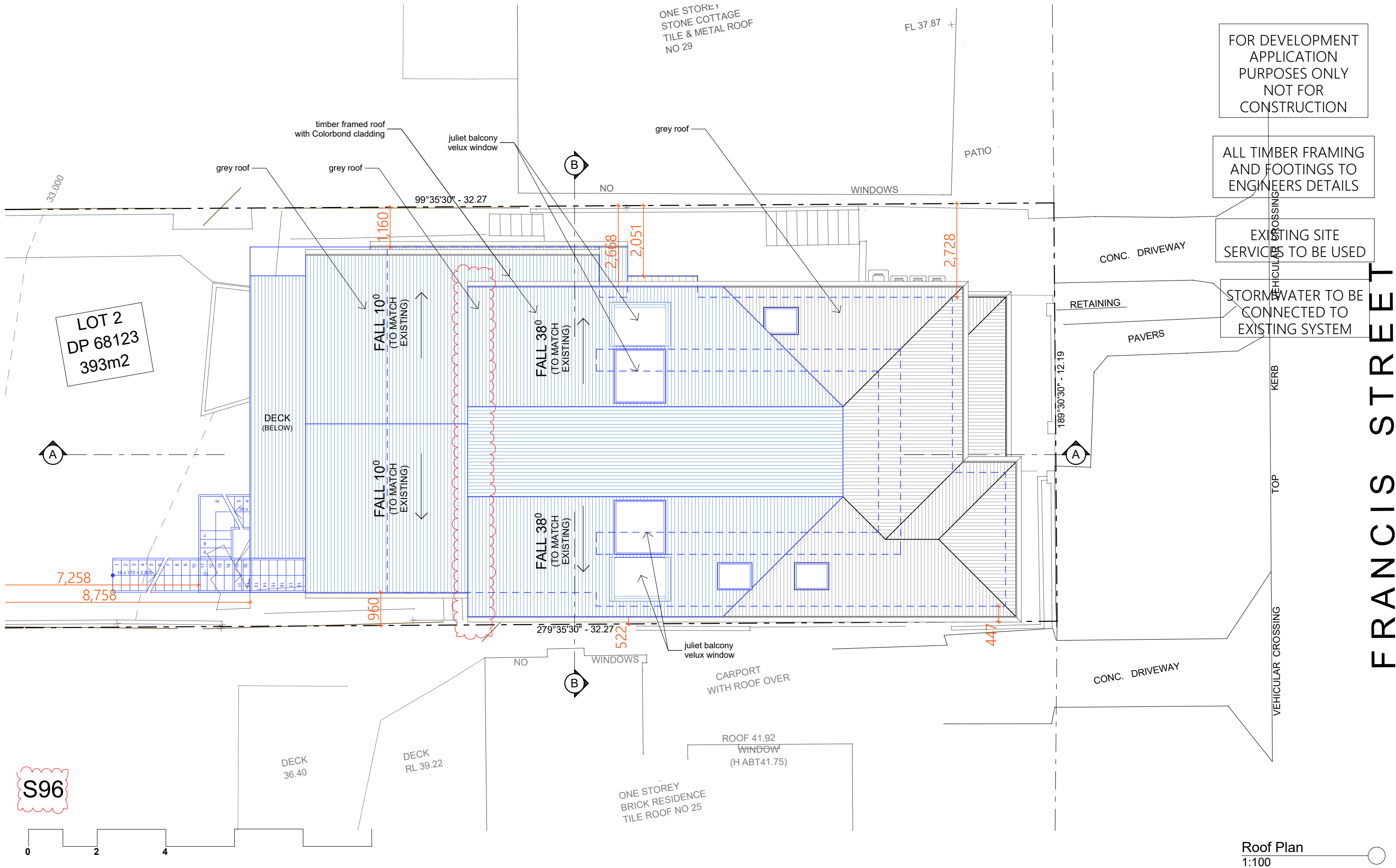
Date :

131217

Scale :

1:200 @ A3

Issue :



Roof Plan
1:100

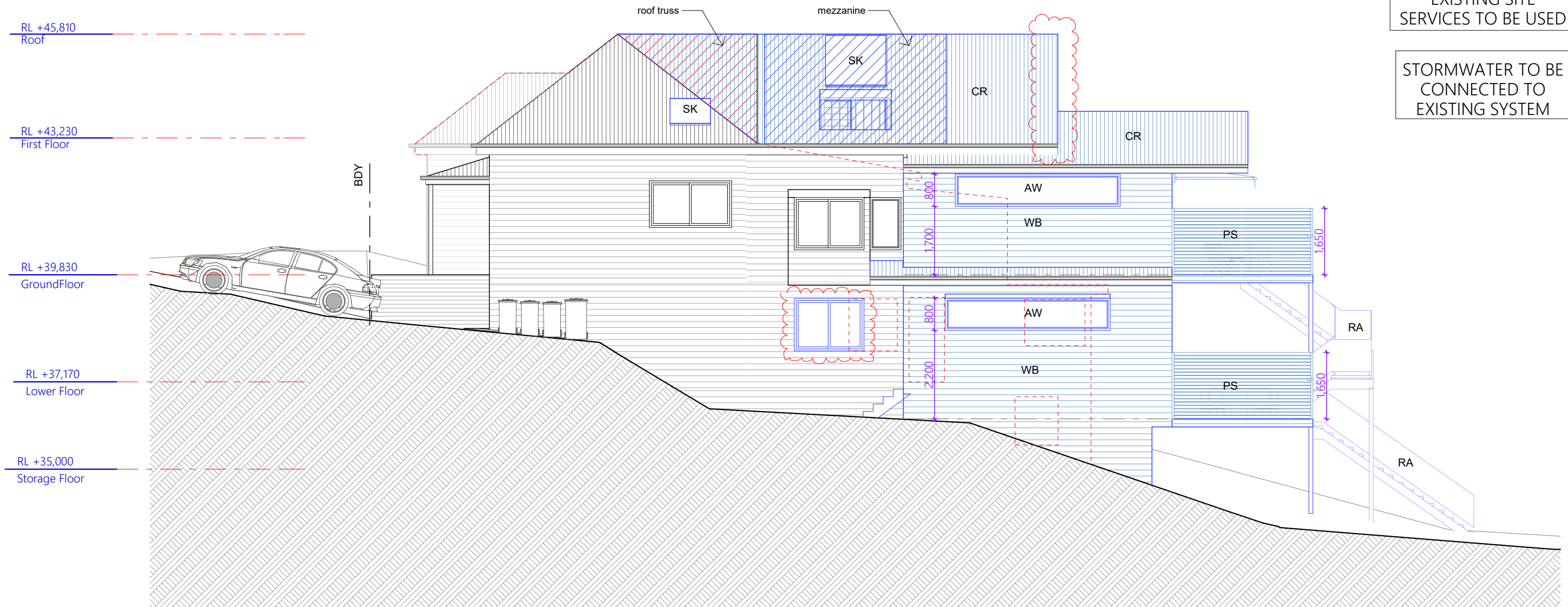
CR timber framed roof with Colorbond cladding
WB timber framed wall with weatherboard cladding
AW aluminium window
RA rail to BCA
PS privacy screen
SK skylight

FOR DEVELOPMENT
APPLICATION
PURPOSES ONLY
NOT FOR
CONSTRUCTION

ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM



S96



North Elevation
1:100

<table><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></table>																					The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.		<p><i>sketchArc</i></p> <p>Po Box 377 Manly NSW 1655 m : 0422 521 871 e : power@sketcharc.com.au <mailto:power@sketcharc.com.au> w : www.sketcharc.com.au <http://www.sketcharc.com.au></p>	Project : Additions & Alterations S96 27 Francis St, Fairlight LOT 2 in DP 68123 - 393m2 Client : Private Residence Drawing : - Elevations, N	<table><tr><td></td><td>= Proposed Work</td></tr><tr><td></td><td>= Demolition</td></tr><tr><td></td><td>= Existing</td></tr></table>		= Proposed Work		= Demolition		= Existing	Drawn/Designed : PB / MP	Date : 131217
	= Proposed Work																																
	= Demolition																																
	= Existing																																
			Project Number : 1623	Scale : 1:100 @ A3																													
Date : Issue : Description :			Drawing No. : S96-8	Issue :																													

FOR DEVELOPMENT
APPLICATION
PURPOSES ONLY
NOT FOR
CONSTRUCTION

EXISTING SITE
SERVICES TO BE USED

RL +45,810
Roof

RL +43,230
First Floor

RL +39,830
GroundFloor

RL +37,170
Lower Floor

RL +35,000
Storage Floor

This architectural section drawing illustrates a building's internal structure and layout. The drawing includes the following elements:

- Rooms and Areas:**
 - CR (Corridor):** Located at the top left and top center.
 - SK (Staircase):** Two staircases are shown, one in the top center and one in the top right.
 - WB (Workshop):** Two workshop areas are shown, one in the middle left and one in the middle right.
 - PS (Plant Room):** Three plant rooms are shown, two on the left and one in the middle left.
 - AW (Atrium/Waiting Area):** A large atrium area is shown in the bottom left.
 - RA (Ramp):** Two ramps are shown, one on the far left and one in the middle left.
- Structural Elements:**
 - mezzanine:** A mezzanine level is indicated by a red dashed line and a red wavy boundary.
 - roof truss:** The roof structure is shown with a red dashed line and a red wavy boundary.
 - fire-rated window:** A window is highlighted with a red dashed line and a red wavy boundary.
- Dimensions:**
 - Vertical dimensions: 1,650, 1,000, 600, 1,300, 800, 2,180.
 - Horizontal dimensions: 1,650, 1,000, 600, 1,300, 800, 2,180.
- Other Labels:**
 - BDY:** Boundary line.
 - SERV:** Service area.
 - STO:** Storage area.
 - CO:** Corridor.
 - EX:** External area.

South Elevation
1:100




Date :	Issue :	Description :

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Project : Additions & Alterations
S96
27 Francis St, Fairlight
LOT 2 in DP 68123 - 393m2

Client : Private Residence

Drawing : - Elevations, S

 = Proposed Work
 = Demolition
 = Existing

Drawn/Designed : PB / MP

Project Number : 1623

Drawing No. : S96-

Date : 131217

Scale : 1:100 @ A3

Issue :

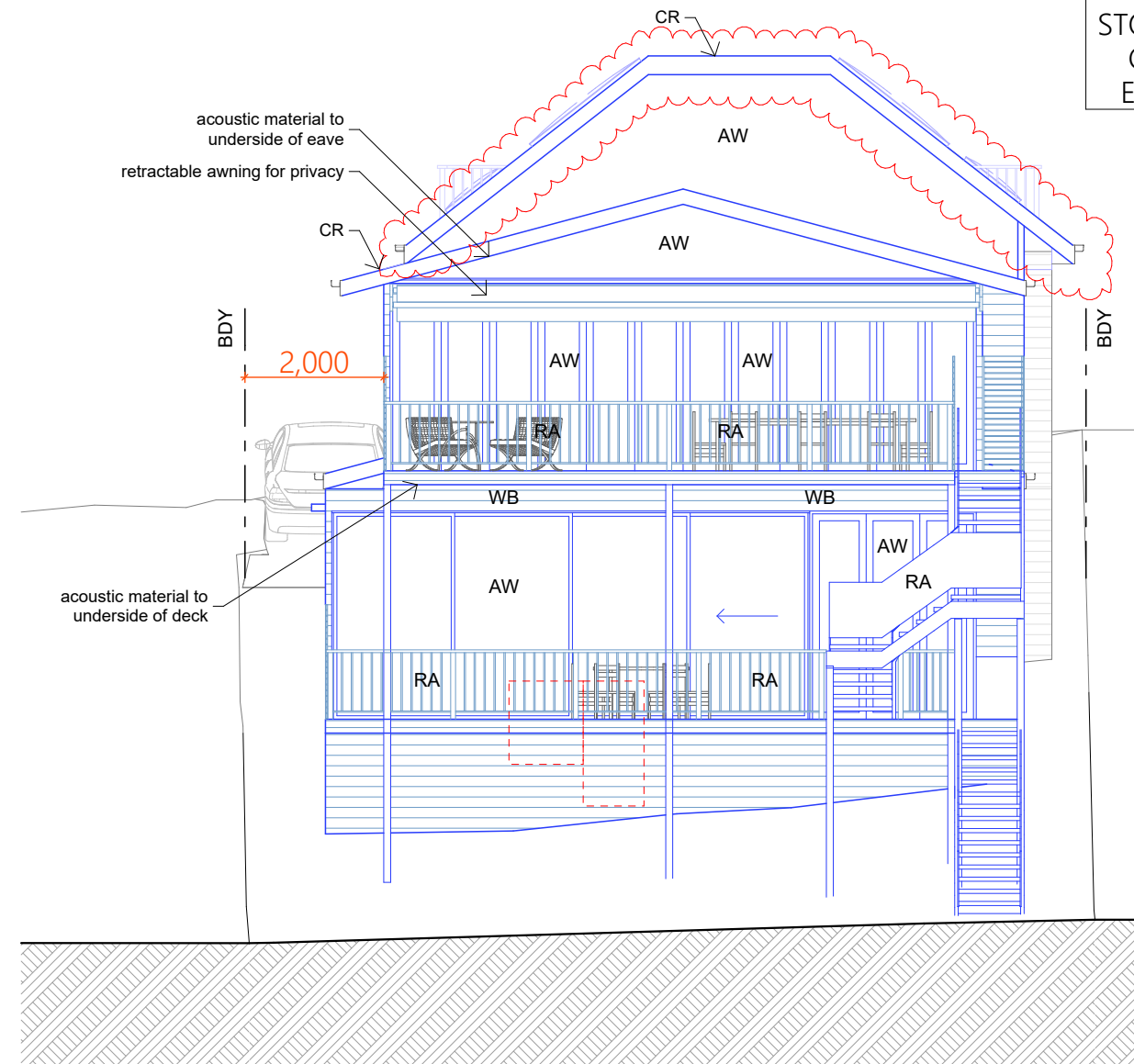
CR timber framed roof with Colorbond cladding
WB timber framed wall with weatherboard cladding
AW aluminium window
RA rail to BCA
PS privacy screen
SK skylight

FOR DEVELOPMENT
APPLICATION
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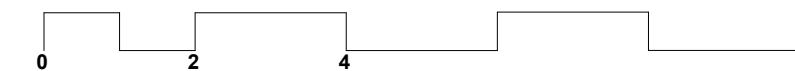
ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM



S96






Date :	Issue :	Description :

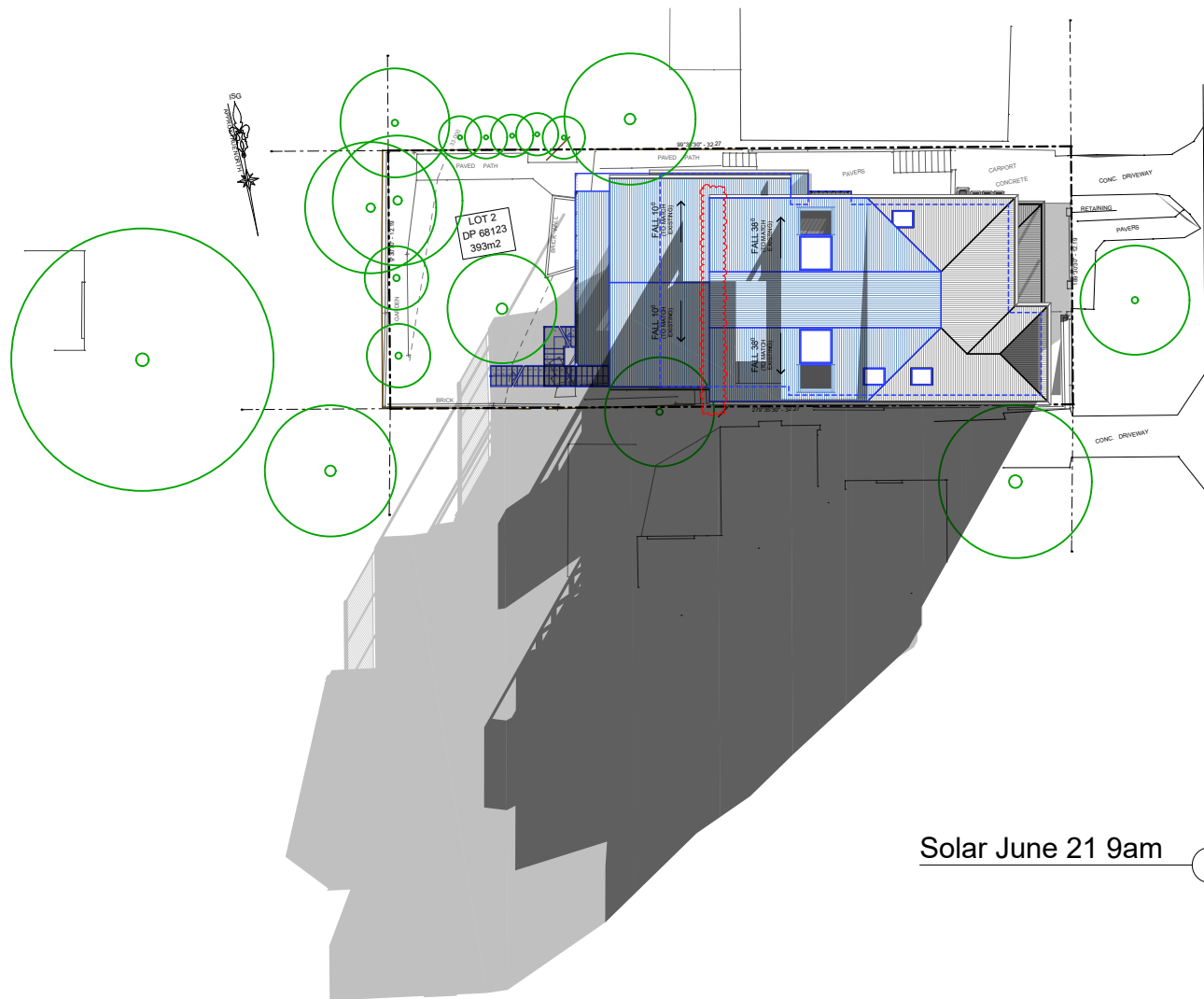
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

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e : power@sketcharc.com.au <<mailto:power@sketcharc.com.au>>
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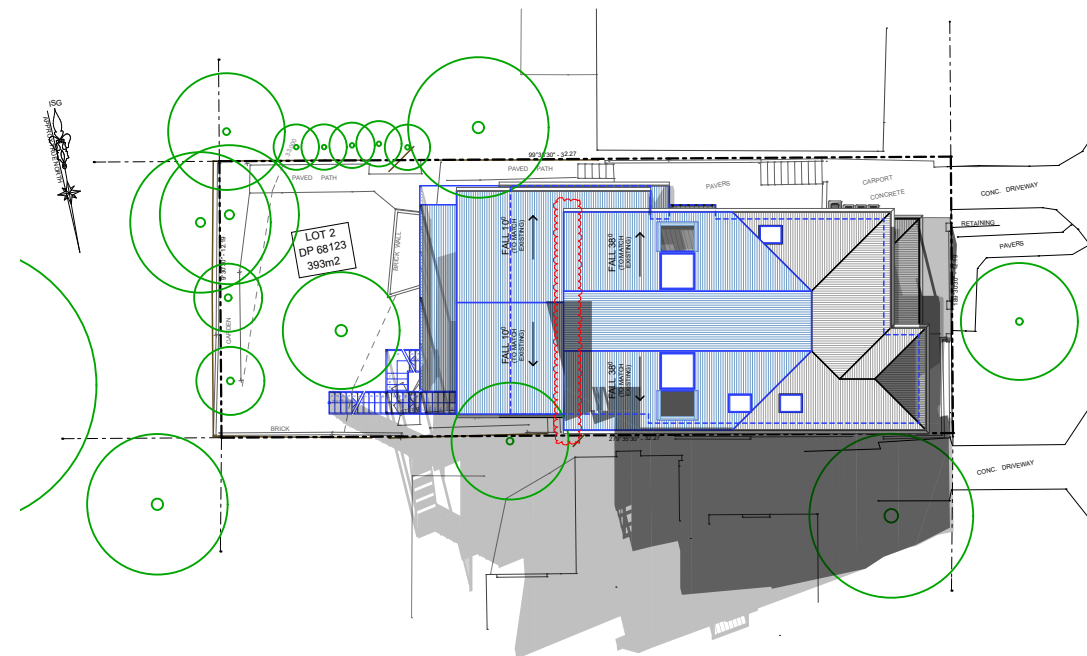
Project : Additions & Alterations
S96
27 Francis St, Fairlight
LOT 2 in DP 68123 - 393m2
Client : Private Residence
Drawing : - Elevations, E, W

 = Proposed Work
 = Demolition
 = Existing

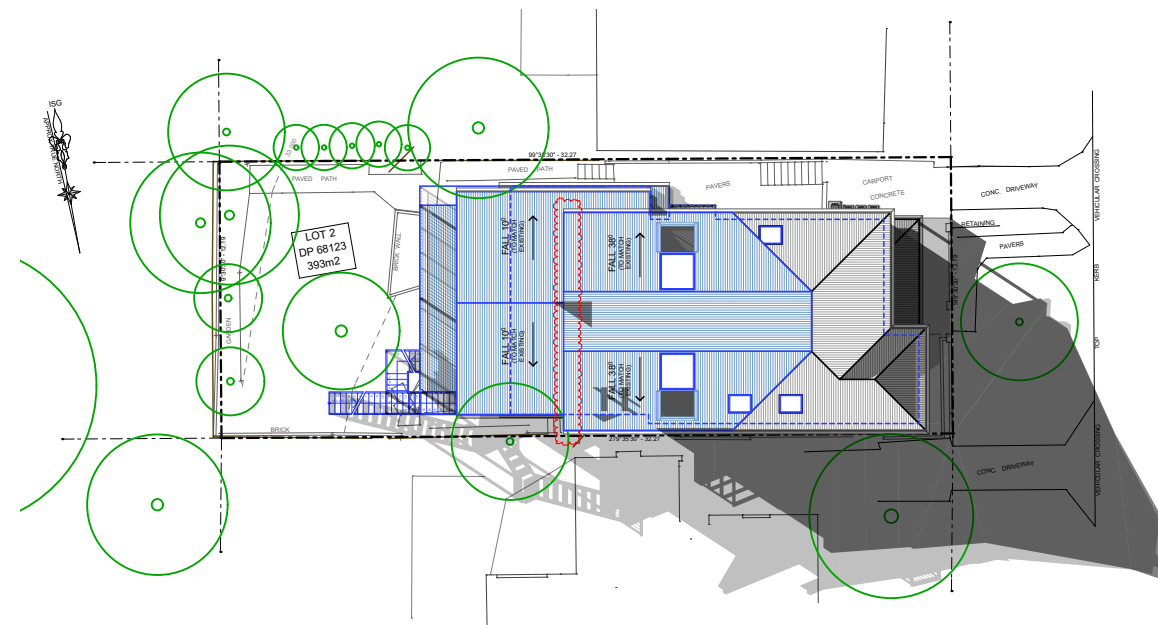
Drawn/Designed : PB / MP
Project Number : 1623
Drawing No. : S96-10
Date : 131217
Scale : 1:100 @ A3
Issue :



Solar June 21 9am



Solar June 21 12pm



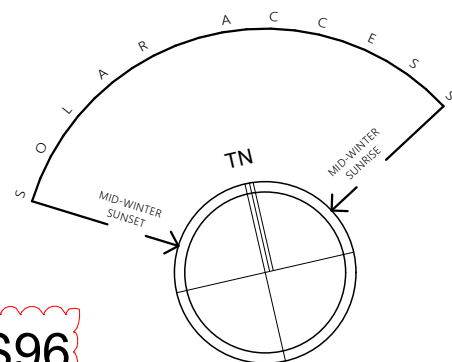
Solar June 21 3pm

FOR DEVELOPMENT
APPLICATION
PURPOSES ONLY
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CONSTRUCTION

ALL TIMBER FRAMING
AND FOOTINGS TO
ENGINEERS DETAILS

EXISTING SITE
SERVICES TO BE USED

STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM

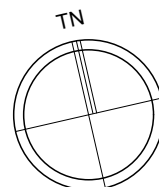


S96

Existing shadow

Proposed shadow - 2m Void

Proposed shadow



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Project : Additions & Alterations
S96
27 Francis St, Fairlight
LOT 2 in DP 68123 - 393m2
Client : Private Residence
Drawing : - Solar Plans

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB / MP
Project Number : 1623
Drawing No. : S96-14
Date : 131217
Scale : no scale
Issue :

Alterations and Additions

Certificate number: A266411_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by Planning & Infrastructure. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A266411 lodged with the consent authority or certifier on 21 Dec 2016 with application DA 365/2016.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Director-General
Date of issue: Wednesday, 13, December 2017
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Francis DA_03
Street address	27 Francis Street Fairlight 2094
Local Government Area	Manly Council
Plan type and number	Deposited Plan 68123
Lot number	2
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Phil Brown Drafting
ABN (if applicable): 16164362569

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	
Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)		
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W1	S	2.1	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W2	W	7.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W3	W	11.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W4	N	3.3	0	0	projection/height above sill ratio >=0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W5	W	20.2	0	0	awning (adjustable) >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W6	W	4.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W7	N	3.2	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W8	W	12.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W1A	S	2.2	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W1B	S	1.9	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W4A	N	2.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

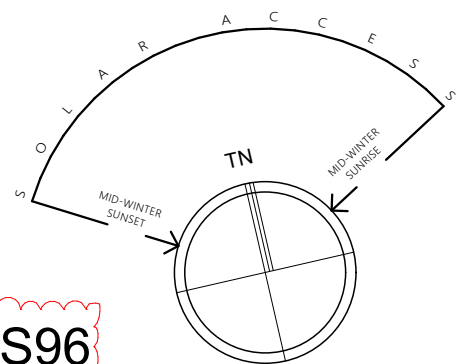
			The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.	<div style="text-align: center;">  <p>Po Box 377 Manly NSW 1655 m : 0422 521 871</p> <p>e : power@sketcharc.com.au <mailto:power@sketcharc.com.au> w : www.sketcharc.com.au <http://www.sketcharc.com.au></p> </div>	Project : Additions & Alterations S96 27 Francis St, Fairlight LOT 2 in DP 68123 - 393m2 Client : Private Residence Drawing : - BASIX	Drawn/Designed : PB / MP Project Number : 1623 Drawing No. : S96-15	Date : 131217 Scale : Issue :
Date :	Issue :	Description :					



STORMWATER TO BE
CONNECTED TO
EXISTING SYSTEM

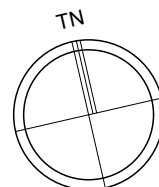


Proposed shadow



S96

Date : Issue : Description :



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Project : Additions & Alterations
S96
27 Francis St, Fairlight
LOT 2 in DP 68123 - 393m2

Client : Private Residence

Drawing : - Solar Plans Elevational

 = Proposed Work
 = Demolition
 = Existing

Drawn/Designed : PB / MP

Date : 131217

Project Number : 1623

Scale : **no scale**

Drawing No. : S96-16

Issue :