

SITE PLAN

1 : 200

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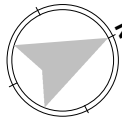
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ISSUE	DATE	DESCRIPTION
A	22.11.24	FOR DA LODGEMENT
B	23.03.09	FOR DA LODGEMENT
C	23.06.02	FOR DA LODGEMENT
D	23.06.07	FOR DA LODGEMENT

PROJECT:
PROPOSED 2 STOREY DWELLING
ADDRESS:
1 LANFORD AVENUE, KILLARNEY HEIGHTS, NSW, 2087

DRAWING TITLE:
SITE PLAN
SCALE:
1 : 200

@ A3



CLIENT:
MR & MRS J SMITH

DRAWN BY: **DZ** CHECKED BY: **SS**
PROJECT NO: **Project Number** T.B.C.
REV DATE: **21/06/23**

STATUS:
FOR DA

DRAWING NO:
C002

REV
D

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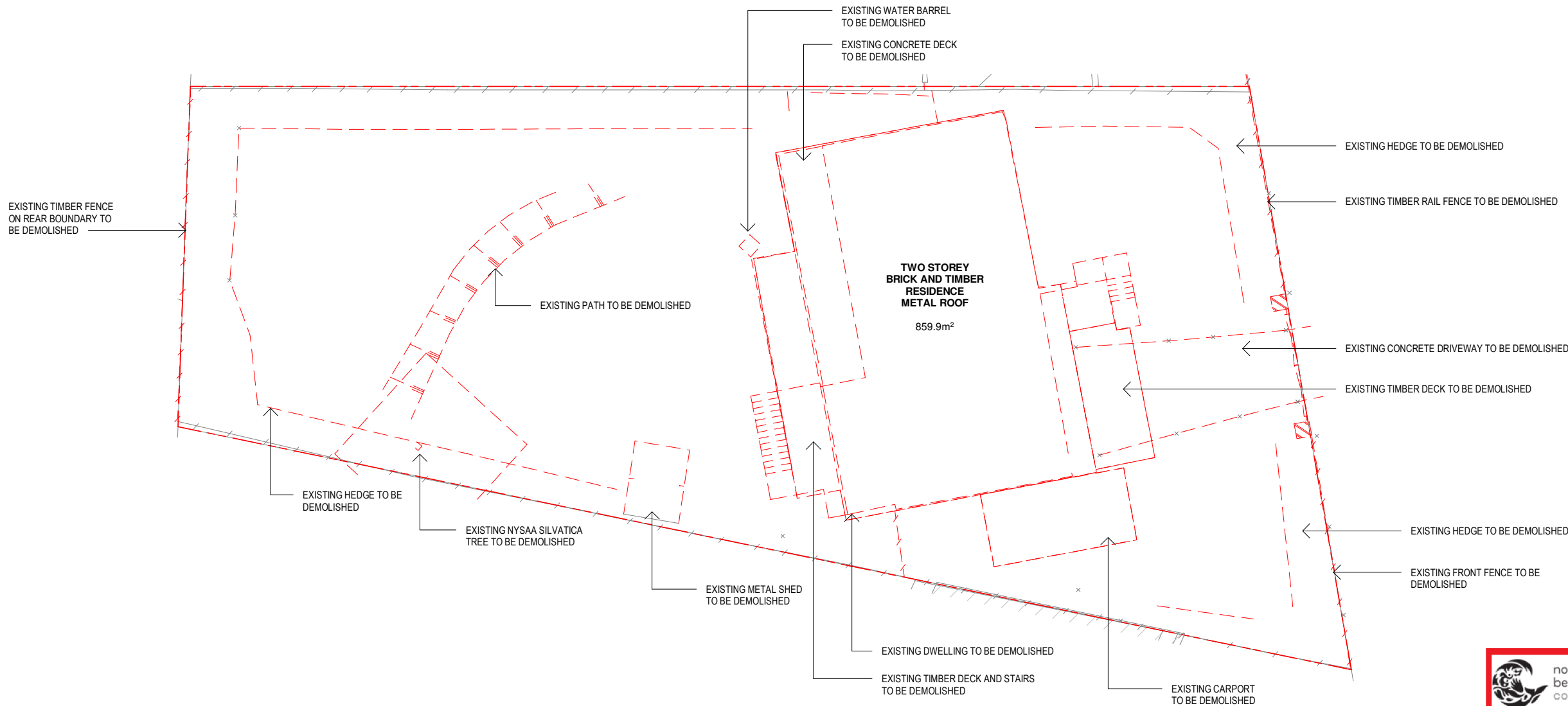
SITE COMPLIANCE TABLE		LOT 6 DP 246526
Site Area	CONTROL	PROPOSED
Maximum Building Height	8.5m	7.6m
Ground Floor Area	N/A	225.00 m ²
First Floor Area	N/A	185.00 m ²
Total Floor Area	N/A	410.00 m ²
Site Coverage	N/A	
Private Open Space	5m x 5m min. 60m ²	As per site plan
Front Setback	6.5 m	As per site plan
Rear Setback	6m	As per site plan
Side Setback	0.9 m	As per site plan
Private Open Space Area	60m ² , min. 5m	82m ²
Landscaped Open Space	40% or (343.9m ²)	347.9m ²
Rear setback encroachment	50% or (43.9m ²)	28.9m ²

BASIX NOTES:

- Fixtures**
 - The applicant must install showerheads with a minimum rating of 4 star (>4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.
 - The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
 - The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
 - The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.
- Rainwater Tank**
 - The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
 - The applicant must configure the rainwater tank to collect rain runoff from at least 179 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
 - The applicant must connect the rainwater tank to:
 - all toilets in the development
 - at least one outdoor tap in the development
- Swimming Pool**
 - The swimming pool must not have a volume of greater than 42 kilolitres.
 - The swimming pool must have a pool cover
 - The swimming pool must be outdoors
 - The applicant must install the following heating system for the swimming pool in the development
 - The applicant must install a timer for the swimming pool pump in the development
- Thermal Comfort**
 - The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application which were used to calculate those specifications.
 - The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below:
floor - concrete slab on ground: All or part of floor area square metres
- Hot Water**
 - The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 15 to 20 STCs or better.
- Cooling System**
 - The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0
 - The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0
- Heating System**
 - The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0
 - The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0
- Ventilation**
 - The applicant must install the following exhaust systems in the development:
 - At least 1 Bathroom: individual fan, ducted to facade or roof; Operation control: interlocked to light
 - Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off
 - Laundry: individual fan, ducted to facade or roof; Operation control: n/a
- Artificial Lighting**
 - The applicant must install the "primary type of artificial lighting" is fluorescent or lighting diode (LED) lighting in each of the following rooms, and where the word "dedicated" is used, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:
 - at least 6 of the bedrooms / study; dedicated
 - at least 2 of the living / dining rooms; dedicated
 - the kitchen; dedicated
 - all bathrooms / toilets; dedicated
 - all hallways; dedicated
- Natural Lighting**
 - The applicant must install a window and/or skylight in each of the following rooms:
 - at least 2 of the bedrooms / study
 - at least 1 of the living / dining rooms
 - at least 1 of the bathrooms / toilets
 - The applicant must install a window and/or skylight in each of the following rooms:
 - at least 2 of the bedrooms / study
 - at least 1 of the living / dining rooms
 - at least 1 of the bathrooms / toilets
 - The applicant must install a window and/or skylight in each of the following rooms:
 - at least 2 of the bedrooms / study
 - at least 1 of the living / dining rooms
 - at least 1 of the bathrooms / toilets
- Alternative energy**
 - The applicant must install a photovoltaic system with the capacity to generate at least 2.1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
- Other**
 - The applicant must construct each refrigerator space in the development so that it is "well ventilated" as defined in the BASIX definitions.
 - The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
 - The applicant must install a fixed outdoor clothes drying line as part of the development.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/2230





northern
beaches
council

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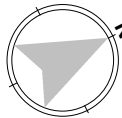
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B	23.06.07	FOR DA LODGEMENT

PROJECT:
PROPOSED 2 STOREY DWELLING

ADDRESS:
1 LANFORD AVENUE, KILLARNEY HEIGHTS, NSW, 2087

DRAWING TITLE:
DEMOLITION PLAN

SCALE:
1 : 200 @ A3



CLIENT:
MR & MRS J SMITH

DRAWN BY:	DZ	CHECKED BY:	SS
PROJECT NO:	Project Number	T.B.C.	
REV DATE:	21/06/23		

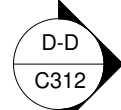
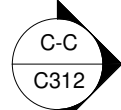
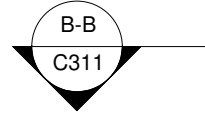
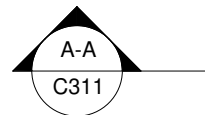
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GROUND FLOOR PLAN

1 : 100

MATERIAL LEGEND

PC-01	POLISHED INSITU CONCRETE
CP-01	CARPET
TL-01	TILES

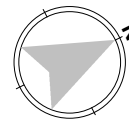
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PROJECT:
PROPOSED 2 STOREY DWELLING
ADDRESS:
1 LANFORD AVENUE, KILLARNEY HEIGHTS, NSW, 2087

DRAWING TITLE:
GROUND FLOOR PLAN
SCALE:
1 : 100 @ A3



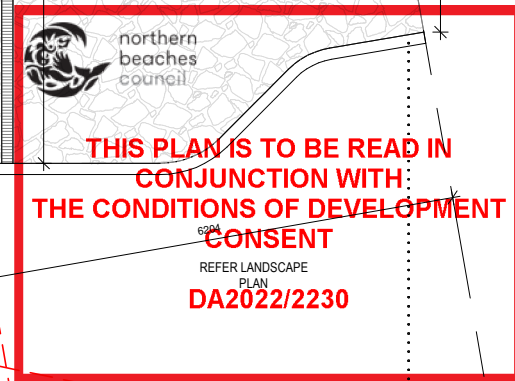
CLIENT:
MR & MRS J SMITH

DRAWN BY: **DZ** CHECKED BY: **SS**
PROJECT NO: **Project Number** T.B.C.
REV DATE: **21/06/23**

STATUS:
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DRAWING NO:
C101

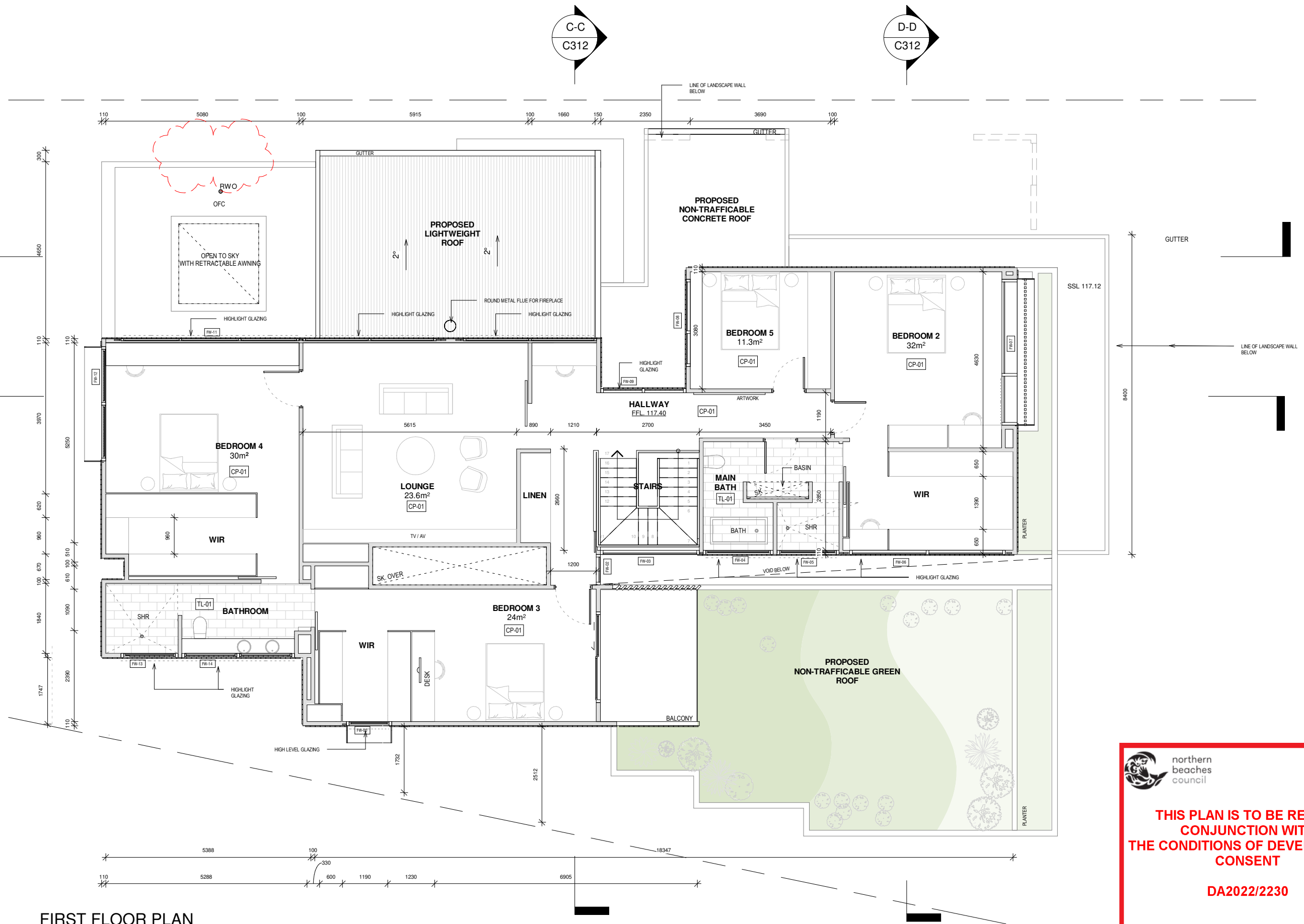
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MATERIAL LEGEND

PC-01 POLISHED INSITU CONCRETE
CP-01 CARPET
TL-01 TILES

FIRST FLOOR PLAN

1 : 100

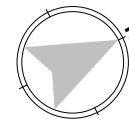
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DRAWING TITLE:
FIRST FLOOR PLAN
SCALE:
1 : 100 @ A3



CLIENT:
MR & MRS J SMITH

DRAWN BY: DZ CHECKED BY: SS
PROJECT NO: Project Number T.B.C.
REV DATE: 21/06/23

STATUS:
FOR DA

DRAWING NO:
C102

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beaches
council

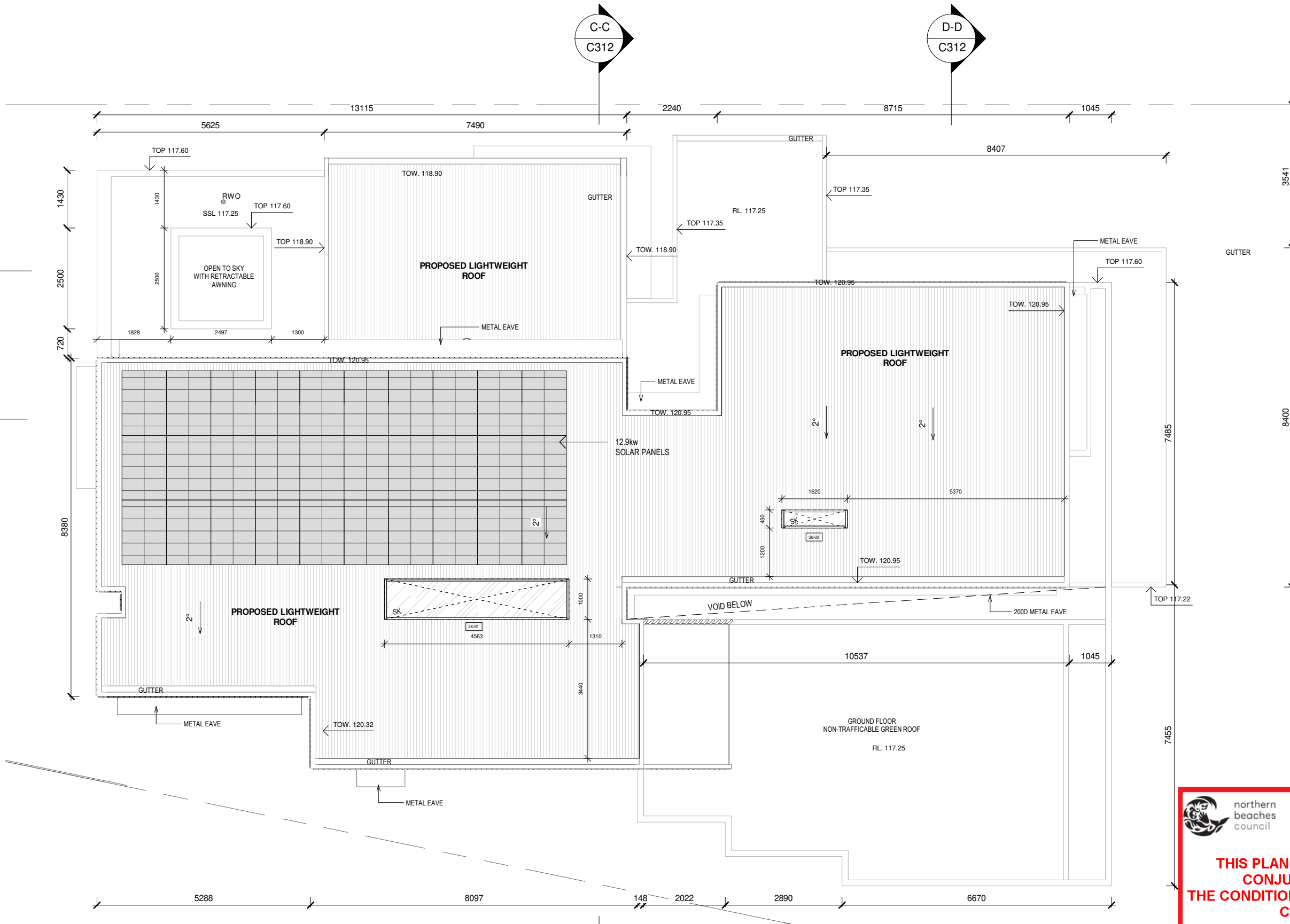
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ROOF FLOOR PLAN

1 : 100

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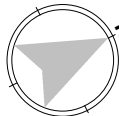
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ADDRESS:
1 LANFORD AVENUE, KILLARNEY HEIGHTS, NSW, 2087

DRAWING TITLE:
ROOF PLAN
SCALE:

1 : 100

@ A3



CLIENT:
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PROJECT NO: **Project Number** T.B.C.
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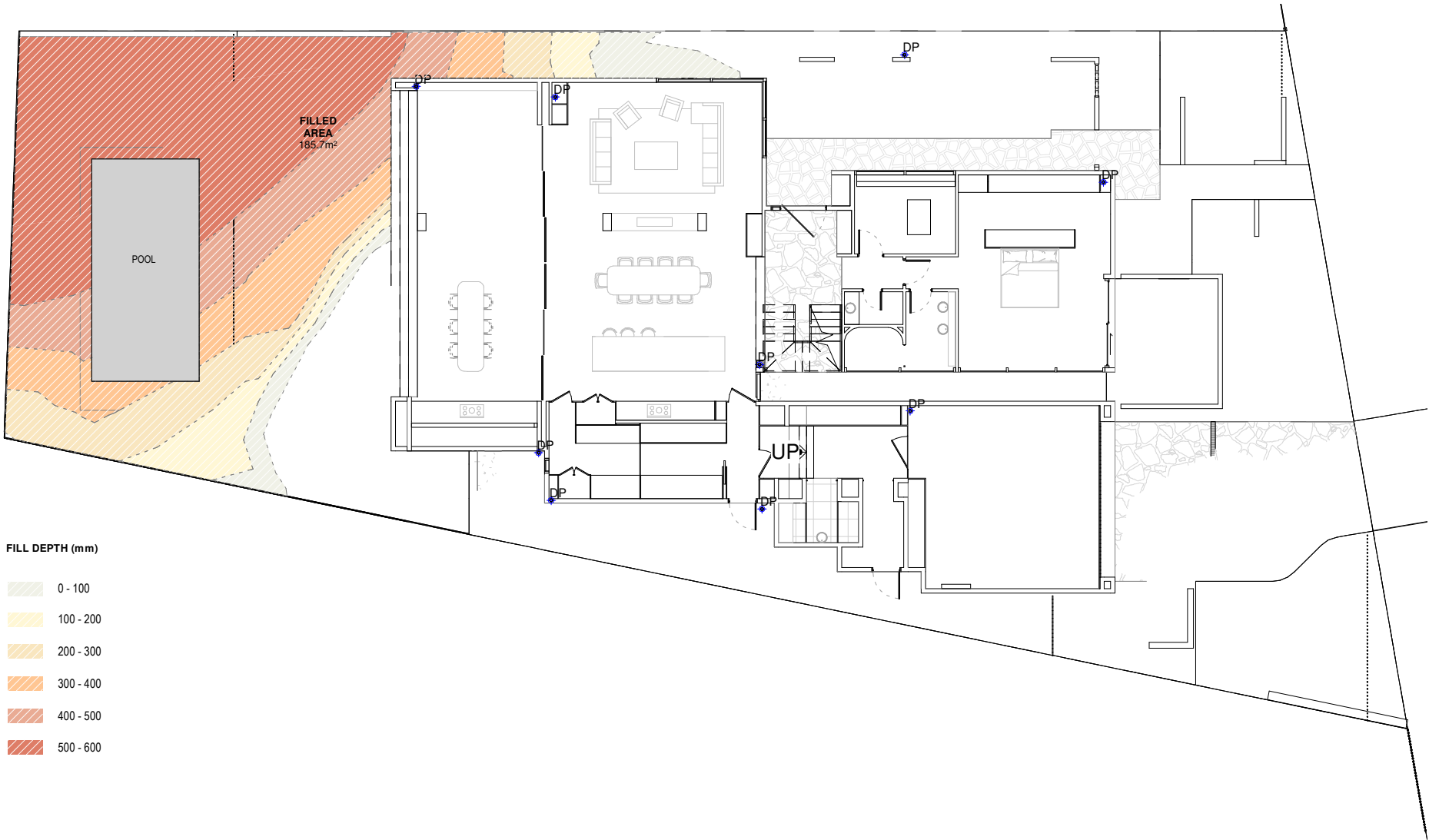
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EXCAVATION AND FILL PLAN

1 : 200

 northern beaches council

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PROJECT:
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ADDRESS:
1 LANFORD AVENUE, KILLARNEY HEIGHTS, NSW, 2087

DRAWING TITLE:
EXCAVATION AND FILL

SCALE:
1 : 200 @ A3

CLIENT:	MR & MRS J SMITH	
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PROJECT NO:	Project Number	T.B.C.
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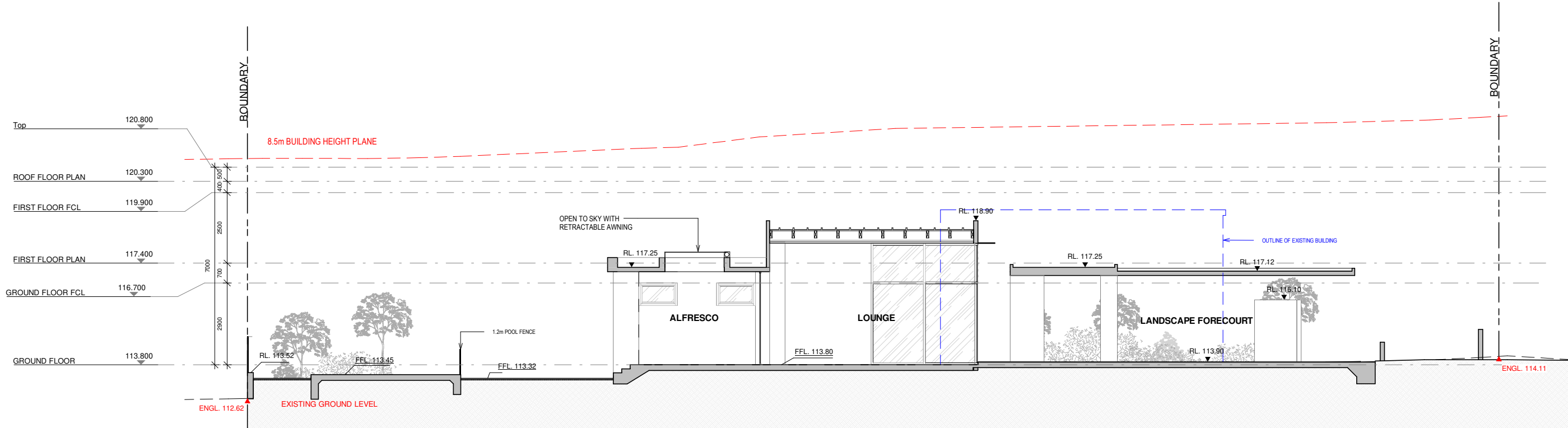
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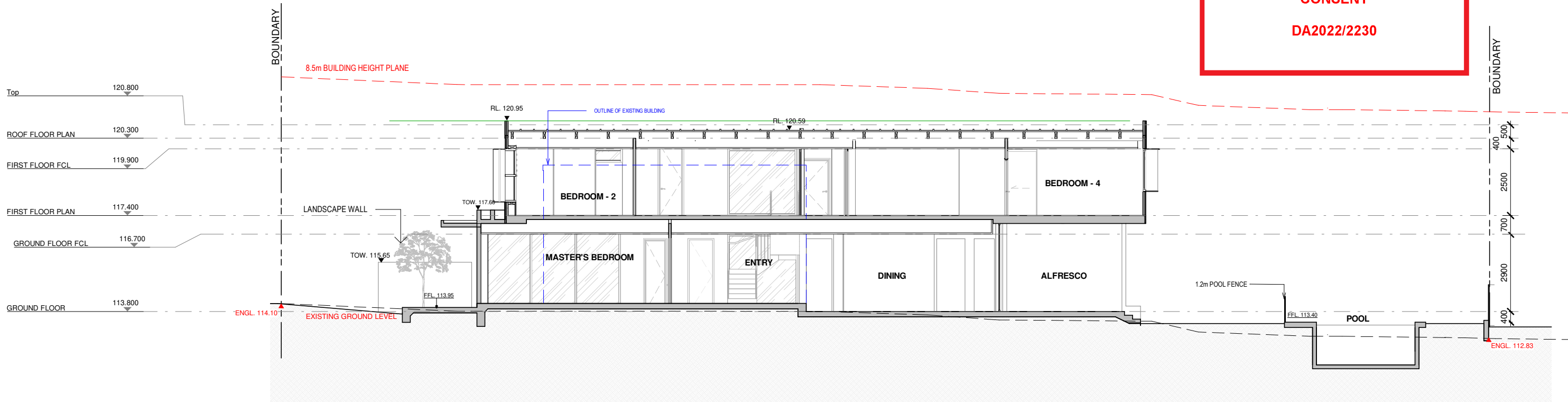


SECTION A-A
1 : 150

 northern
beaches
council

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SECTION B-B
1 : 150

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PROJECT:
PROPOSED 2 STOREY DWELLING
ADDRESS:
1 LANFORD AVENUE, KILLARNEY HEIGHTS, NSW, 2087

DRAWING TITLE:
SECTION A-A & B-B
SCALE:
1 : 150 @ A3

CLIENT:
MR & MRS J SMITH

DRAWN BY: DZ CHECKED BY: SS
PROJECT NO: Project Number T.B.C.
REV DATE: 21/06/23

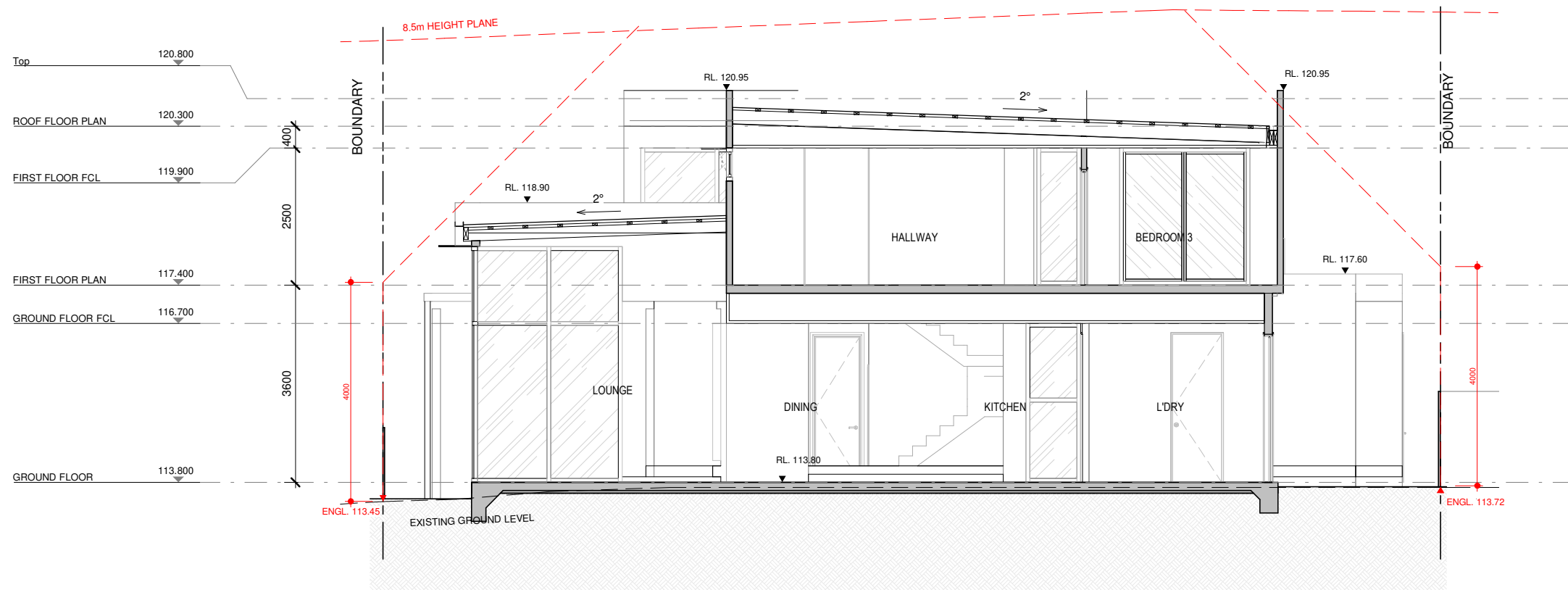
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DRAWING NO:
C311

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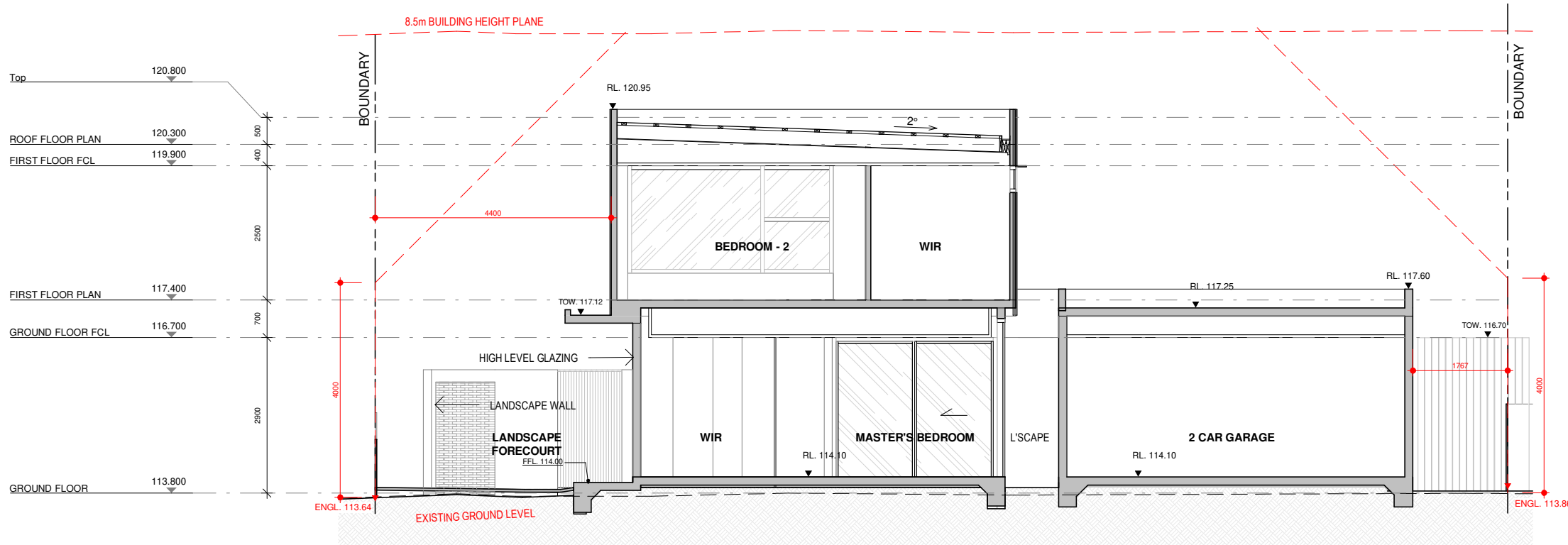
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SECTION C-C

1 : 100



SECTION D-D

1 : 100

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council**

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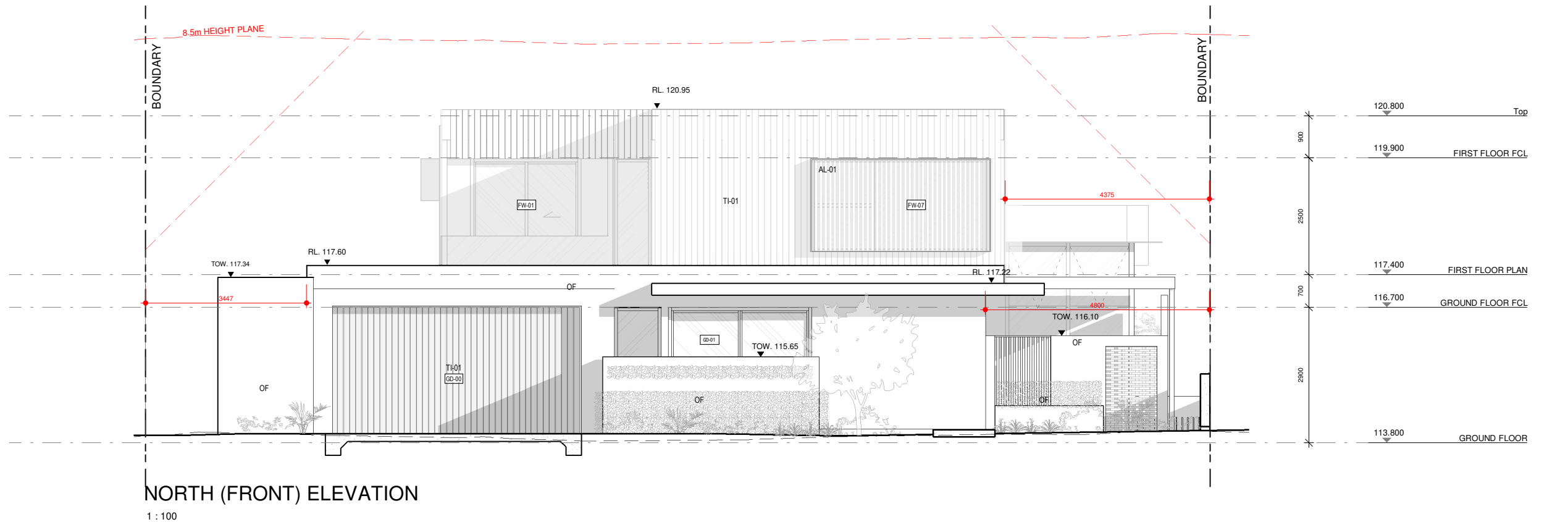
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ISSUE	DATE	DESCRIPTION	PROJECT:	DRAWING TITLE:	CLIENT:	STATUS:
A	22.11.24	FOR DA LODGEMENT	PROPOSED 2 STOREY DWELLING	SECTION C-C & D-D	MR & MRS J SMITH	FOR DA
B	23.03.09	FOR DA LODGEMENT	ADDRESS:	SCALE:	DRAWN BY: DZ	CHECKED BY: SS
C	23.06.02	FOR DA LODGEMENT	1 LANFORD AVENUE, KILLARNEY HEIGHTS, NSW, 2087	1 : 100	PROJECT NO: Project Number	T.B.C.
D	23.06.07	FOR DA LODGEMENT		@ A3	REV DATE: 21/06/23	DRAWING NO: C312
						REV D

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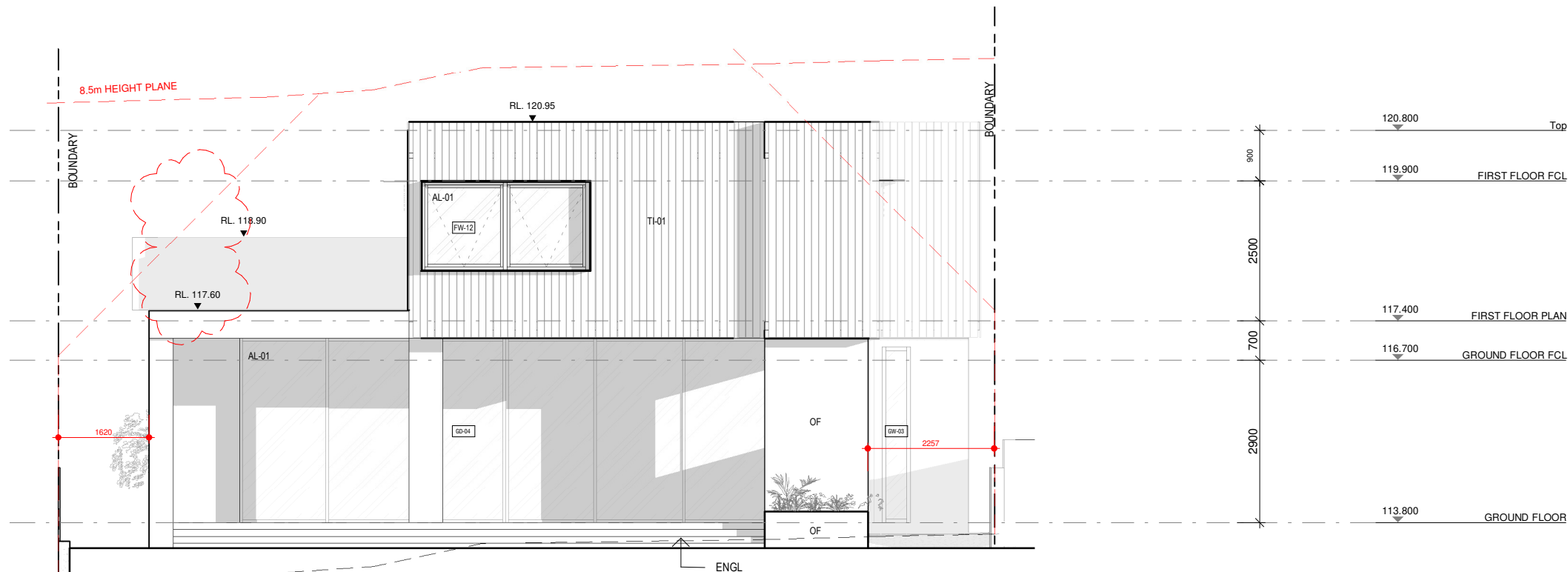
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NORTH (FRONT) ELEVATION

1 : 100



SOUTH (REAR) ELEVATION

1 : 100

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beaches
council**

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PROJECT:
PROPOSED 2 STOREY DWELLING

ADDRESS:
1 LANFORD AVENUE, KILLARNEY HEIGHTS, NSW, 2087

DRAWING TITLE:
ELEVATIONS

SCALE:
1 : 100 @ A3

CLIENT:
MR & MRS J SMITH

DRAWN BY: **DZ** CHECKED BY: **SS**

PROJECT NO: **Project Number** T.B.C.

REV DATE: **21/06/23**

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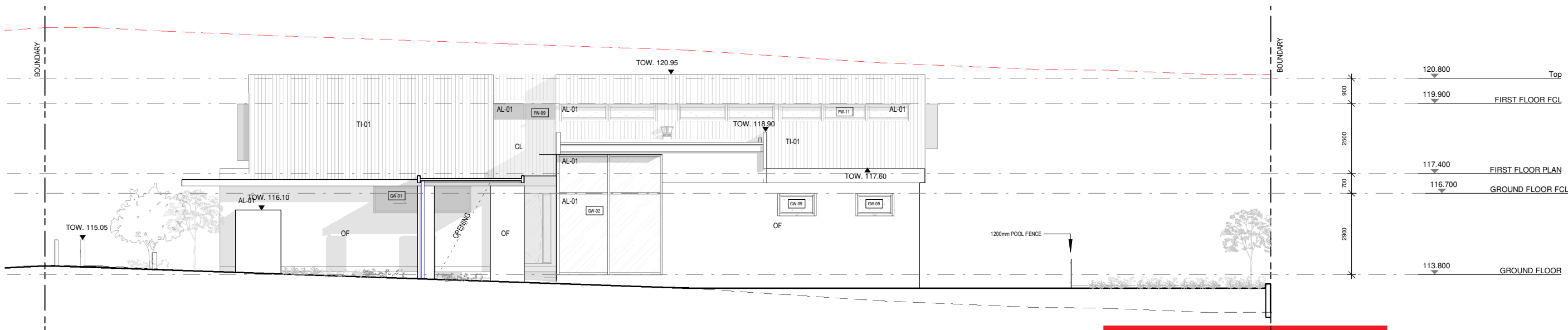
DRAWING NO:
C320

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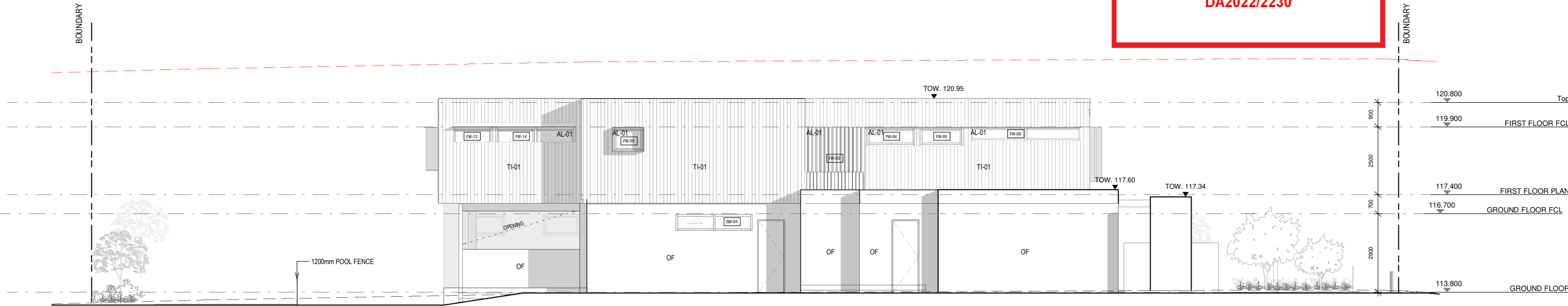
WEST ELEVATION

1 : 150

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EAST ELEVATION

1 : 150

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Tesserarch Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

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ISSUE	DATE	DESCRIPTION
A	22.11.24	FOR DA LODGEMENT
B	23.03.09	FOR DA LODGEMENT
C	23.06.02	FOR DA LODGEMENT
D	23.06.07	FOR DA LODGEMENT
E	23.06.21	FOR DA LODGEMENT

PROJECT:
PROPOSED 2 STOREY DWELLING
ADDRESS:
1 LANFORD AVENUE, KILLARNEY HEIGHTS, NSW, 2087

DRAWING TITLE:
ELEVATIONS
SCALE:
1 : 150 @ A3

CLIENT:
MR & MRS J SMITH

DRAWN BY: **DZ** CHECKED BY: **SS**
PROJECT NO: **Project Number** T.B.C.
REV DATE: **21/06/23**

STATUS:
FOR DA

DRAWING NO:
C321

REV
E

TESSERARCH

31 Woodstock Road
Carlingford NSW 2151
info@tesserarch.com.au
T 0488 22 1234

6/21/2023 4:19:19 PM

TI-01

AL-01

OF



FRONT ELEVATION

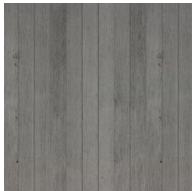


REAR ELEVATION

AL-01

TI-01

OF



TI-01
TIMBER CLADDING
ACCOYA COLOUR GREY



AL-01
ALUMINUM FRAME
BLACK



OF
PRECAST CONCRETE
LIGHT GREY



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/2230

All dimensions are to be checked by the builder on site and any discrepancies brought to the attention of Tesseract Pty Ltd prior to construction. When a dimension is not clear it is the builder's responsibility to clarify the dimension with the architect. It is the builder's responsibility to cross reference working drawings with authority endorsed documents. These drawings are not to be scaled. This design is dependent on approval by relevant authorities and comparison with client budget requirements. At time of design, confirmation of these approvals has not been received.

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ISSUE	DATE	DESCRIPTION
A	22.11.24	FOR DA LODGEMENT
B	23.03.09	FOR DA LODGEMENT
C	23.06.02	FOR DA LODGEMENT

PROJECT:
PROPOSED 2 STOREY DWELLING
ADDRESS:
1 LANFORD AVENUE, KILLARNEY HEIGHTS, NSW, 2087

DRAWING TITLE:
SCHEDULE OF COLOURS AND MATERIALS
SCALE:
@ A3

CLIENT:
MR & MRS J SMITH

DRAWN BY:	YL	CHECKED BY:	SS
PROJECT NO:	Project Number	T.B.C.	
REV DATE:	21/06/23		

STATUS:
FOR DA

DRAWING NO:
C700

REV
C

TESSERARCH

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