

Zone B. Refer to
L-03 for details.

- 90 x 19 x 1200mm (h) timber picket fence with top rail & minimum 25mm aperture.
- 90 x 19 x 1200mm (h) timber picket sliding gate with top rail & minimum 25mm aperture & motor to vehicular entry access.
- Letter box & street number set in 1200mm (h) timber picket fence.
- 90 x 19 x 1200mm (h) timber picket pedestrian gate with top rail & minimum 25mm aperture.
- 90 x 19 x 1200mm (h) timber picket fence with top rail & minimum 25mm aperture.
- 90 x 19 x 1200mm (h) timber picket fence with top rail & minimum 25mm aperture.

Note: Landscape works
to previous application.

Note:
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- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.
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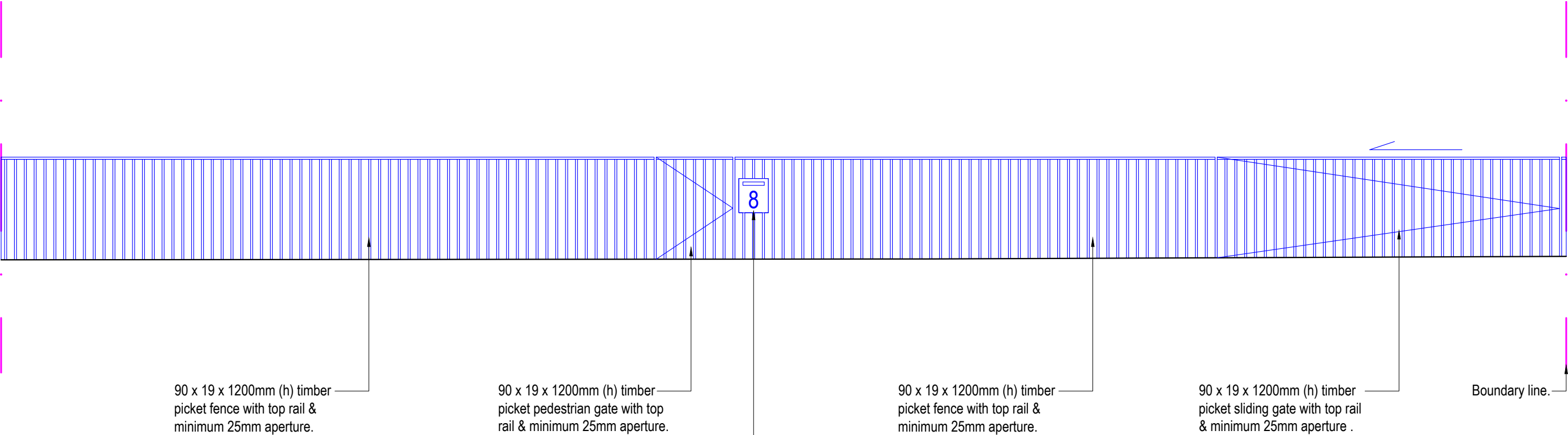
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Client:
Anthony Quigley
Site Address:
**8 Yarrabin Street
Belrose**

Drawing Title:
Zone A Detail Plan
Drawn by:
Ben Farrar
TLA Member
Project Number:
21799-Pool
Scale:
1:100 @ A3
Sheet Number:
L-02 of 8

Rev:	Date:	Issue:	Checked:
A	22/07/2021	Preliminary Issue	EC
B	28/07/2021	DA Issue	EC





Sectional Elevation AA
Scale 1:50

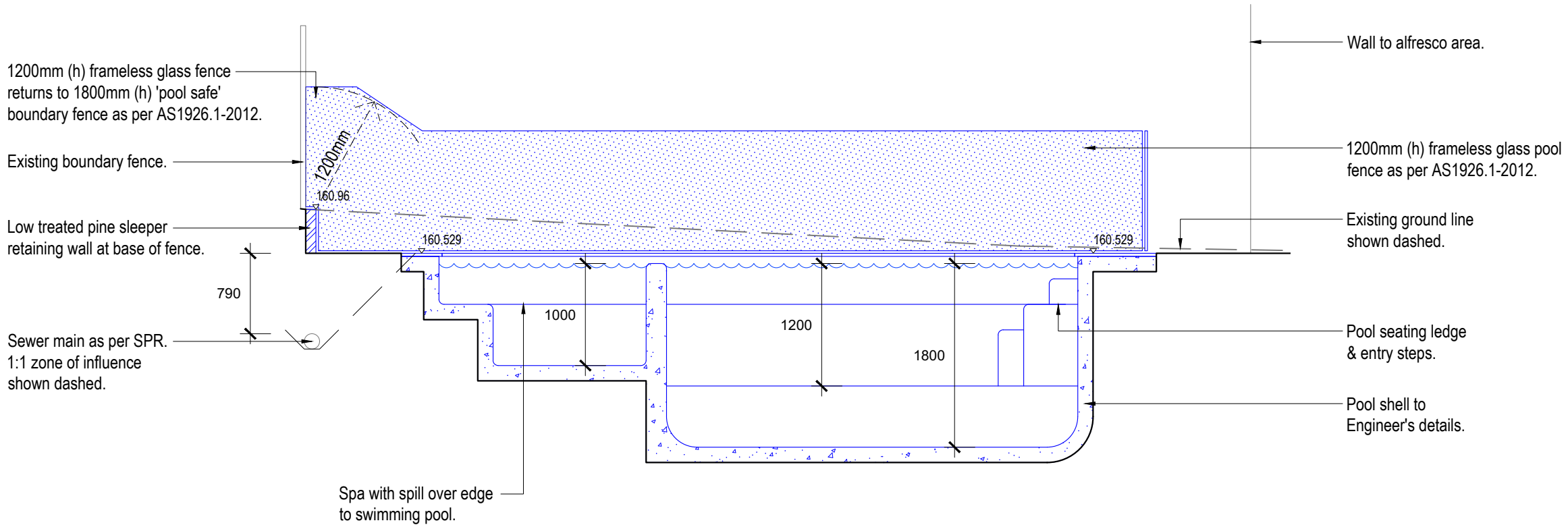
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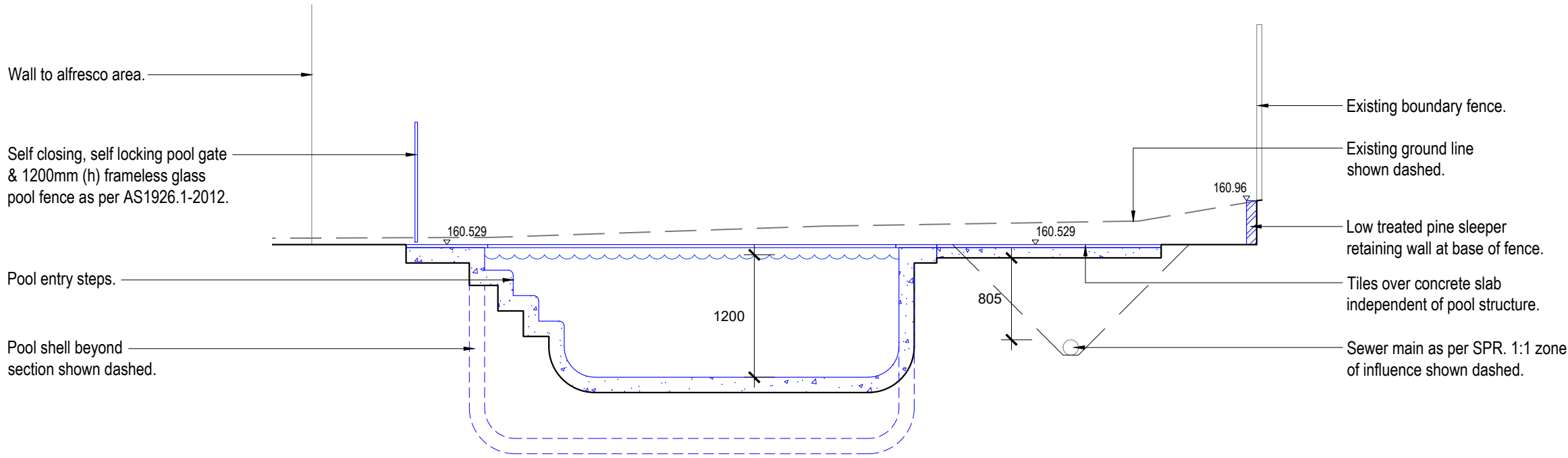
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Client: Anthony Quigley		Drawing Title: Sectional Elevation				Rev:	Date:	Issue:	Checked:
						A	22/07/2021	Preliminary Issue	EC
Site Address: 8 Yarrabin Street Belrose		Drawn by: Ben Farrar TLA Member	Project Number: 21799-Pool	Scale: 1:50 @ A3	Sheet Number: L-05 of 8	B	28/07/2021	DA Issue	EC



Sectional Elevation BB
Scale 1:50



Sectional Elevation CC
Scale 1:50

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Client:
Anthony Quigley

Site Address:
**8 Yarrabin Street
Belrose**

Drawing Title:
Sectional Elevations

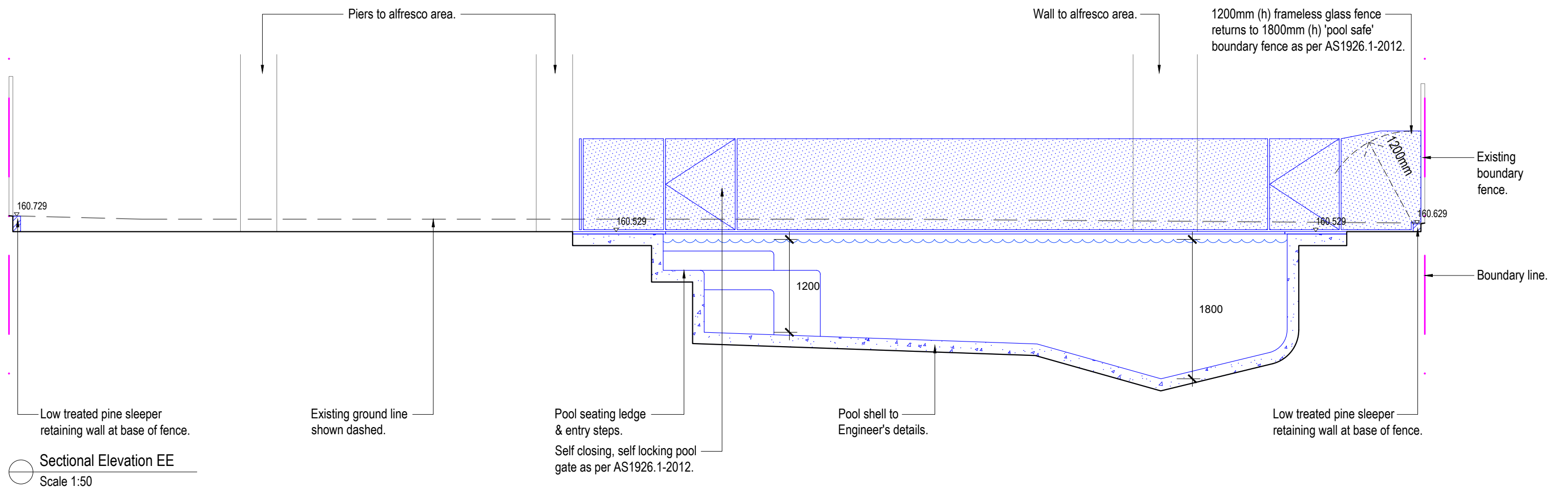
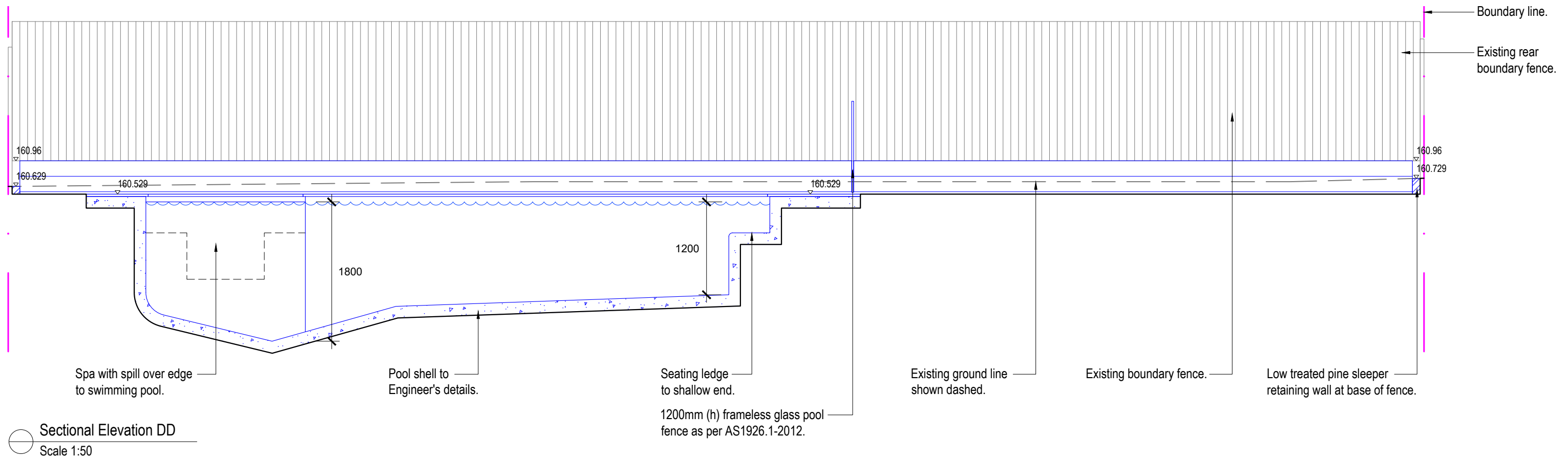
Drawn by:
Ben Farrar
TLA Member

Project Number:
21799-Pool

Scale:
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Sheet Number:
L-06 of 8

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Client:

Anthony Quigley

Site Address:

8 Yarrabin Street
Belrose

Drawing Title:

Sectional Elevations

Drawn by:
Ben Farrar
TLA Member

Project Number:
21799-Pool

Scale:
1:50 @ A3

Sheet Number:
L-07 of 8

Rev:

Date:

Issue:

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A

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Preliminary Issue

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DA Issue

EC

LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION

Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

PROTECTION OF EXISTING TREES:

All tree protection is to be undertaken in accordance with the guidelines provided in AS4970-2009

Protection of trees on development sites.

Prior to construction, the builder shall erect tree protection fencing for each protected tree. Tree protection

fencing setbacks are to be determined by multiplying the diameter at breast height by twelve (12).

Fencing is to consist of Chain wire mesh panels at least 1.8m in height, anchored with concrete feet.

Signage stating “Tree Protection Zone – No Access” is to be displayed on the fencing.

According to AS 4970-2009, activities excluded from the TPZ include but are not limited to;

- machine excavation including trenching
- excavation for silt fencing
- cultivation
- storage
- preparation of chemicals, including preparation of cement products
- parking of vehicles and plant and/or refuelling
- dumping of waste and/or wash down and cleaning of equipment
- soil level changes and/or placement of fill
- lighting of fires
- temporary or permanent installation of utilities and signs
- physical damage to the tree.

REMOVAL OF EXISTING TREES

All trees to be removed shall be carried out by a qualified arborist and work shall conform to the provisions of AS4373-2007 Australian Standards for The Pruning of Amenity Trees.

ELIMINATE WEEDS

Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.

EXCAVATION & SUB SOIL PREPARATION

Excavate garden beds to the depth required and rip or scarify base & sides of pit to a minimum depth of 150mm.

SUB SOIL DRAINAGE

Install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding.

Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to sw system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.

REUSE EXISTING TOPSOIL

Existing site topsoil should be salvaged & appropriately stockpiled where possible.

IMPORTED TOPSOIL

Quality System: AS 4419 or as specified below.

Turf Areas: 'Turf Underlay' as supplied by, ANL p: 02 9450 1444 or approved alternative.

Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by, ANL p: 02 9450 1444 or approved alternative.

PLANTING

Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Crowns must contain no epicormic shoots or dieback.

Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%

All plants supplied should be consistent with the guidelines provided in AS2303-2015 Tree stock for landscape use.

ALUMINIUM GARDEN EDGING

Supply and install Link Edge 75mm as per Landscape Plan. Compact and level the base in the required area as indicated on Landscape Plan. Half hammer spikes into pre-punched holes (approx. 4 spikes every 3m length) starting from the first hole in the end of the Link Edge. Use spike washers supplied by manufacturer.Half hammer subsequent spikes in pivotal areas along the length. (Especially at points where a curve is required). Connect lengths together by using fish-plate connectors supplied by manufacturer.

Check position of Link Edge is correct before hammering spikes firmly into ground.

IRRIGATION SYSTEM

New dripline irrigation system to be installed with backflow preventer and with timers. Irrigation system to be designed and installed to local codes.

The entire irrigation system shall be fully automated and provide drip irrigation to all tree, shrub and ground cover zones. It is the Contractor's responsibility to verify water pressure available and determine all design-built parameters prior to any installation and sizing of irrigation components. Irrigation system to be connected to water tank to supplement water from mains.

MULCHING

Quality system: AS 4454

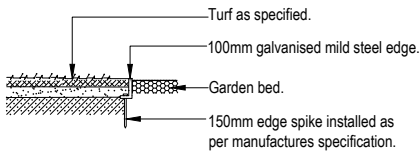
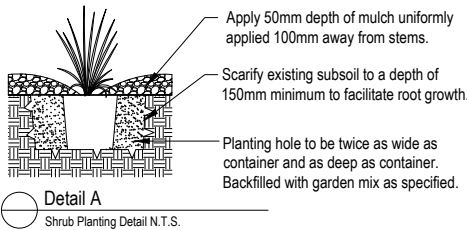
All planting area impacted by building works to receive 50-75mm of garden Mulch, Hort-Bark, ANL p: 02 9450 1444 or approved alternative. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

WATERING

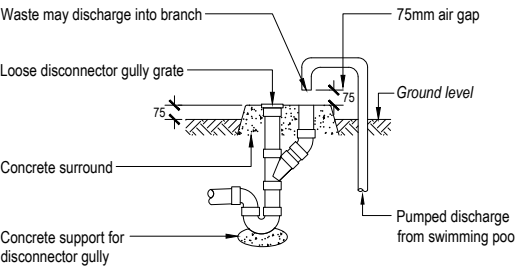
Water in immediately after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.

RETAINING WALLS & PLANTER BOXES

All retaining walls & planter boxes to be constructed to Engineer's details. Ensure all internal surfaces are waterproofed. Geotextile wrapped ag. drainage line backfilled with aggregate is to be installed behind all retaining walls & connected to stormwater in accordance with Sydney Water regulations. All planter boxes are to have Atlantis drainage cell (or approved alternative) installed & connected to stormwater in accordance with Sydney Water regulations.



Detail B
Galv. Mild Steel Edge Detail N.T.S.



Note: Overflow relief gully (ORG) to be constructed to AS/NZS 3500.

Detail C
Overflow relief gully N.T.S.

BASIX REQUIREMENTS

RAINWATER TANK

THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1695 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 270 SQUARE METRES OF ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

OUTDOOR SWIMMING POOL

THE SWIMMING POOL MUST BE OUTDOORS. THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 48 KILOLITRES. THE SWIMMING POOL MUST HAVE A POOL COVER. THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL. THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT: GAS

OUTDOOR SPA

THE SPA MUST NOT HAVE A CAPACITY GREATER THAN 2.75 KILOLITRES. THE SPA MUST HAVE A SPA COVER. THE APPLICANT MUST INSTALL A SPA PUMP TIMER. THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SPA THAT IS PART OF THIS DEVELOPMENT: GAS

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Site Address: 8 Yarrabin Street Belrose		Drawn by:	Project Number:	Scale:	Sheet Number:				
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