

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
P.O. Box 6193 Frenchs Forest DC NSW 2086  
Fax: (02) 9905-8865 Mobile: 0414-945-024  
Email: [gregg@rapidplans.com.au](mailto:gregg@rapidplans.com.au)



BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

**DEVELOPMENT APPLICATION**  
**Alterations & Additions To Existing Residence**  
**For Ron and Carolyn Delezio**  
**54 Smith Street, Manly**

**Lot 3 D.P. 259647**

**Project Number: RP0720DEL**

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 17/12/20
DA1001	A4 NOTIFICATION PLAN	-	- 17/12/20
DA1002	SITE SURVEY	-	- 17/12/20
DA1003	SITE PLAN	-	- 17/12/20
DA1004	Existing Ground Floor Plan	-	- 17/12/20
DA1005	Existing Roof Plan	-	- 17/12/20
DA1006	Demolition Ground Floor Plan	-	- 17/12/20
DA1007	Demolition Roof Plan	-	- 17/12/20
DA1008	Excavation & Fill Plan	-	- 17/12/20
DA1009	Landscape Open Space Plan Existing	-	- 17/12/20
DA1010	Landscape Open Space Plan Proposed	-	- 17/12/20
DA1011	Landscape Plan	-	- 17/12/20
DA1012	Sediment & Erosion Plan	-	- 17/12/20
DA1013	Waste Management Plan	-	- 17/12/20
DA1014	Stormwater Plan	-	- 17/12/20
DA2001	GROUND FLOOR	-	- 17/12/20
DA2002	ROOF	-	- 17/12/20
DA3000	SECTION 1	-	- 17/12/20
DA4000	ELEVATIONS 1	-	- 17/12/20
DA4001	ELEVATIONS 2	-	- 17/12/20
DA5000	PERSPECTIVE	-	- 17/12/20
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 17/12/20
DA5002	SHADOW PLAN 21st June 9am	-	- 17/12/20
DA5003	SHADOW PLAN 21st June 12pm	-	- 17/12/20
DA5004	SHADOW PLAN 21st June 3pm	-	- 17/12/20
DA5005	WALL ELEVATION SHADOWS	-	- 17/12/20



**BASIX® Certificate**

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

**Alterations and Additions**

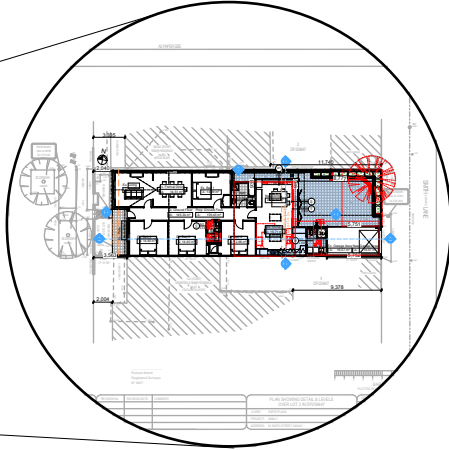
Certificate number: A402153

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Wednesday, 16, December 2020  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,  
Industry &  
Environment



Description of project

Project address	
Project name	Delezio
Street address	54 Smith Street Manly 2095
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 259647
Lot number	3
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

**Certificate Prepared by** (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592

## LEGEND

EB - EDGE OF BITUMEN  
EC - EDGE OF CONCRETE  
TB - TOP OF BANK  
BB - BOTTOM OF BANK  
TW - TOP OF WINDOW  
BW - BOTTOM OF WINDOW  
TG - TOP OF GUTTER  
RR - ROOF RIDGE  
FL - FLOOR LEVEL  
INV - INVERT LEVEL  
ELEC - ELECTRICAL PIT  
Ø4/S10H16 - TREE DIAMETER/SPREAD/HEIGHT

## NOTE:

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 13/07/2020.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 787 WITH RL 5.214 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

R648589 CROSS EASEMENTS AFFECTING THE PARTY WALL ON THE COMMON BOUNDARY OF LOTS 3 AND 4 IN DP259647

## LEGEND

BENCH MARK	▲
TELSTRA PIT	⬢ TEL
ELECTRIC LIGHT POLE	⬢ LP
POWER POLE	⬢ PP
SIGN POST	⬢ SP
SEWER INSPECTION PIT	⬢ SIP
SEWER VENT	⬢ SEWER
MANHOLE	⬢ MH
SEWER MANHOLE	⬢ SMH
STOP VALVE	⬢ SV
WATER HYDRANT	⬢ HYD
WATER METER	⬢ WM
GAS METER	⬢ GM
STATE SURVEY MARK	⬢ SSM



DIALBEFORE  
YOU DIG  
www.1100.com.au



**TSS TOTAL SURVEYING  
SOLUTIONS**

LANE COVE | CAMDEN | MANLY VALE | CENTRAL COAST

## NOTE:

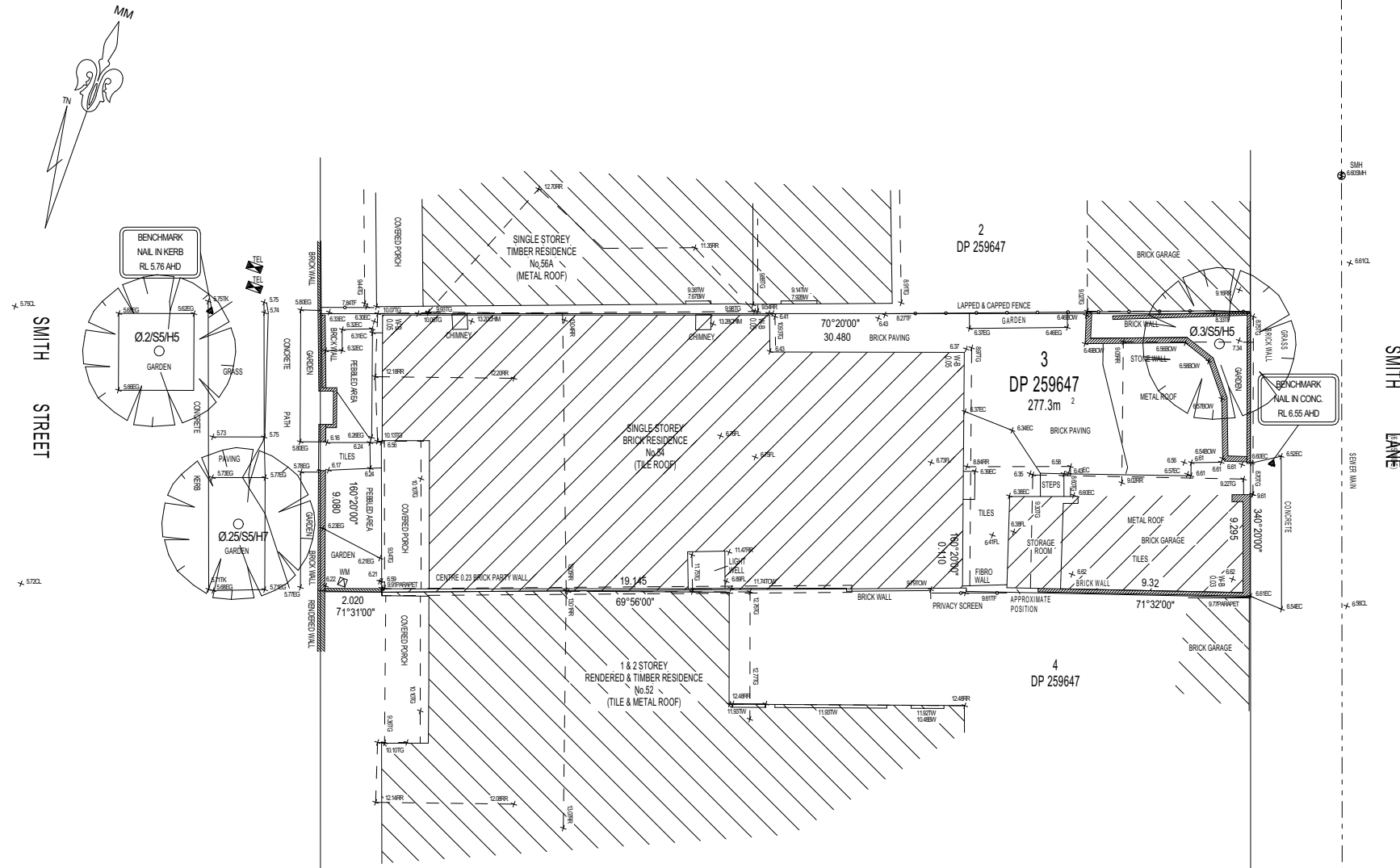
INFORMATION CONTAINED IN THIS PLAN IS THE COPYRIGHT OF TOTAL SURVEYING SOLUTIONS. THE USE OR DUPLICATION WITHOUT THE WRITTEN CONSENT OF TOTAL SURVEYING SOLUTIONS CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.

REVISION No.	REVISION DATE:	COMMENT:

**PLAN SHOWING DETAIL & LEVELS  
OVER LOT 3 IN DP259647**

CLIENT: RAPID PLANS  
PROJECT: MANLY  
ADDRESS: 54 SMITH STREET, MANLY

JOB No.: 201094	LGA: NORTHERN BEACHES
PLAN No.: 201094-1	DATUM: AHD
DATE: 13/07/2020	SCALE: 1:100@A2
DRAWN: DF	CONT. INTERVAL: 0.25m
CHK: SF	SHEET 1 OF 1



Richard Abbott  
Registered Surveyor  
N° 9057

BAR SCALE  
PLOTTED SCALE 1:100 (A2 SIZE SHEET)

1

**SURVEY PLAN**  
1:200

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**



Denotes New Works

### Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

**Rapid Plans**  
Building Design and Architectural Drafting

© Copyright Rapid Plans 2020

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdaa**  
ACCREDITED  
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

54 Smith Street, Manly is zoned R1-General Residential

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction

Current Site Floor, Framed, Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed, Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1288-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A402153

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

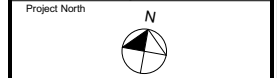
Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m <sup>2</sup> )	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 17/12/2020  
Project NO.: RP07/20DEL  
Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE: SITE AND LOCATION

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 17/12/20

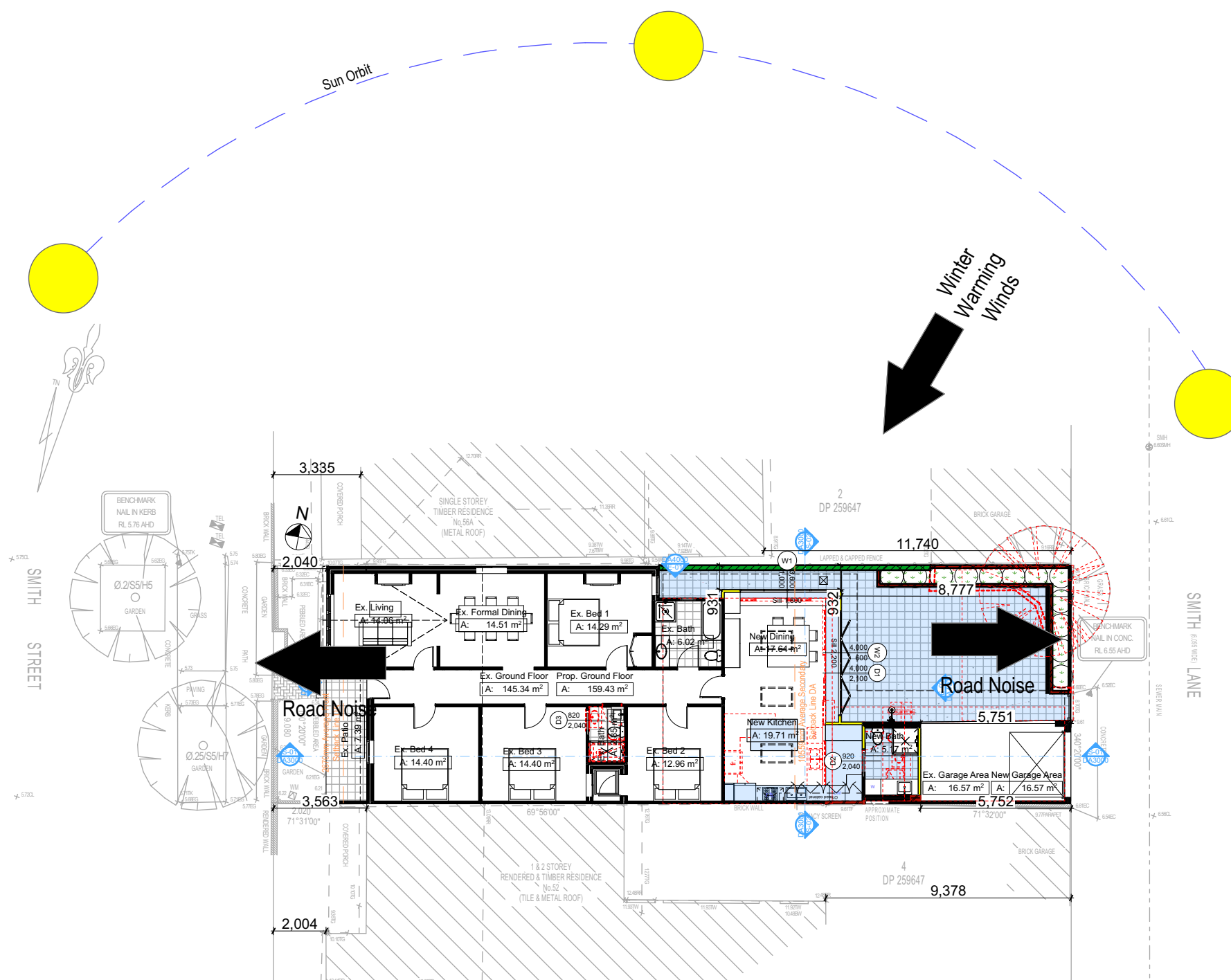
DRAWING NO. DA1003

Plot Date: 17/12/2020

Sheet Size: A3

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



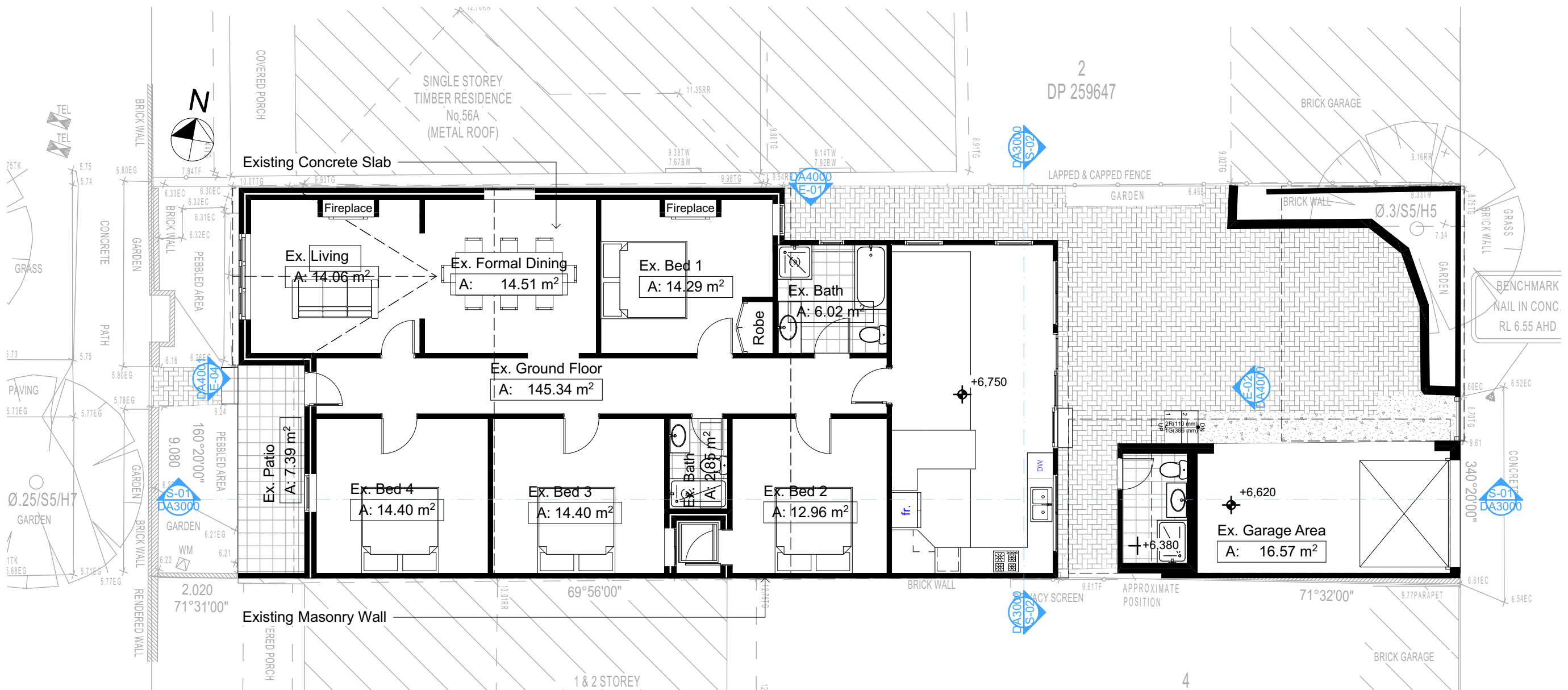
**SITE PLAN**  
1:200

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: cavity brick	nil	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Wall Legend

Denotes Existing Wall



EXISTING GROUND FLOOR  
1:100

Builder To Check & Confirm Existing  
Measurements Prior to Commencement

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

**NOTES**

54 Smith Street, Manly is zoned R1-General Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

54 Smith Street, Manly is not considered a heritage item

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**

Concrete Slab Floors, Framed, Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed, Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m <sup>2</sup> )	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

**Rapid Plans**

Building Design and Architectural Drafting

© Copyright  
Rapid Plans 2020

**bdaa**

BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdaa**

ACCREDITED  
BUILDING DESIGNER

Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans

Project North

Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
17/12/2020  
RP0720DEL  
DA

Client  
Site:

Ron and Carolyn Delezio  
54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION  
**Existing Ground Floor Plan**

PROJECT NAME :

**Alterations & Additions**

REVISION NO.

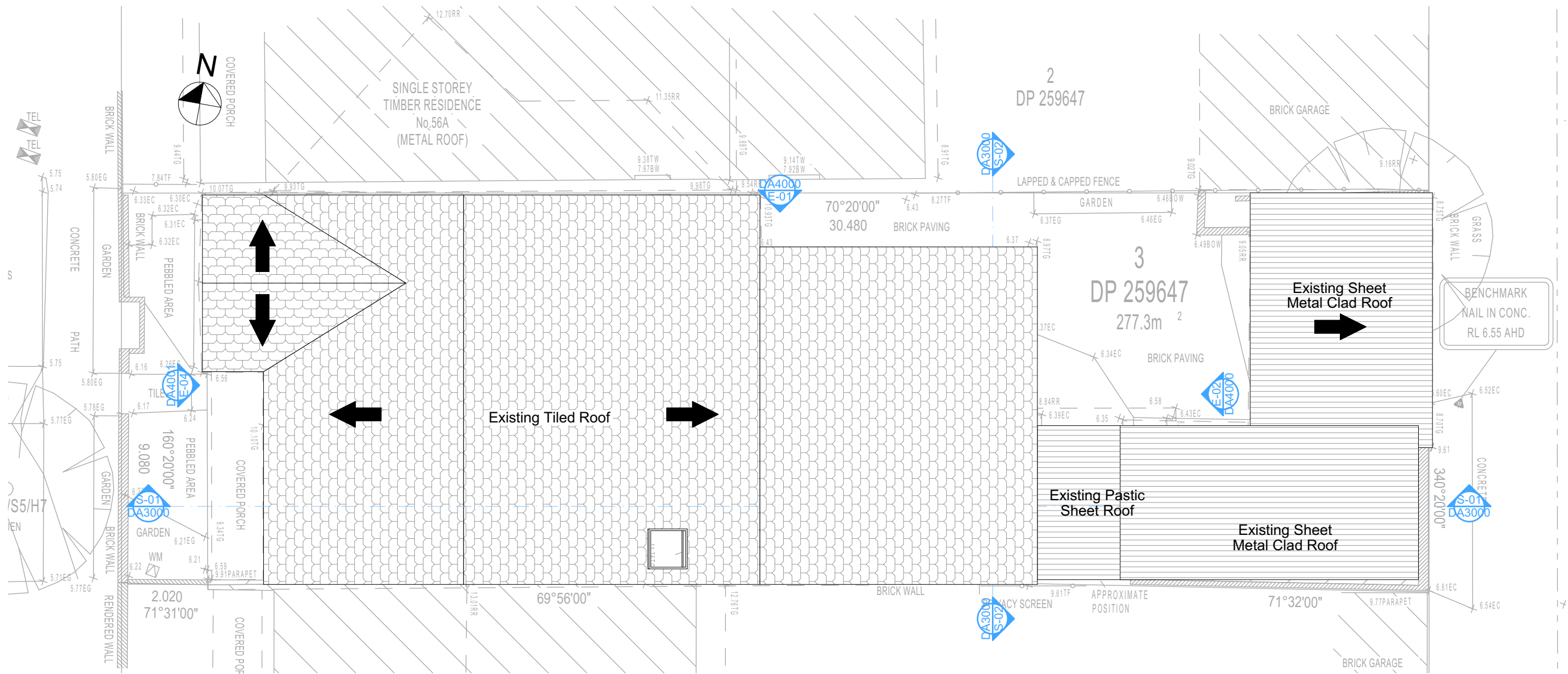
DATE:  
**17/12/20**

DRAWING NO.  
**DA1004**



Wall Legend

Denotes Existing Wall



Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY  
NOT FOR CONSTRUCTION

**NOTES**  
54 Smith Street, Manly is zoned R1-General Residential  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
54 Smith Street, Manly is not considered a heritage item

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Concrete Slab Floors, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A402153  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

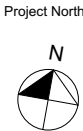
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m <sup>2</sup> )	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			



© Copyright  
Rapid Plans 2020



Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date: 17/12/2020  
Project NO: RP0720DEL  
Project Status: DA  
Client: Ron and Carolyn Delezio  
Site: 54 Smith Street, Manly  
Sheet Size: A3

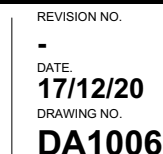
DRAWING TITLE :  
SITE AND LOCATION  
Existing Roof Plan  
PROJECT NAME :  
Alterations & Additions

REVISION NO.  
DATE: 17/12/20  
DRAWING NO.  
DA1005

 Denotes Existing Wall  
 Denotes Demolished Item



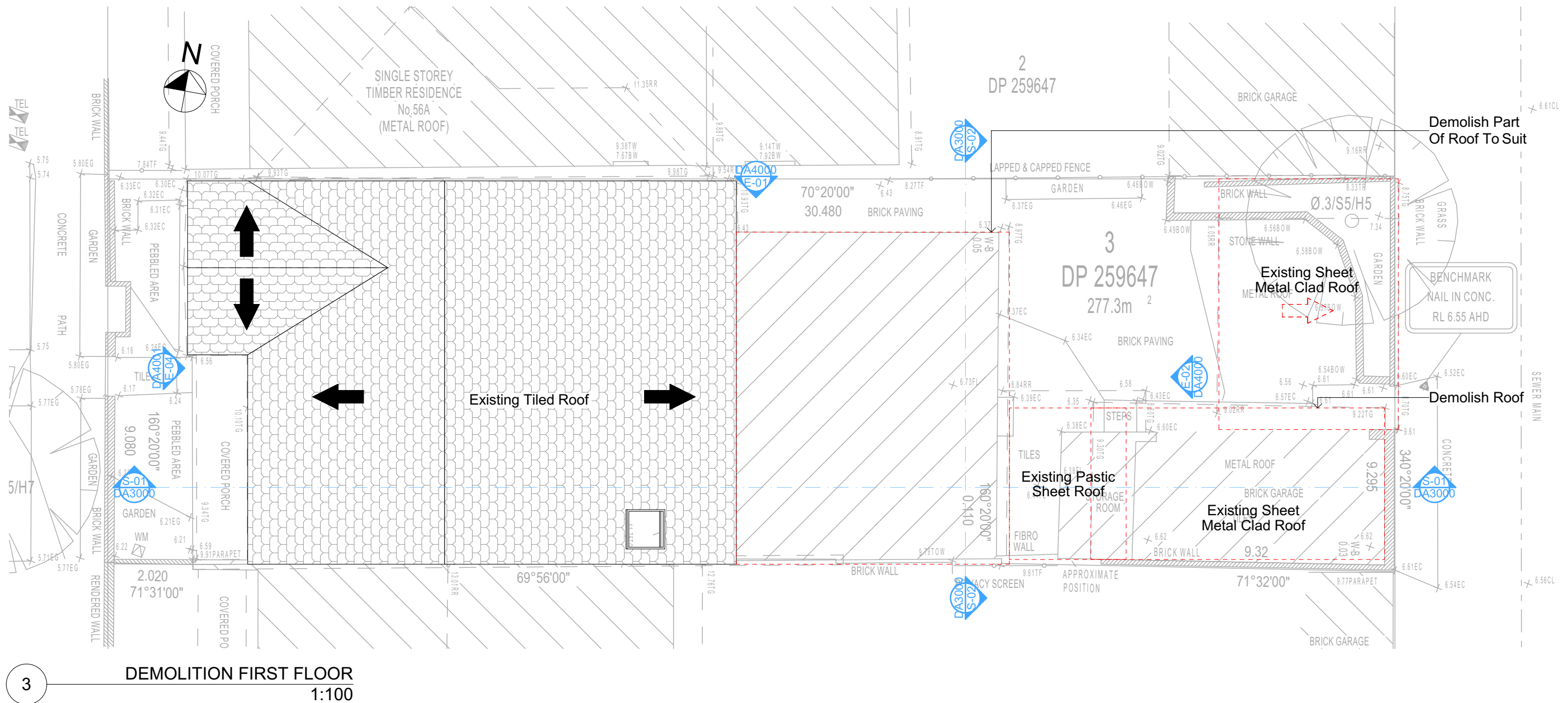
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m <sup>2</sup> )	75%	Variation
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			





Wall Legend

Denotes Existing Wall  
Denotes Demolished Item



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY  
NOT FOR CONSTRUCTION

**NOTES**  
54 Smith Street, Manly is zoned R1-General Residential  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
54 Smith Street, Manly is not considered a heritage item

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Concrete Slab Floors, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basic Certificate Number A402153  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

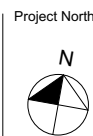
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m <sup>2</sup> )	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			



© Copyright  
Rapid Plans 2020



Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

Client  
Site:

Sheet Size: A3

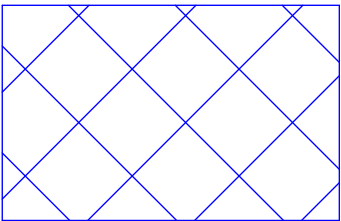
GBJ  
17/12/2020  
RP0720DEL  
DA

Ron and Carolyn Delezio  
54 Smith Street, Manly

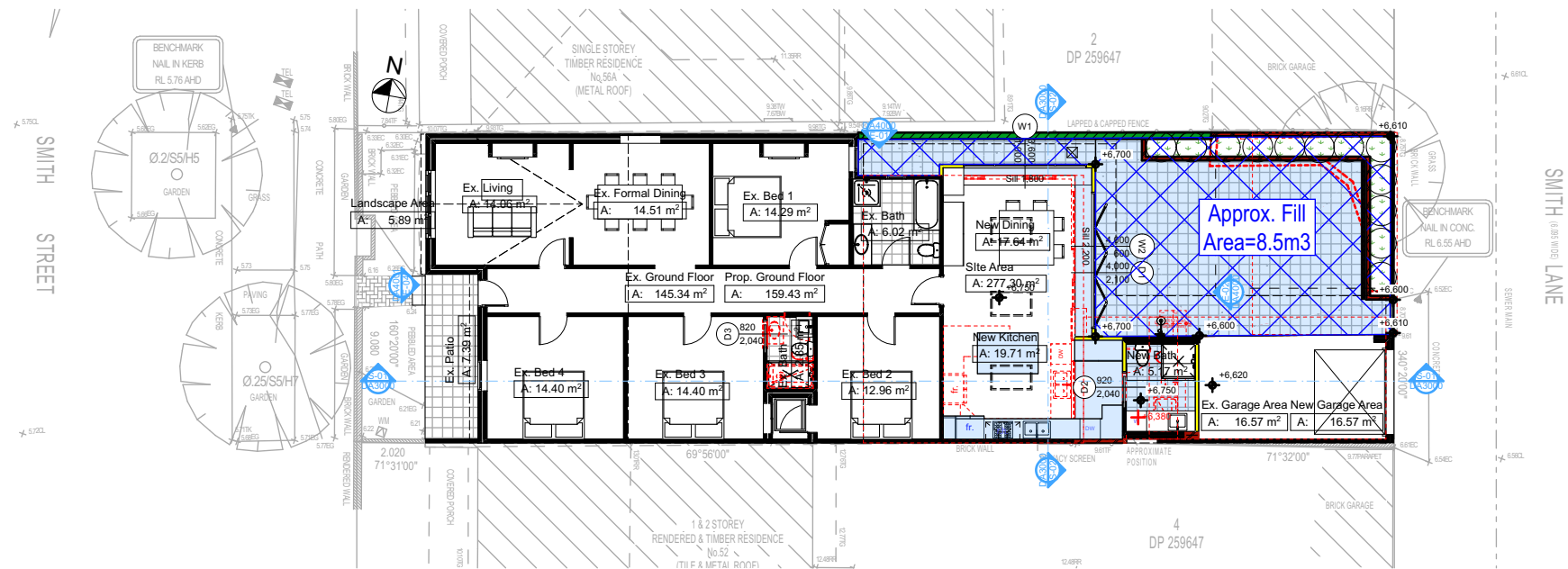
DRAWING TITLE :  
SITE AND LOCATION  
Demolition Roof Plan

PROJECT NAME :  
Alterations & Additions

REVISION NO.  
DATE:  
17/12/20  
DRAWING NO.  
DA1007



Denotes Fill Area



2

EXCAVATION & FILL PLAN  
1:200

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

**NOTES**

54 Smith Street, Manly is zoned R1-General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
54 Smith Street, Manly is not considered a heritage item

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**

Concrete Slab Floors, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A402153  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m².  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

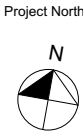


Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au

© Copyright  
Rapid Plans 2020



**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
17/12/2020  
RP0720DEL  
DA

Client  
Site:

Ron and Carolyn Delezio  
54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE :

**SITE AND LOCATION  
Excavation & Fill Plan**

PROJECT NAME :

**Alterations & Additions**

REVISION NO.

-

DATE

17/12/20

DRAWING NO.

DA1008

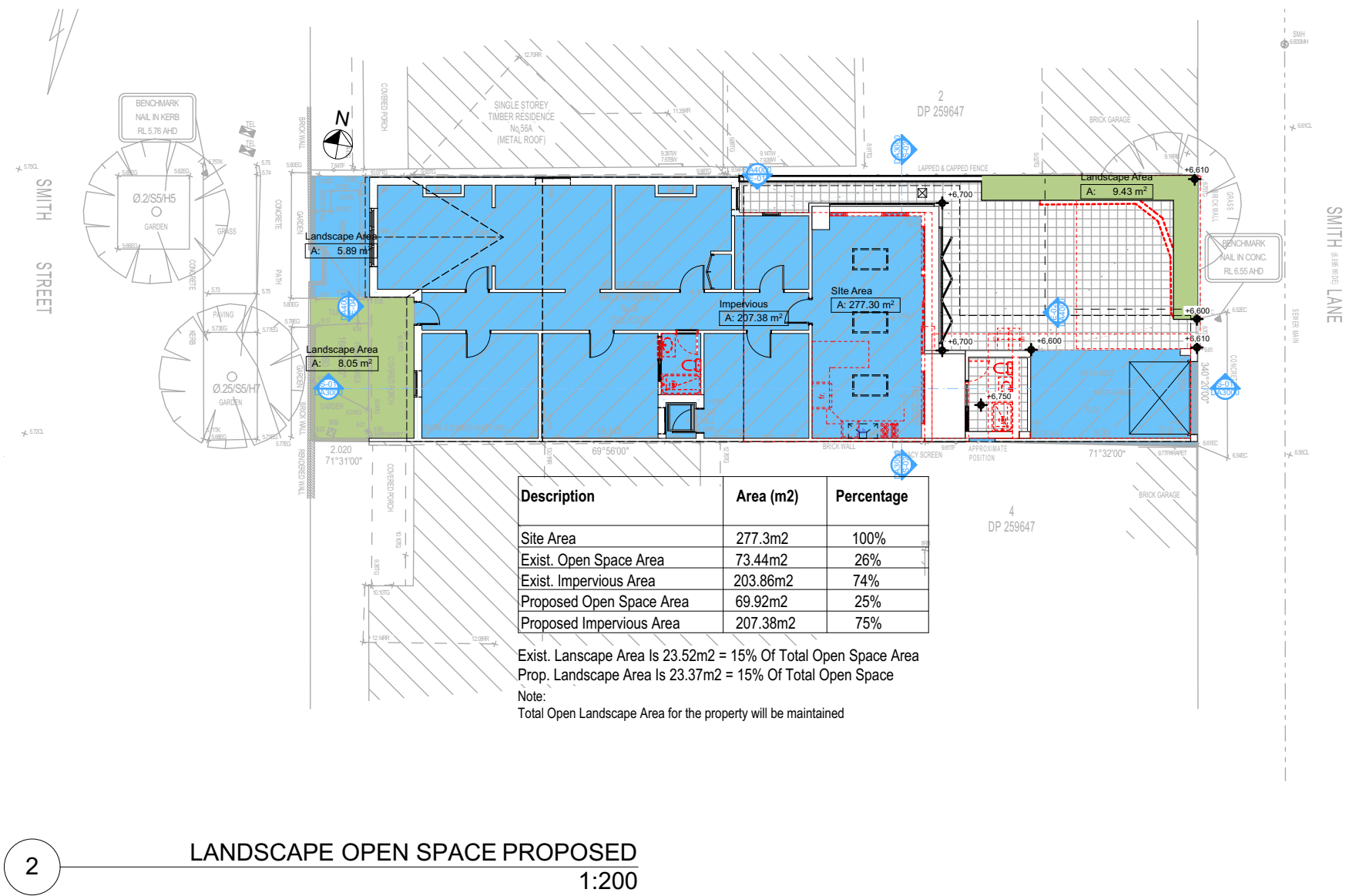




**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

Denotes Impervious Area

Denotes Open Space Area



**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

Rapid Plans  
Building Design and Architectural Drafting

World of Plans  
PO Box 6239 Fitzroy Vic 3065  
Tel: (03) 9350-8845 Mobile: 0414-545-024  
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2020

BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

ACCREDITED  
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
54 Smith Street, Manly is zoned R1-General Residential  
54 Smith Street, Manly is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Concrete Slab Floor, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS 1743-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans  
**Basic**  
Basic Certificate Number A402153  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m2)	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/12/2020  
Project NO.: RP07/200EL  
Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

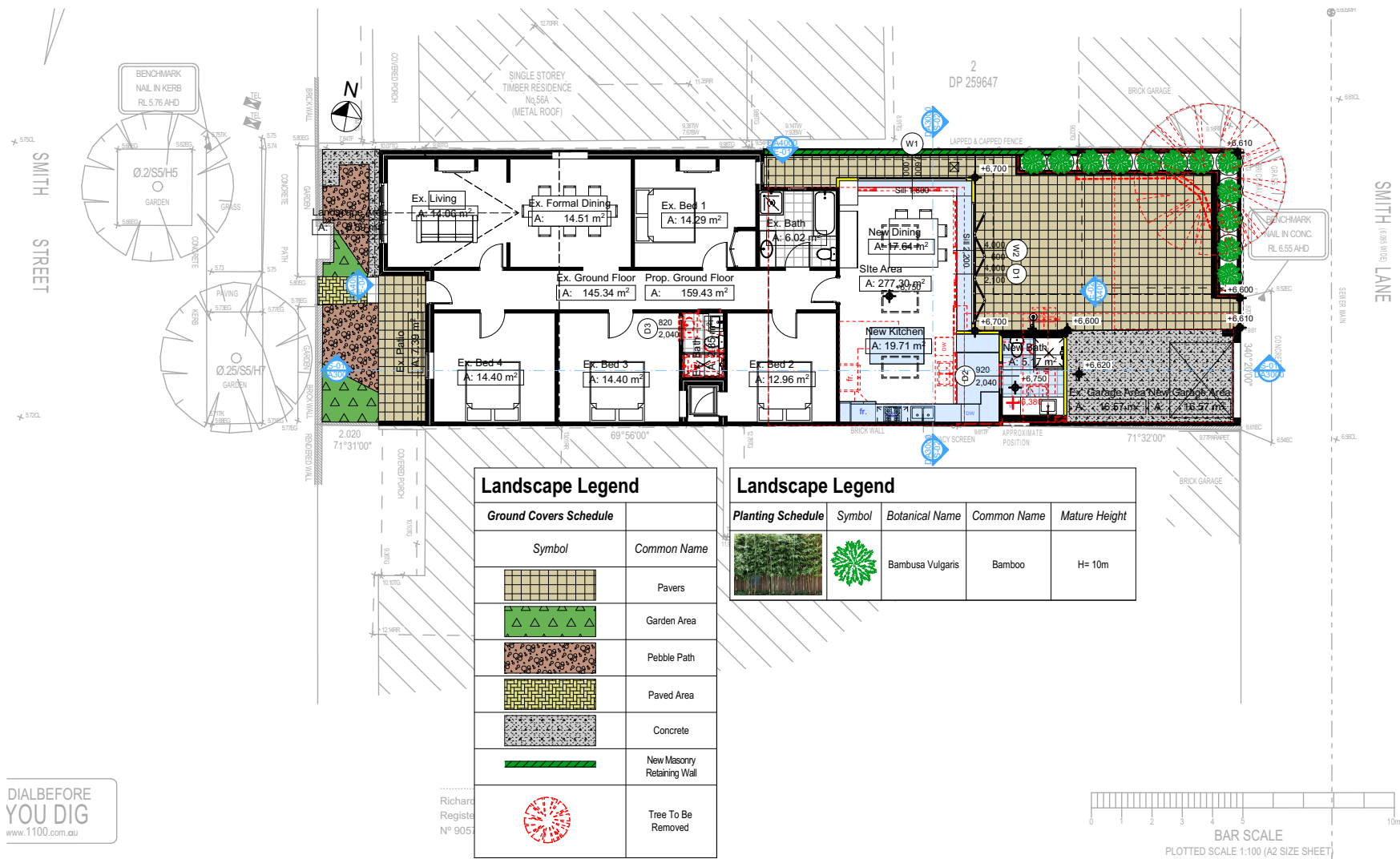
DRAWING TITLE SITE AND LOCATION  
**Landscape Open Space Plan Proposed**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
-	17/12/20
DRAWING NO.	DA1010

Plot Date: 17/12/2020  
Sheet Size: A3






DIALBEFORE  
YOU DIG  
www.1100.com.au

Richard  
Registe  
N° 9057

2

LANDSCAPE PLAN  
1:200


**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**




Rapid Plans  
Building Design and Architectural Drafting

World of Plans  
www.worldofplans.com.au  
PO Box 6239 Fitzroy North VIC 3060  
Ph: (03) 9350-8845 Mob: 0414-945-024  
Email: info@worldofplans.com.au

© Copyright Rapid Plans 2020



**BDA**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



**BDA**  
ACCREDITED  
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.


**NOTES**  
54 Smith Street, Manly is zoned R1-General Residential  
54 Smith Street, Manly is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded Blue  
**Construction**  
Concrete Slab Floor, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS 2208-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the Requirements of Building Codes of Australia.

**Conditioning**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans  
**Basic**  
Basic Certificate Number A402153  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m <sup>2</sup> )	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 17/12/2020  
Project NO.: RP0720DEL  
Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE:  
SITE AND LOCATION  
**Landscape Plan**

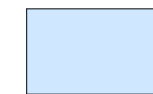
PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
-	17/12/20

DRAWING NO.  
**DA1011**

Plot Date: 17/12/2020  
Sheet Size: A3

© 2020 Rapid Plans Pty Ltd & Partners  
www.rapidplans.com.au



Denotes New Works

### Wall Legend



Denotes New Timber Framed Wall



Denotes New Masonry Wall



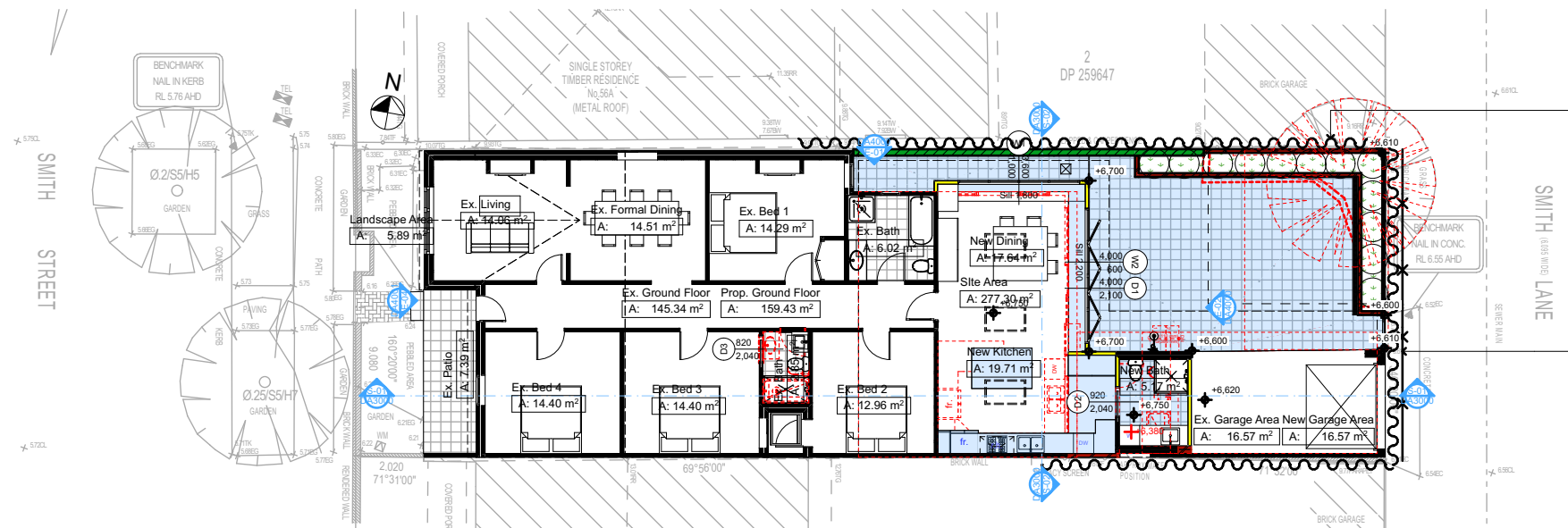
Denotes New Concrete Block Wall



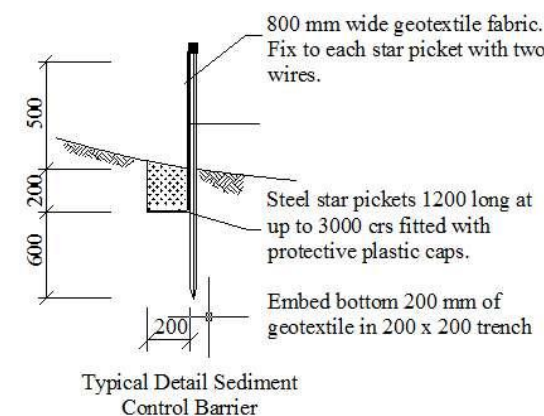
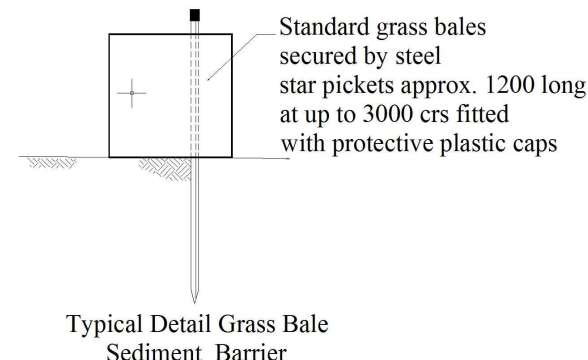
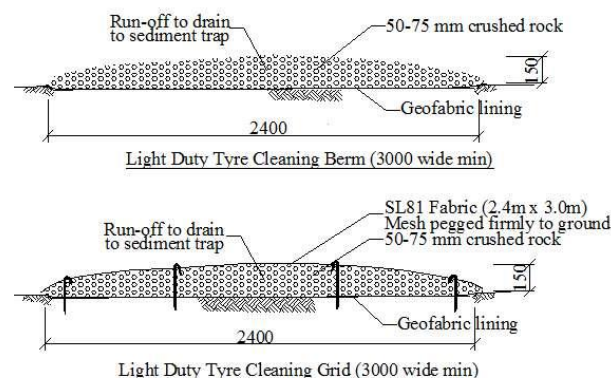
Denotes Existing Wall



Denotes Demolished Item



2 SEDIMENT & EROSION CONTROL PLAN 1:200



Sediment Control Fence

Site Safety Fence

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Rapid Plans  
Building Design and Architectural Drafting

© Copyright Rapid Plans 2020

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdaa**  
ACCREDITED  
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

**NOTES**  
54 Smith Street, Manly is zoned R1-General Residential  
54 Smith Street, Manly is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Concrete Slab Floor, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1028-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.  
**Conditioning**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans  
**Basic**  
Basic Certificate Number A402153  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m <sup>2</sup> )	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/12/2020  
Project NO.: RP07/20DEL  
Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE :  
SITE AND LOCATION  
**Sediment & Erosion Plan**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
-	17/12/20

DRAWING NO.  
**DA1012**

Plot Date: 17/12/2020  
Sheet Size: A3






- **Material Storage Area**
- **Site Safety Fence**

# Residential Garbage Bin Storage

## Vehicle Access For Removal Of Waste By Builder During Work Hours

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**



**Building Design and Architectural Drafting**

Rapid Plans  
www.rapidplans.com.au  
PO Box 4576 Ferntree Gully VIC 3104 Australia  
Fax: (03) 9506-0586 Mobile: 0424-345-024  
Email: info@rapidplans.com.au

**© Copyright Rapid Plans 2020**



**BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA**



**ACCREDITED  
BUILDING DESIGNER**

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and annotations to the Designer. Do not scale the drawings. Drawing shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
54 Smith Street, Manly is zoned R1-General Residential

54 Smith Street, Manly is not considered a heritage Item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue

**Construction**  
Concrete Slab Floor, Framed, Masonry Walls  
Roof Framed to have R1.08 insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1884  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS/NZS2847  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia

**Certification**  
The DA Application Only plans are DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the approval of authorised Construction Certificate drawings by Rapid Plans

**Basic Certificate Number DA102153**  
Plans are to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor and ceiling) in accordance with the specifications listed in the table below, except that if additional insulation is not required where the area of construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where the area of construction is less than 2m<sup>2</sup>


The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the finished floor or window or glazed door and no more than 2400 mm above the sill.

Overhanging balconies must be of the height and distance from the eaves and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m <sup>2</sup> )	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn / Checked GBJ  
Plot Date: 17/12/2020  
Project NO: DA17020EL  
Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

**DRAWING TITLE :**  
**SITE AND LOCATION**  
**Waste Management Plan**

**PROJECT NAME :**  
**Alterations & Additions**

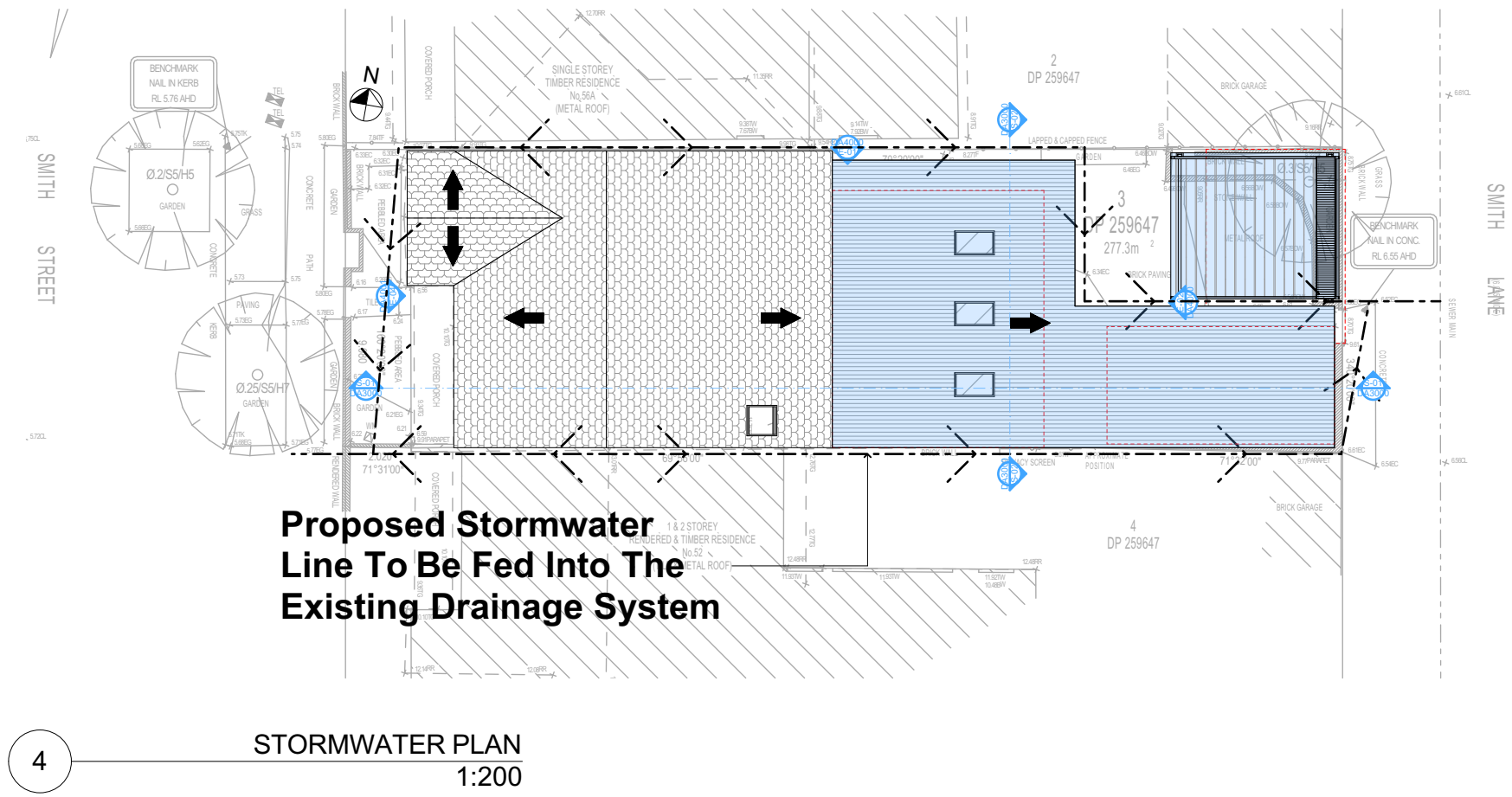
Revision NO. DATE

- 17/12/20

**DRAWING NO.**  
**DA1013**

Plot Date: 17/12/2020  
Scale: A2  
© Copyright 2020 Rapid Plans & Associates  
All Rights Reserved

Plumber To Confirm Location Of Existing  
Stormwater/Sewer Prior To Commencement



Denotes New Works

**Legend**

Denotes Demolished Item

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Rapid Plans  
Building Design and Architectural Drafting

Website: [www.rapidplans.com.au](http://www.rapidplans.com.au)  
PO Box 6239 Rydalmere NSW 2114  
Tel: (02) 9350-8845 Mobile: 0414-545-024  
Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

© Copyright Rapid Plans 2020

**BDA**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**BDA**  
ACCREDITED  
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

54 Smith Street, Manly is zoned R1-General Residential

54 Smith Street, Manly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded Blue

**Construction**

Concrete Slab Floor, Framed, Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed, Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1743

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A402153

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m <sup>2</sup> )	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/12/2020  
Project NO.: RP07/200EL  
Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE :  
SITE AND LOCATION  
**Stormwater Plan**







PROJECT NAME :  
**Alterations & Additions**

REVISION NO.	DATE
-	17/12/20
DRAWING NO.	DA1014

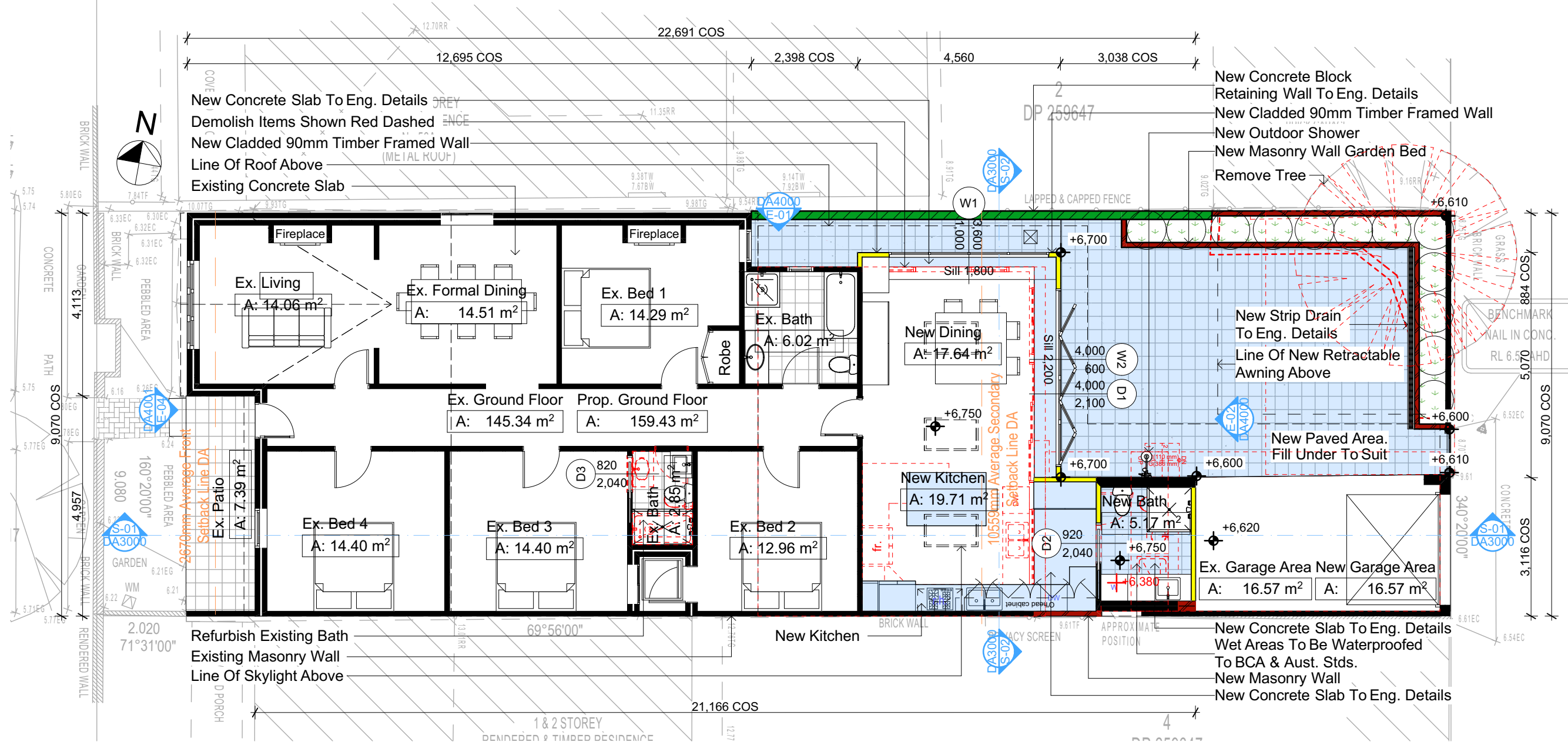
Plot Date: 17/12/2020  
Sheet Size: A3

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: cavity brick	nil	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Masonry Wall
	Denotes New Concrete Block Wall
	Denotes Existing Wall
	Denotes Demolished Item

### Wall Legend



2  
GROUND FLOOR  
1:100

### DA APPLICATION ONLY

NOT FOR CONSTRUCTION

**NOTES**

54 Smith Street, Manly is zoned R1-General Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

54 Smith Street, Manly is not considered a heritage item

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**

Concrete Slab Floors, Framed, Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed, Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m2,

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

Prop.	Comp.	Site Information	Prop.	Comp.	
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

Site Information

Prop.	Comp.	Site Information	Prop.	Comp.	
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

**REVISION NO.**

DATE: 17/12/20

DRAWING NO. DA2001

DRAWING TITLE : PLANS

GROUND FLOOR

PROJECT NAME : Alterations & Additions

Client Site: Ron and Carolyn Delezio 54 Smith Street, Manly

Sheet Size: A3



# Glazing requirements

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

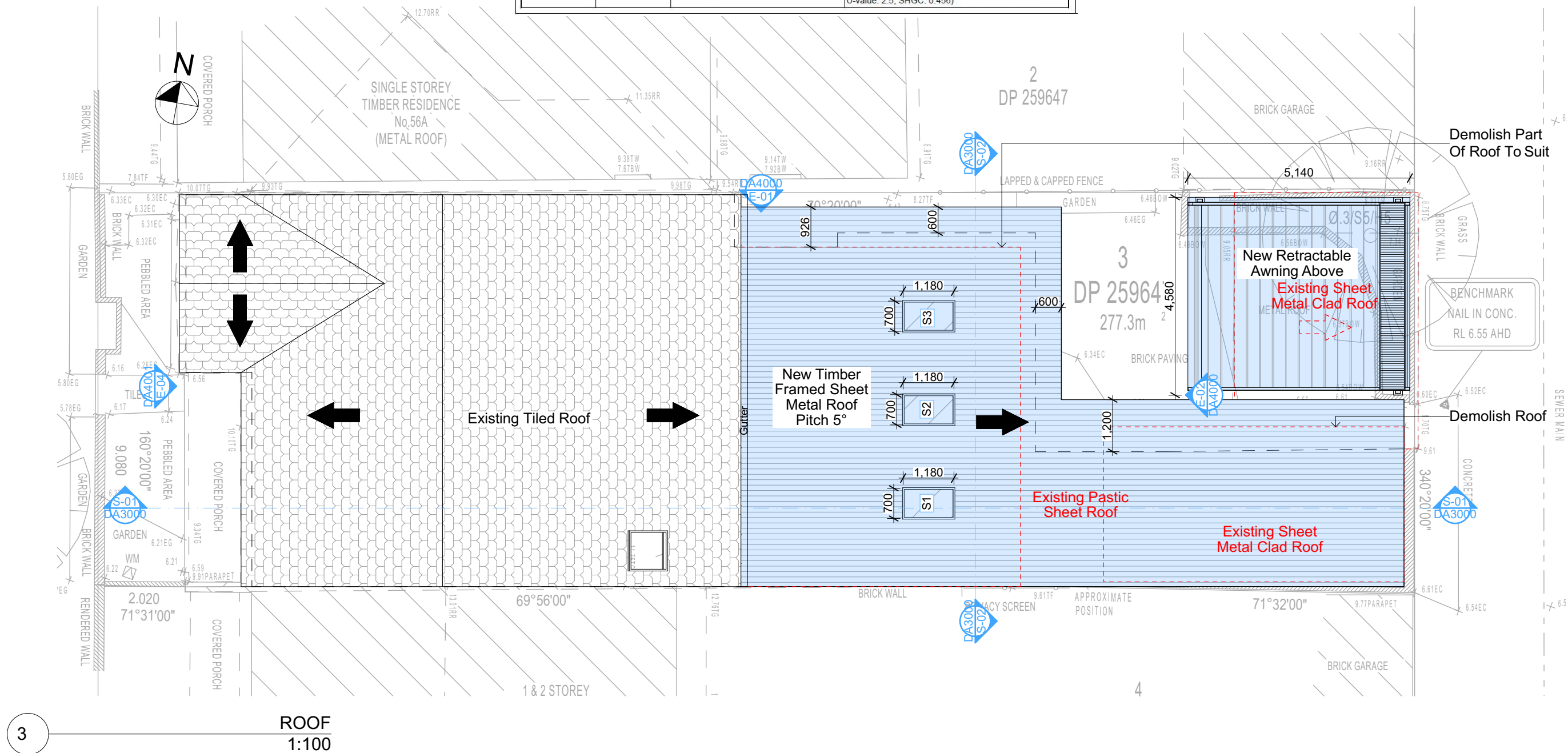
## Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Denotes New Works

## Legend

Denotes Demolished Item



**DA APPLICATION ONLY**  
NOT FOR CONSTRUCTION

### NOTES

54 Smith Street, Manly is zoned R1-General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
54 Smith Street, Manly is not considered a heritage item

### Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

### Construction

Concrete Slab Floors, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01268-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

### Basix

Basix Certificate Number A402153  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2.  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			



© Copyright  
Rapid Plans 2020



Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
17/12/2020  
RP0720DEL  
DA

Client  
Site:  
Ron and Carolyn Delezio  
54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE :

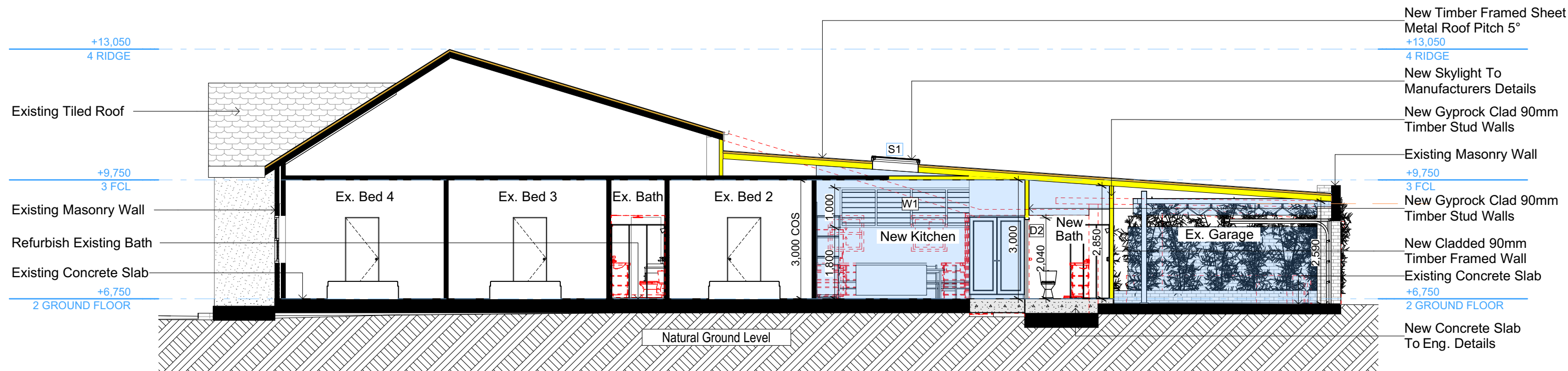
PLANS  
ROOF

PROJECT NAME :

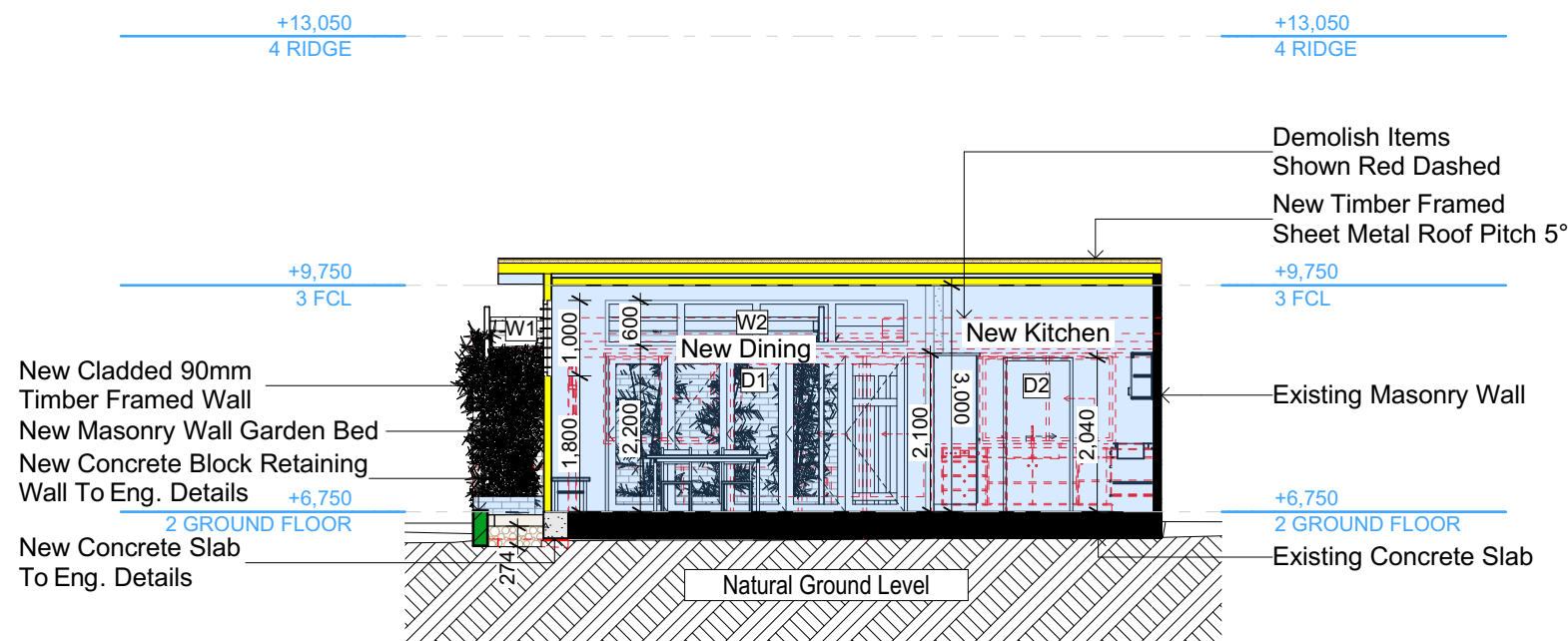
**Alterations & Additions**

REVISION NO.

DATE:  
17/12/20  
DRAWING NO.  
**DA2002**



S-01  
SECTION 1  
1:100



S-02  
SECTION 2  
1:100

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: cavity brick	nil	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

### Wall Legend

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

**NOTES**  
54 Smith Street, Manly is zoned R1-General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
54 Smith Street, Manly is not considered a heritage item

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Concrete Slab Floors, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A402153  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2,  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

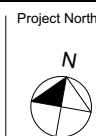


© Copyright  
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.  
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



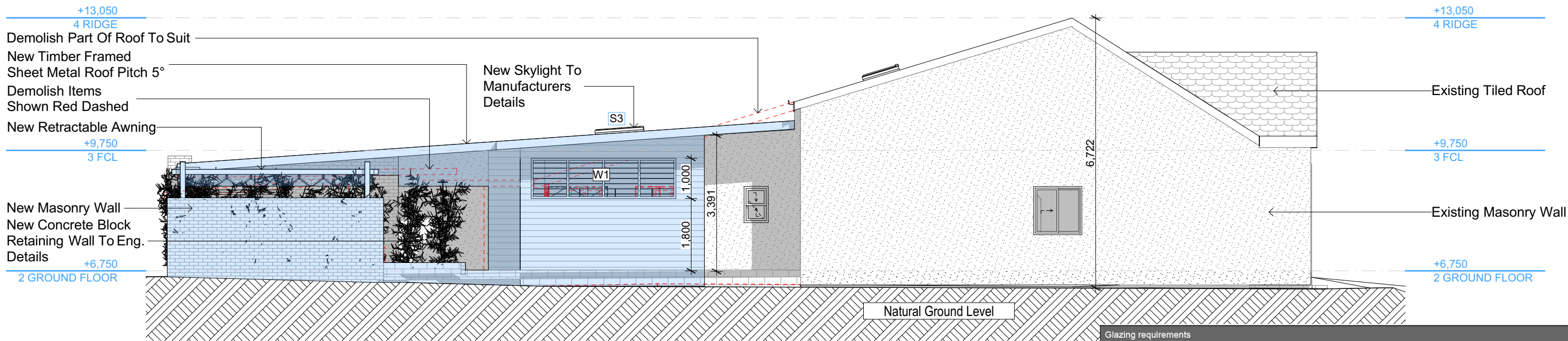
Checked  
Plot Date: 17/12/2020  
Project NO. RP0720DEL  
Project Status DA  
Client  
Site: Ron and Carolyn Delezio  
54 Smith Street, Manly  
Sheet Size: A3

DRAWING TITLE :  
SECTIONS  
SECTION 1  
PROJECT NAME :  
Alterations & Additions

REVISION NO.  
-  
DATE: 17/12/20  
DRAWING NO.  
DA3000



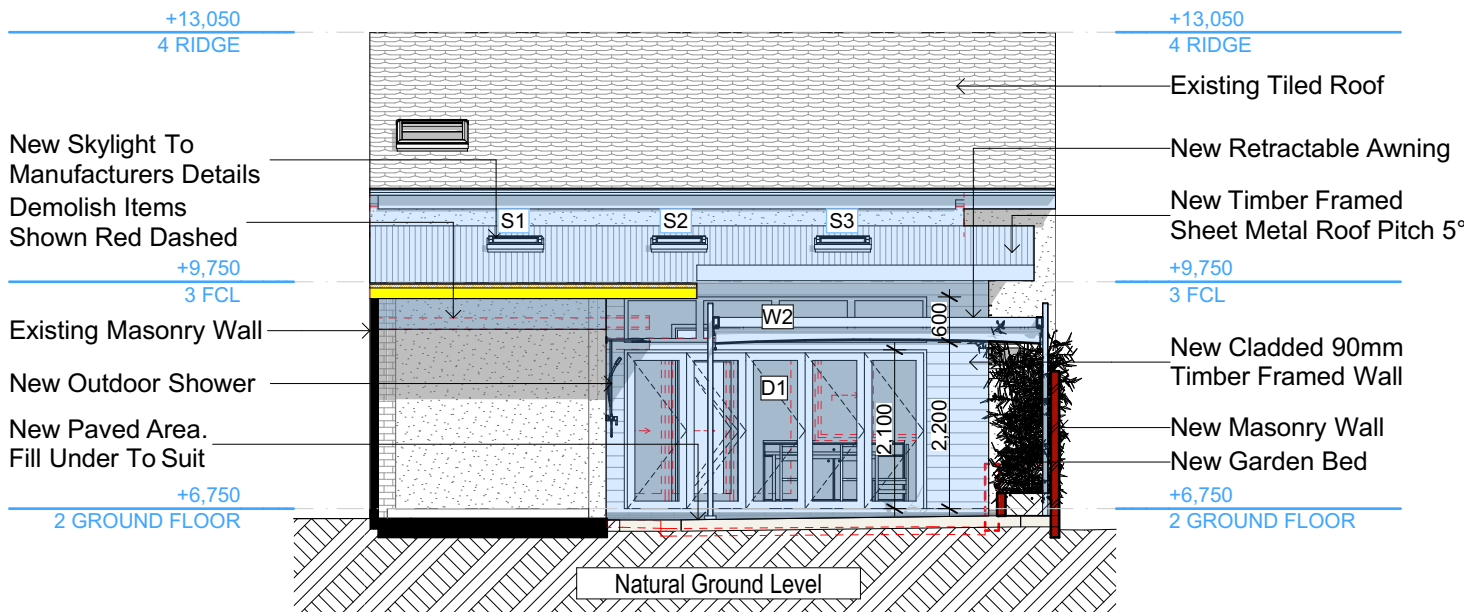
Max Building Height 8500 Above GL



E-01

North  
1:100

Max Building Height 8500 Above GL



E-02  
East  
1:100

#### Glazing requirements

#### Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

#### Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	N	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	E	2.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D1	E	8.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Denotes New Works

#### Wall Legend

Denotes New Timber Framed Wall  
Denotes Existing Wall  
Denotes Demolished Item

#### NOTES

54 Smith Street, Manly is zoned R1-General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
54 Smith Street, Manly is not considered a heritage item

#### Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

#### Construction

Concrete Slab Floors, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

#### Basix

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m2  
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

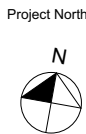


© Copyright  
Rapid Plans 2020

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdaa**  
ACCREDITED  
BUILDING DESIGNER

Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date: 17/12/2020  
Project NO: RP0720DEL  
Project Status: DA  
Client: Ron and Carolyn Delezio  
Site: 54 Smith Street, Manly  
Sheet Size: A3

DRAWING TITLE :

ELEVATIONS  
ELEVATIONS 1

PROJECT NAME :

**Alterations & Additions**

REVISION NO.

DATE: 17/12/20  
DRAWING NO: DA4000

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			



Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	N	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	E	2.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D1	E	8.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Glazing requirements

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

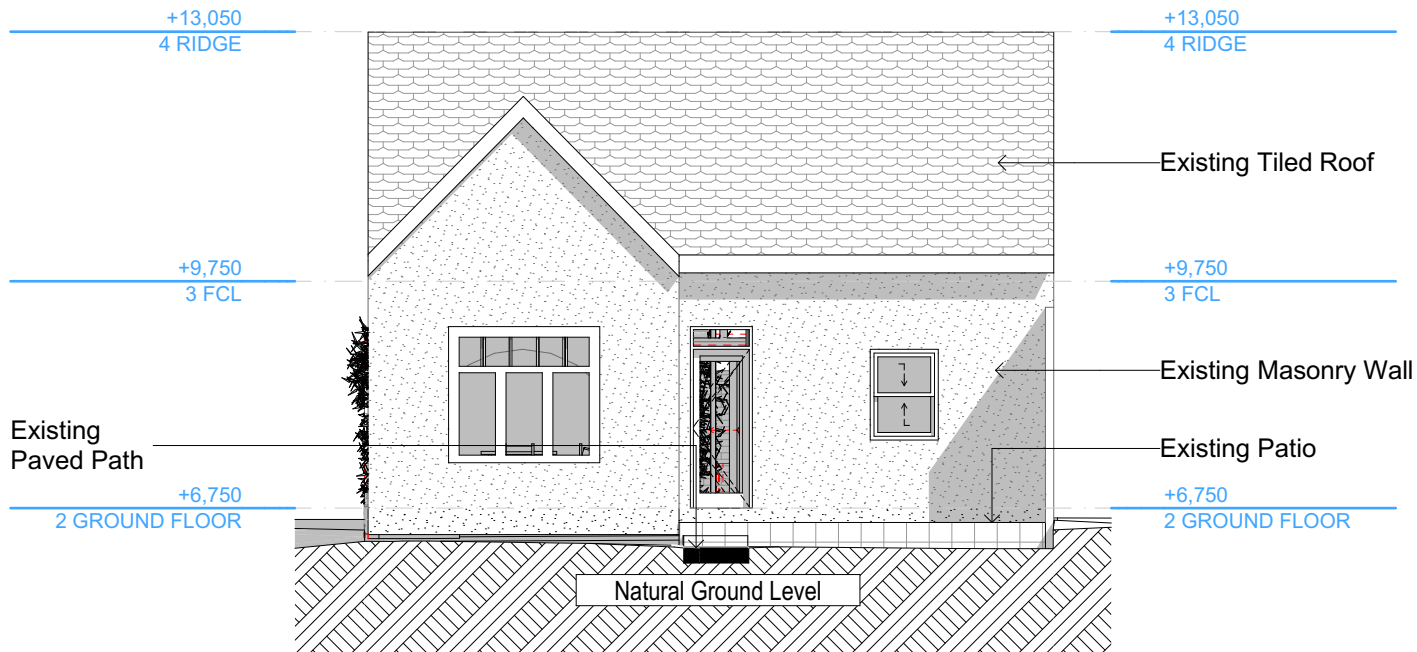
Denotes New Works

Wall Legend

Denotes Existing Path

Denotes Demolished Item

Max Building Height 8500 Above GL



E-04 West  
1:100

DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

NOTES

54 Smith Street, Manly is zoned R1-General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
54 Smith Street, Manly is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Concrete Slab Floors, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A402153  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2.  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

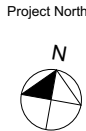


© Copyright  
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.  
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
17/12/2020  
RP0720DEL  
DA

Client  
Site:

Ron and Carolyn Delezio  
54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS  
ELEVATIONS 2

PROJECT NAME :

Alterations & Additions

REVISION NO.

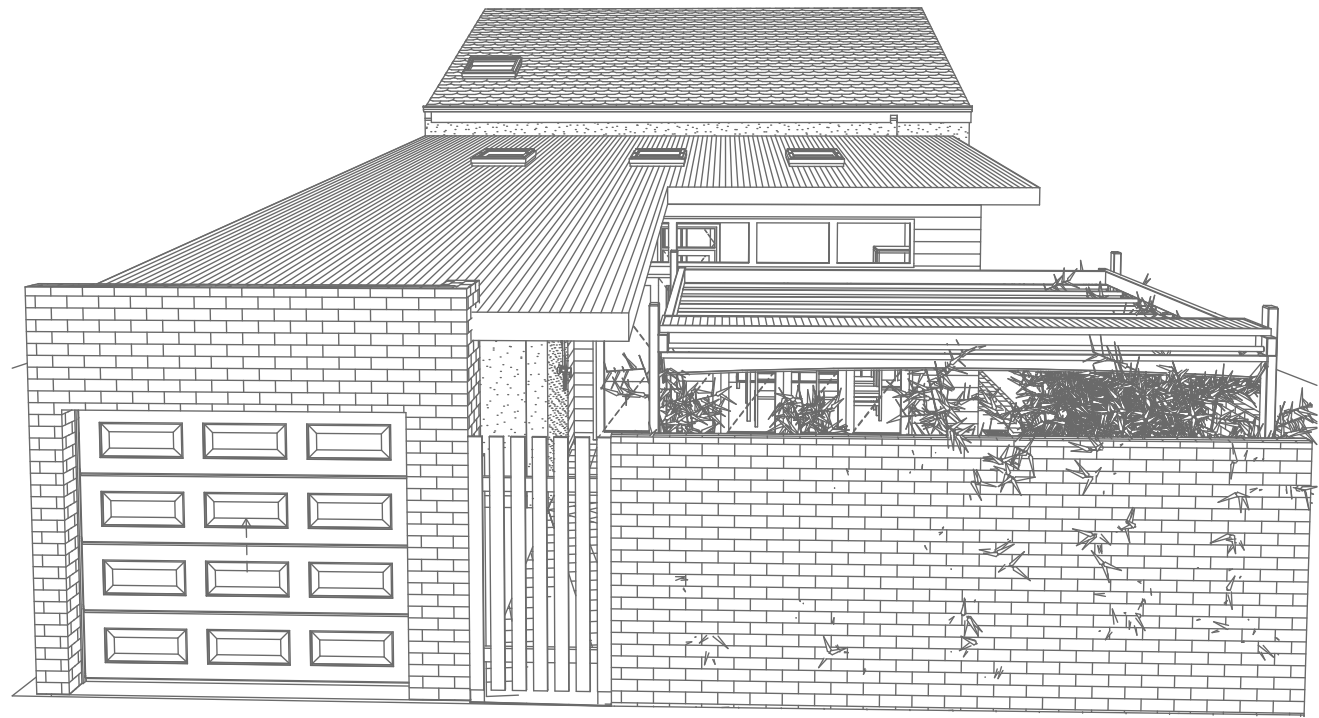
-

DATE

17/12/20

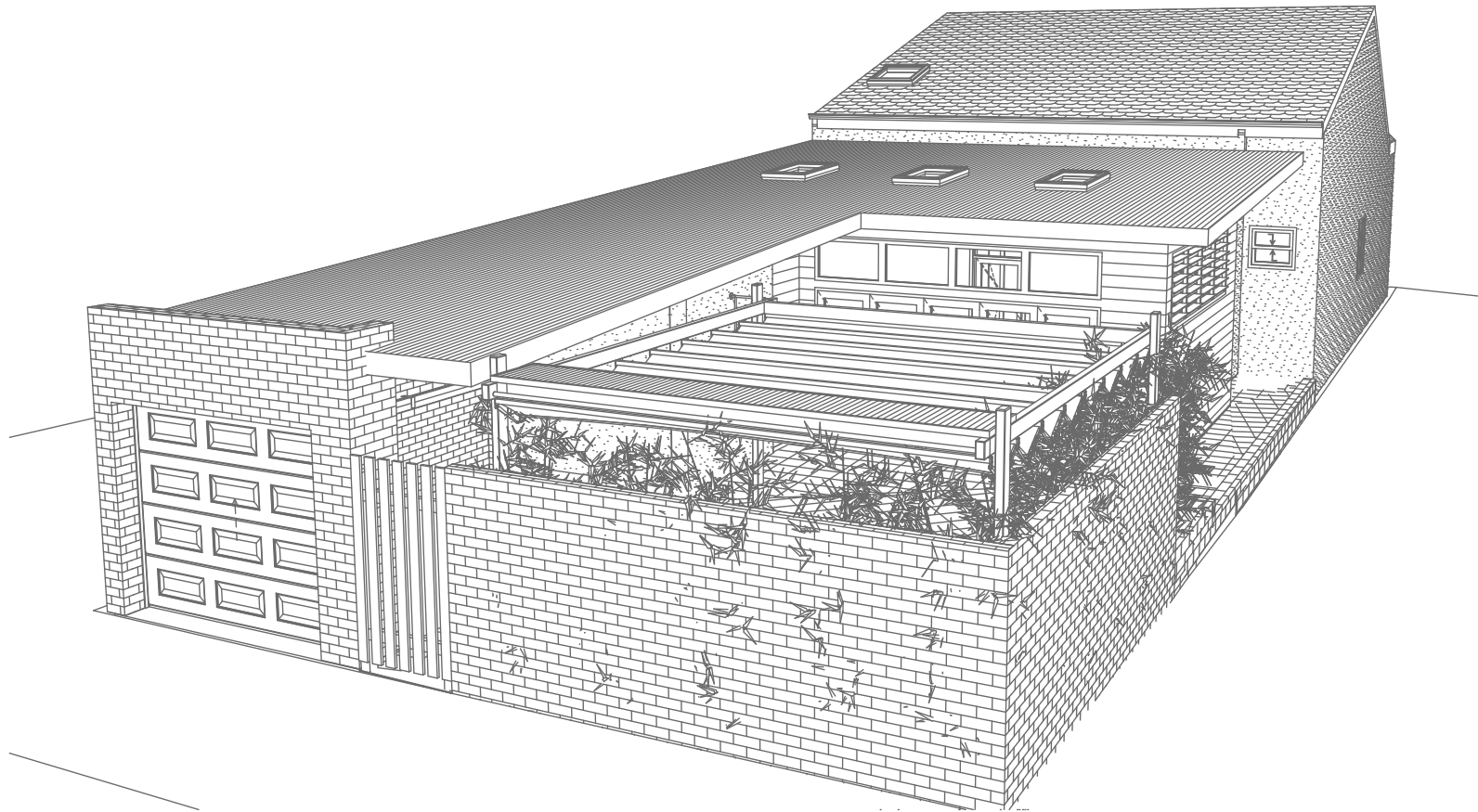
DRAWING NO.

DA4001



1  
-

Perspective 1  
1:200



2  
-

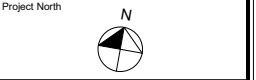
Perspective 2  
1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m <sup>2</sup> )	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 17/12/2020  
Project NO.: RP07/200EL  
Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

**DRAWING TITLE :**  
**SHADOW PLANS**  
**PERSPECTIVE**

**PROJECT NAME :**  
**Alterations & Additions**

REVISION NO. DATE  
- 17/12/20  
DRAWING NO.  
**DA5000**





Denoted Cladding (Typical).  
Builder To Confirm Type & Colour



Denoted Rendered Wall (Typical).  
Builder To Confirm Type & Colour



Denoted Sheet Metal Roof (Typical).  
Builder To Confirm Type & Colour




Denoted Retractable Awning (Typical).  
Builder To Confirm Type & Colour



Denoted Paving (Typical).  
Builder To Confirm Type & Colour

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans


**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**




**Rapid Plans**  
Building Design and Architectural Drafting

Website: [www.rapidplans.com.au](http://www.rapidplans.com.au)  
PO Box 6239 Fitzroy South VIC 3065  
Tel: (03) 9350-8845 Mobile: 0414-945-024  
Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

© Copyright Rapid Plans 2020

  
**BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA**

  
**ACCREDITED  
BUILDING DESIGNER**

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
54 Smith Street, Manly is zoned R1-General Residential  
54 Smith Street, Manly is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in ShadedBlue  
**Construction**  
Concrete Slab Floor, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS10295-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.


**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**  
Basic Certificate Number A402153  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m2)	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 17/12/2020  
Project NO.: RP0720DEL  
Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE **SHADOW PLANS  
MATERIAL & COLOUR  
SAMPLE BOARD**

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	17/12/20

DRAWING NO. **DA5001**

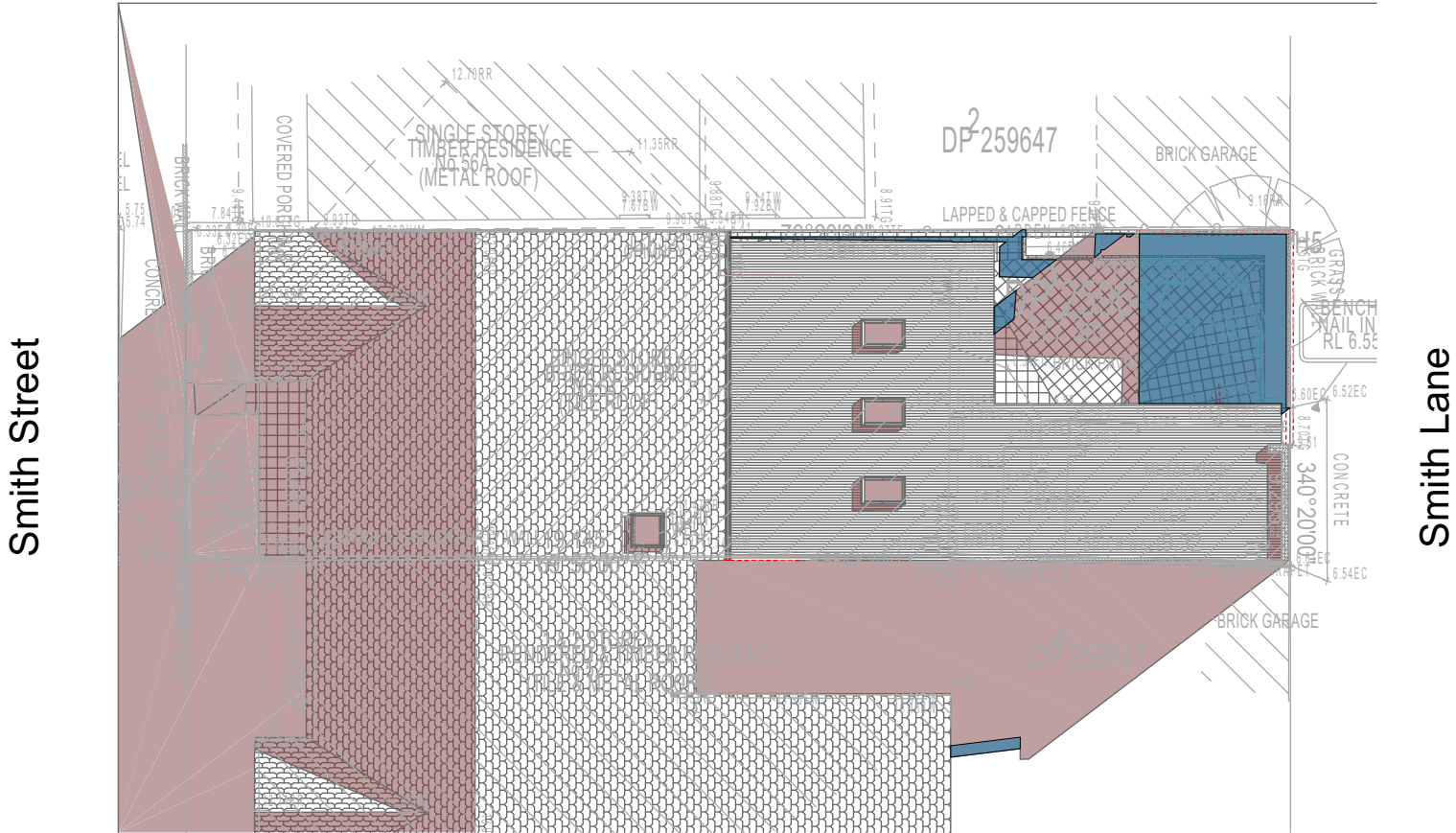
Plot Date: 17/12/2020  
Sheet Size: A3

© Copyright 2020 Rapid Plans & Design  
www.rapidplans.com.au



Denotes Proposed Shadow

Denotes Existing Shadow



01

SHADOW PLAN 21 JUN at 0900h  
1:200

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

**NOTES**  
54 Smith Street, Manly is zoned R1-General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
54 Smith Street, Manly is not considered a heritage item

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Concrete Slab Floors, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A402153  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			

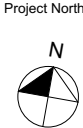


© Copyright  
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.  
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
17/12/2020  
RP0720DEL  
DA

Client  
Site:

Ron and Carolyn Delezio  
54 Smith Street, Manly

Sheet Size: A3

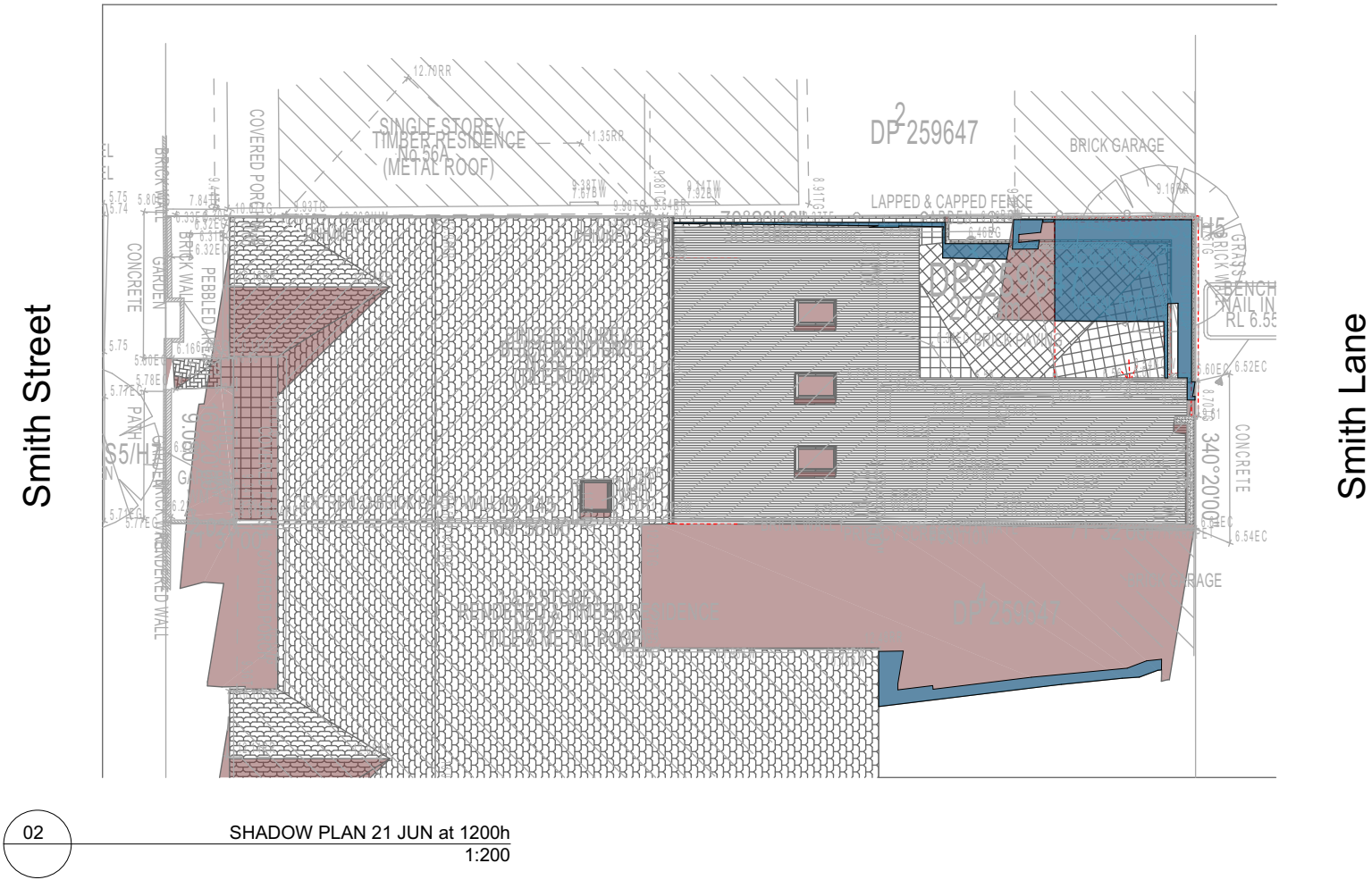
DRAWING TITLE :  
**SHADOW PLANS  
SHADOW PLAN 21st June  
9am**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.  
-  
DATE:  
**17/12/20**  
DRAWING NO.  
**DA5002**

Denotes Proposed Shadow

Denotes Existing Shadow



DA APPLICATION ONLY

NOT FOR CONSTRUCTION


**NOTES**  
54 Smith Street, Manly is zoned R1-General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
54 Smith Street, Manly is not considered a heritage item

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Concrete Slab Floors, Framed, Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed, Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps


**Basix**  
Basix Certificate Number A402153  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0.58	Yes			




Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au

© Copyright  
Rapid Plans 2020




BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans

Project North



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
17/12/2020  
RP0720DEL  
DA

Client  
Site:

Ron and Carolyn Delezio  
54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE :

SHADOW PLANS  
SHADOW PLAN 21st June  
12pm

PROJECT NAME :

Alterations & Additions

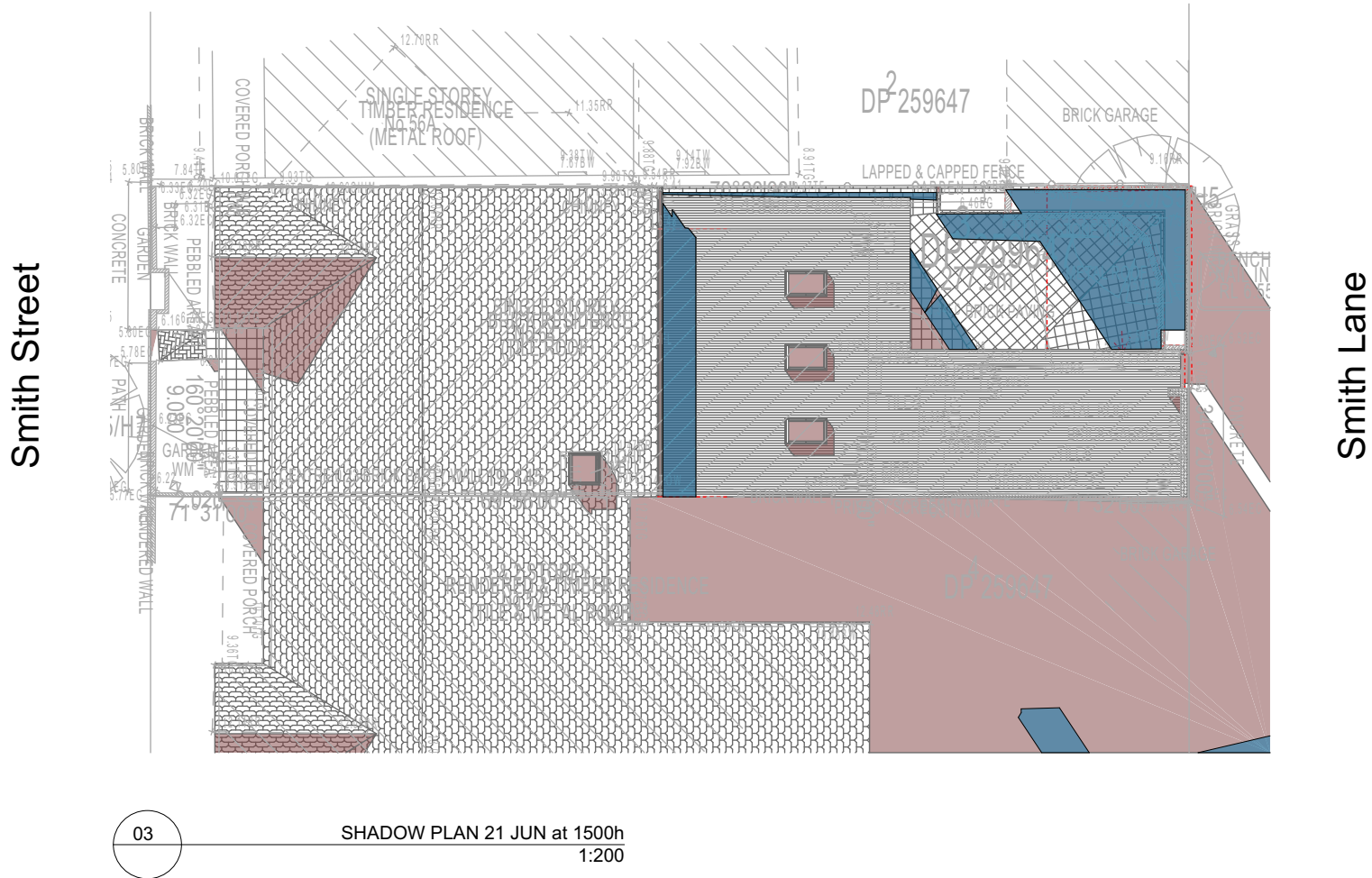
REVISION NO.

-

DATE:  
17/12/20  
DRAWING NO.  
DA5003

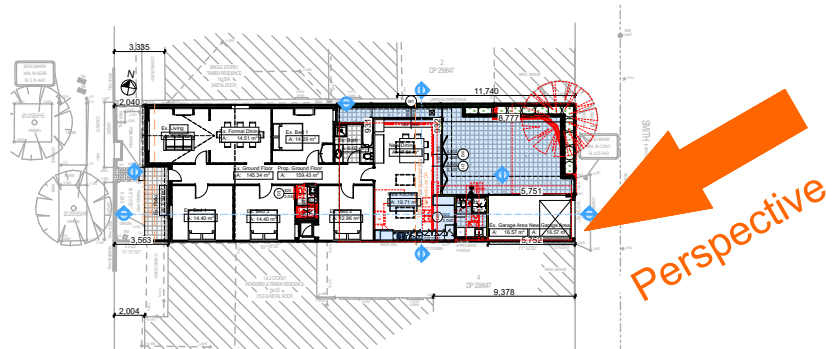
Denotes Proposed Shadow

Denotes Existing Shadow

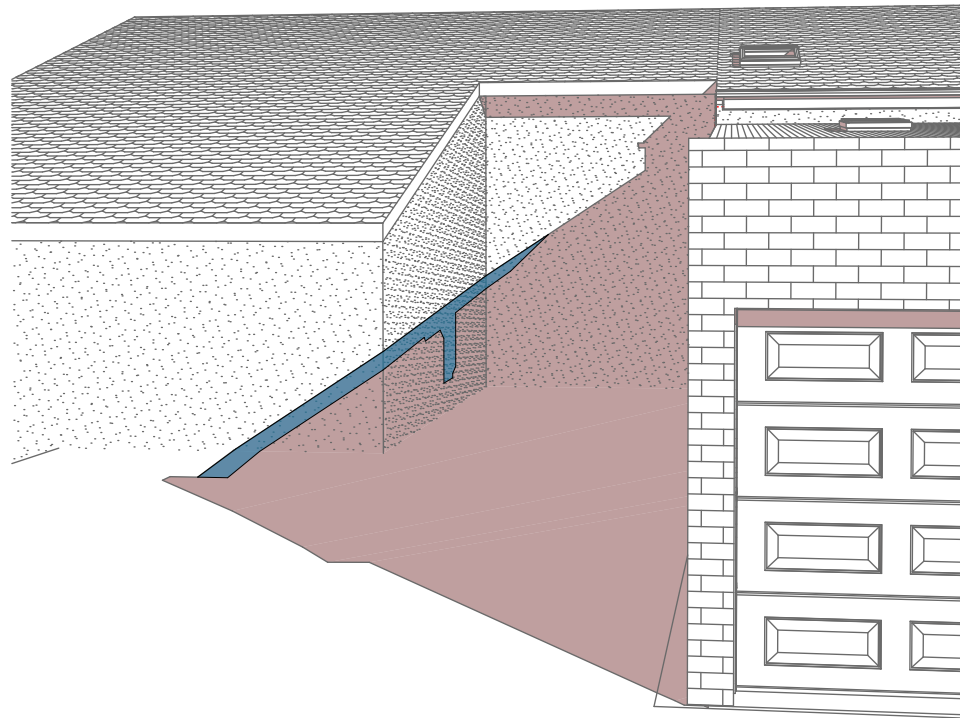


**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

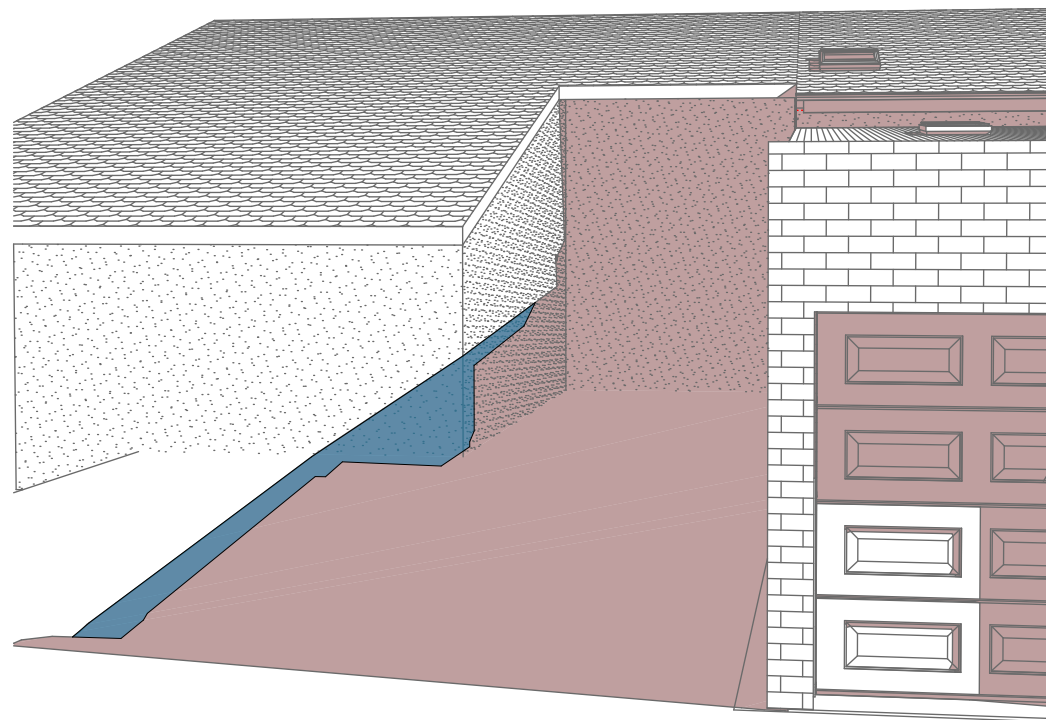




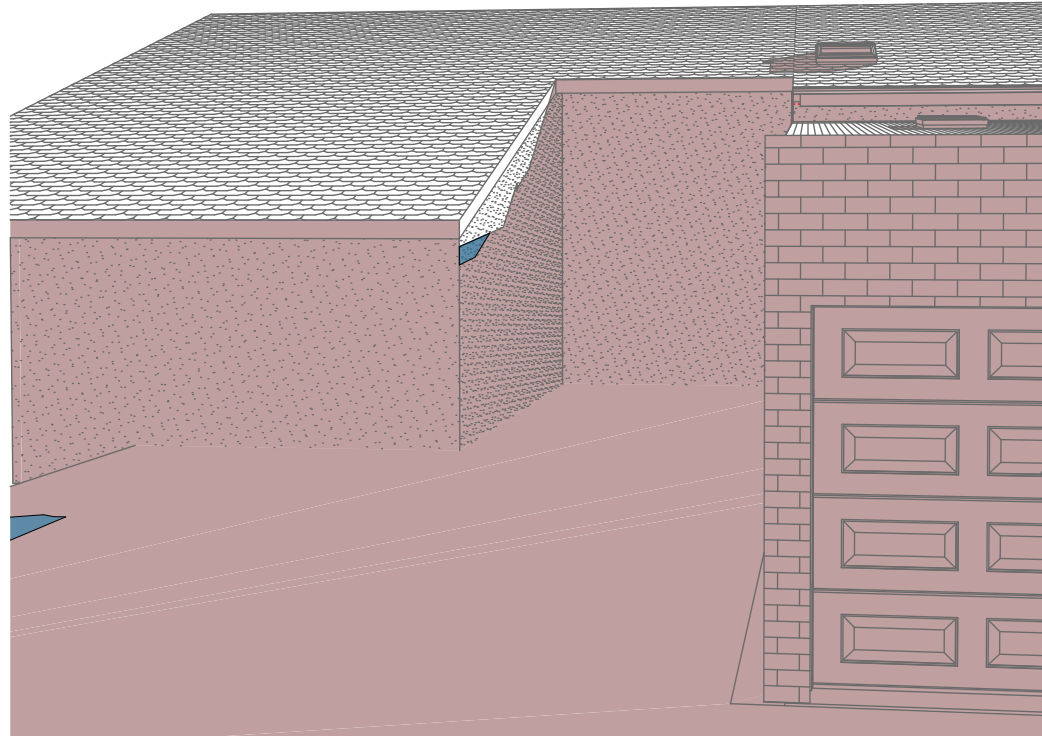
SITE PLAN  
1:500



Wall Elevation 21 JUN 0900h  
1:200




Wall Elevation 21 JUN 1200h  
1:200



Wall Elevation 21 JUN 1500h  
1:200


Denotes Proposed Shadow

Denotes Existing Shadow




Rapid Plans  
Building Design and Architectural Drafting

© Copyright Rapid Plans 2020



BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

54 Smith Street, Manly is zoned R1-General Residential

54 Smith Street, Manly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

**Construction**

Concrete Slab Floor, Framed, Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed, Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10798-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A402153

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.


For projections described in millimetres, the leading edge of each space, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	277.3m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m <sup>2</sup> )	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0.6)	0:58	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 17/12/2020  
Project NO.: RP07/200EL  
Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

DRAWING TITLE SHADOW PLANS  
**WALL ELEVATION SHADOWS**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
-	17/12/20

DRAWING NO.  
**DA5005**

Plot Date: 17/12/2020  
Sheet Size: A3

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**