Rapíd Plans www.rapídplans.com.au

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Fax: (02) 9905-8865 Mobile: 0414-945-024

Emaíl: gregg@rapídplans.com.au



<u>DEVELOPMENT APPLICATION</u> <u>Alterations & Additions To Existing Residence</u>

For Ron and Carolyn Delezio

54 Smith Street, Manly





offe St County High	Lot 3	3 D.P. 259		¥ B€
P	TATOPOTOR	ımber: RP		
eaps & Bounds reschool Manly	The Craft Cottage	A/exander st St. Manly NSW 2095	Myvern Ave	Maniy E Landmark surfers &
	Manly Bunkhouse	BP 😜	Pine La	
Kangaroo St		Drippir Drippir	ng Wet Surf Co	

Manly's Hidden Gem

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A402153

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Wednesday, 16, December 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Delezio
Street address	54 Smith Street Manly 2095
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 259647
Lot number	3
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more and does not include a pool (and/or spa).

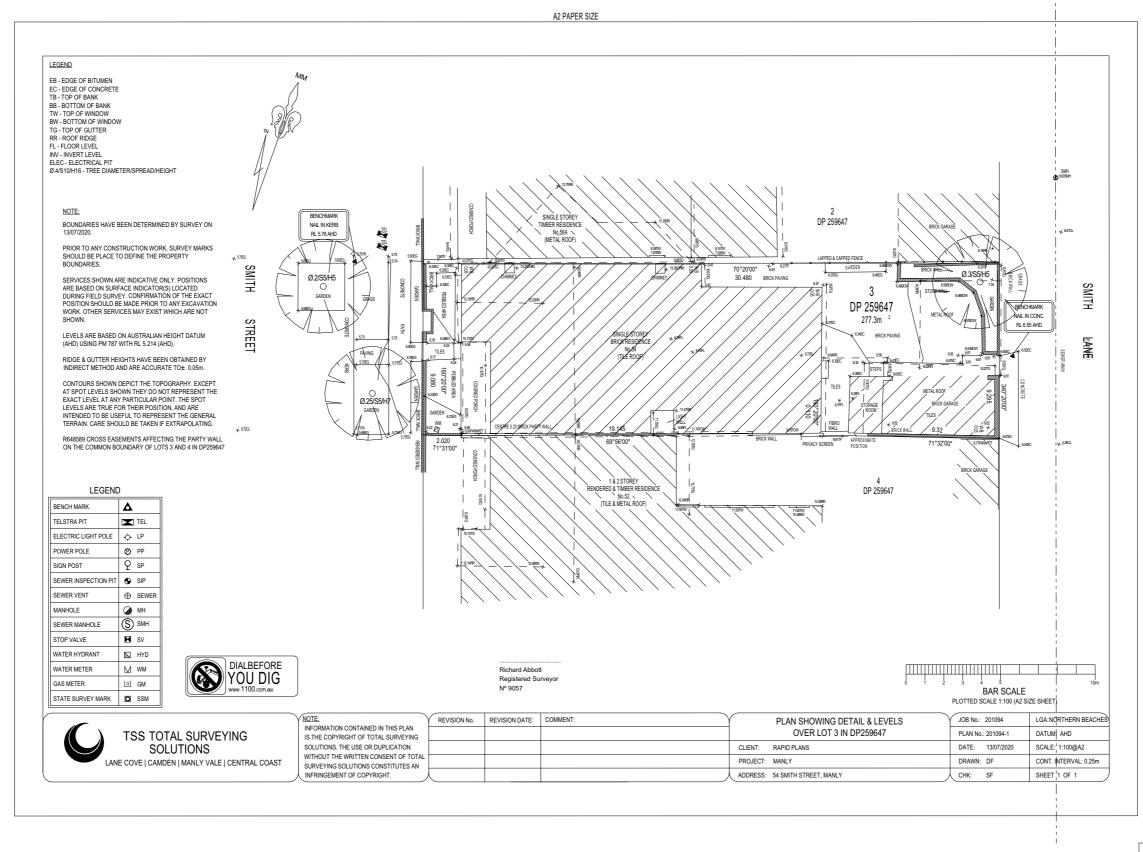
project

Jo

Description

Certificate Prepared b	y (please complete before submitting to Council or PCA)
Name / Company Name: Ra	pid Plans
ABN (if applicable): 431500	64592

DRAWING No.	DESCRIPTION	REV	ISSUED DATE	
DA1000	Cover Sheet	-	- 17/12/20	19
DA1001	A4 NOTIFICATION PLAN	-	- 17/12/20	w
DA1002	SITE SURVEY	-	- 17/12/20	7
DA1003	SITE PLAN	-	- 17/12/20	
DA1004	Existing Ground Floor Plan	-	- 17/12/20	eap
DA1005	Existing Roof Plan	-	- 17/12/20	res
DA1006	Demolition Ground Floor Plan	-	- 17/12/20	
DA1007	Demolition Roof Plan	-	- 17/12/20	4
DA1008	Excavation & Fill Plan	-	- 17/12/20	G
DA1009	Landscape Open Space Plan Existing	-	- 17/12/20	Birkley Ro
DA1010	Landscape Open Space Plan Proposed	-	- 17/12/20	y Ro
DA1011	Landscape Plan	-	- 17/12/20	=1
DA1012	Sediment & Erosion Plan	-	- 17/12/20	
DA1013	Waste Management Plan	-	- 17/12/20	
DA1014	Stormwater Plan	-	- 17/12/20	
DA2001	GROUND FLOOR	-	- 17/12/20	
DA2002	ROOF	-	- 17/12/20	
DA3000	SECTION 1	-	- 17/12/20	
DA4000	ELEVATIONS 1	-	- 17/12/20	
DA4001	ELEVATIONS 2	-	- 17/12/20	
DA5000	PERSPECTIVE	-	- 17/12/20	
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 17/12/20	
DA5002	SHADOW PLAN 21st June 9am	-	- 17/12/20	
DA5003	SHADOW PLAN 21st June 12pm	-	- 17/12/20	
DA5004	SHADOW PLAN 21st June 3pm	-	- 17/12/20	
DA5005	WALL ELEVATION SHADOWS	-	- 17/12/20	



SURVEY PLAN 1:200

DA APPLICATION ONLY NOT FOR CONSTRUCTION











Checked Plot Date: Project NO. Project Status 17/12/2020 RP0720DEL DA

Client Ron and Carolyn Delezio 54 Smith Street, Manly

DRAWING TITLE :

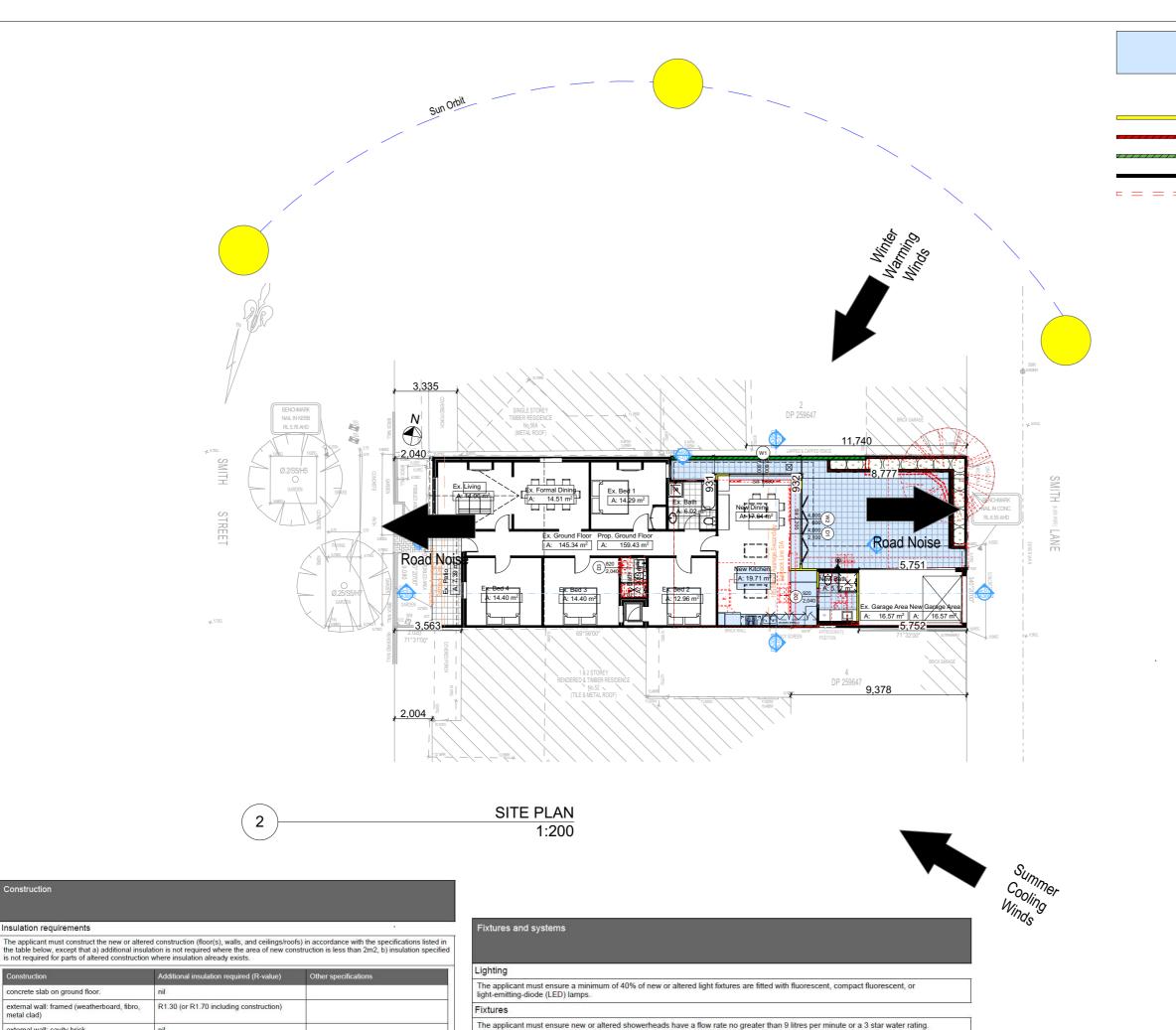
SITE AND LOCATION
SITE SURVEY

PROJECT NAME :

17/12/20 **DA1002**

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Site: Sheet Size: A3 **Alterations & Additions**



The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Insulation requirements

concrete slab on ground floor.

external wall: cavity brick

flat ceiling, flat roof: framed

external wall: framed (weatherboard, fibro, metal clad)

medium (solar absorptance 0.475 - 0.70)

ceiling: R1.08 (up), roof: foil backed blanket (75 mm)

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall Denotes New Masonry Wall Denotes New Concrete Block Wall Denotes Existing Wall Denotes Demolished Item









Site Information	Prop.	Comp.
Site Area	277.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m2)	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0.58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans



Drawn | Checked GBJ Plot Date: 17/12/2020 Project NO. RP0720DEL Project Status DA

lient Ron and Carolyn Delezio

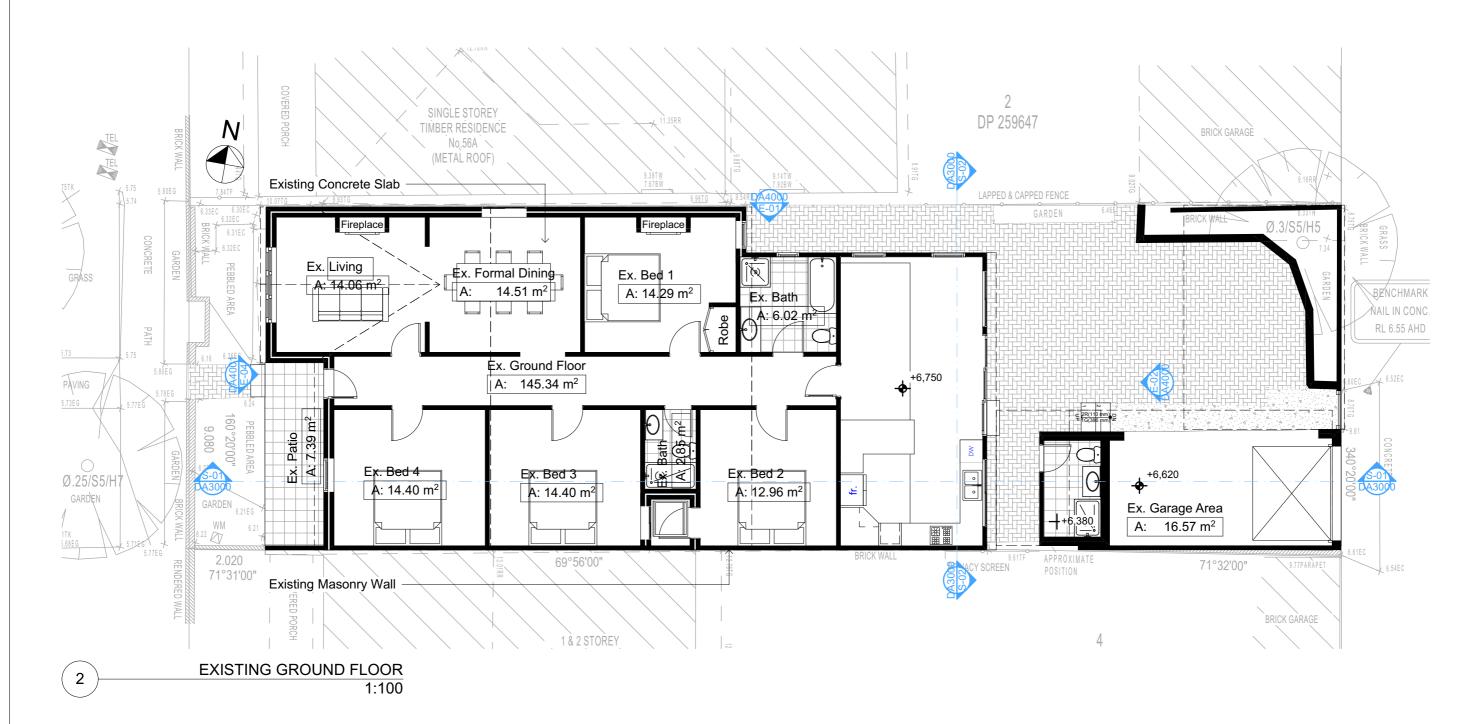
Site: 54 Smith Street, Manly

SITE AND LOCATION

Alterations & **Additions**

17/12/20

DA1003



Builder To Check & Confirm Existing Measurements Prior to Commencement



NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage itel

Certifying
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Construction

Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 3740
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area se plans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	Aland	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			



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Checked	GB
Plot Date:	17/
Project NO.	RP
Project Status	DA
Client	Ro

on and Carolyn Delezio 54 Smith Street, Manly

SITE AND LOCATION

Existing Ground Floor Plan **Alterations & Additions** REVISION NO. 17/12/20 **DA1004**

Wall Legend **Denotes Existing Wall** DP 259647 TIMBER RESIDENCE No.56A (METAL ROOF) LAPPED & CAPPED FENCE 6.37EG 30.480 BRICK PAVING Existing Sheet Metal Clad Roof DP 259647 BENCHMARK NAIL IN CONC RL 6.55 AHD BRICK PAVING **Existing Tiled Roof Existing Pastic** /S5/H Sheet Roof **Existing Sheet** Metal Clad Roof 71°32'00" 71°31'00"

EXISTING FIRST FLOOR 1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement



NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage itel

Construction

Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 3740
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps Specializations must be admitted to a continuous management of the window or glazed door and no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, ACCREDITED BUILDING DESIGNER

Discrepancies to Rapid Plans



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)	Client
/	0.4

Client	Don and Car
Checked Plot Date: Project NO. Project Status	GBJ 17/12/2020 RP0720DEL DA

Ron and Carolyn Delezio 54 Smith Street, Manly

DRAWING TITLE : SITE AND LOCATION
Existing Roof Plan

Site Information

Prop. Comp. Prop. Comp. Housing Density (dwelling/m2) 1 75% Max Bldg Ht Above Nat. G Front Setback 2040mm Existing Maximum depth of fill (mm) 274mm Yes Secondary Street Setback 5752mm Existing No. of car spaces provided Yes Floor Space Ratio (Max=0:6) 0:58



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Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

Alterations & Additions

BRICK GARAGE

REVISION NO. 17/12/20 **DA1005**

Denotes Demolished Item DP 259647 Demolish Items Shown Red Dashed BRICK GARAGE (METAL ROOF Remove Tree **Existing Concrete Slab** LAPPED & CAPPED FENCE Fireplace Fireplace 30,480 Ex. Living Ex. Formal Dining Ex. Bed 1 A: 14.06 m² 14.51 m² A: 14.29 m² Ex. Bath A: 6.02 m² RL 6.55 AH BRICK PAVING Ex. Ground Floor +6,750 A: 145.34 m² Ą Ex. Bed 3 Ex. Bed 2 A: 14.40 m² A: 14.40 m² A: 12.96 m² Ex. Garage Area A: 16.57 m² 2.020 71°32'00" POSITION **Existing Masonry Wall** BRICK GARAGE **DEMOLITION GROUND FLOOR** 2

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



NOTES 54 Smith Street, Manly is zoned R1-General Residentia All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage ite

Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawing, Masonry Walls R1.70
Refer to Engineers Specification and BCA
Timber framing to BCA and A\$ 1684
Termite Management to BCA and A\$ 566.1
Glazing to BCA and A\$0.2188-2047
Waterproofing to BCA and A\$ 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

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Specializations must be admitted to a continuous management of the window or glazed door and no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area se plans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	Alang	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			

Building Design and Architectural Drafting	

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Checked Plot Date: Project NO. Project Status	GBJ 17/12/2020 RP0720DEL DA
Client Site:	Ron and Carolyn Delezio 54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE : SITE AND LOCATION **Demolition Ground Floor** Plan PROJECT NAME **Alterations & Additions**

Wall Legend **Denotes Existing Wall**

> REVISION NO. 17/12/20 **DA1006**

Denotes Existing Wall Denotes Demolished Item SINGLE STOREY DP 259647 TIMBER RESIDENCE No.56A **Demolish Part** (METAL ROOF) Of Roof To Suit PPED & CAPPED FENCE 70°20'00" 30.480 BRICK PAVING **Existing Sheet** DP 259647 BENCHMARK Metal Clad Roof NAIL IN CONC RL 6.55 AHD BRICK PAVING Demolish Roof **Existing Tiled Roof** METAL ROOF Existing Pastic Sheet Roof Existing Sheet Metal Clad Roof APPROXIMATE 69°56'00' 71°32'00" POSITION 71°31'00" BRICK GARAGE **DEMOLITION FIRST FLOOR** 3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



NOTES 54 Smith Street, Manly is zoned R1-General Residentia

All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage itel

Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 3740
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

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Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA





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Client	Don one
Checked	GBJ
Plot Date:	17/12/202
Project NO.	RP0720DI
Project Status	DA

Ron and Carolyn Delezio 54 Smith Street, Manly Sheet Size: A3

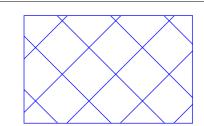
DRAWING TITLE : SITE AND LOCATION

Demolition Roof Plan **Alterations & Additions**

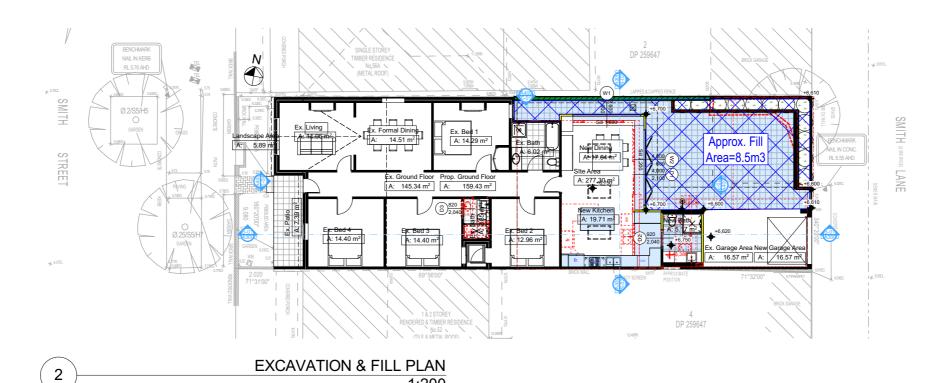
Wall Legend

REVISION NO. 17/12/20

DA1007



Denotes Fill Area



DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage iter

Certifying
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Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 3740
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

1:200

Basix Certificate Number A402153

Basix Certificate Number 44/12/153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area se plans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	Alans	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			



BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: Project NO. Project Status 17/12/2020 RP0720DEL DA

Client Ron and Carolyn Delezio Site: 54 Smith Street, Manly

Sheet Size: A3

DRAWING TITLE :

Excavation & Fill Plan PROJECT NAME :

17/12/20 **DA1008**

Alterations & Additions

SITE AND LOCATION



Denotes Impervious Area

© Copyright Rapid Plans 2020 Denotes Open Space Area

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Rapid Pla Building Design and Architectural Dra



Site Information Prop. Comp 277.3m2 Yes Site Area ousing Density (dwelling/m2) 1 Max Bldg Ht Above Nat. GL 6722mm Yes ront Setback 2040mm Existing 5752mm Existin Secondary Street Setback 931mm Existin Min. side bdy setback % of landscape open space 15% 35% min) 75% mpervious area (m2) aximum depth of fill (m) No. of car spaces provided 1 Floor Space Ratio (Max=0:6) | 0:58 | Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans



Drawn | Checked GBJ Plot Date: 17/12/2020 Project NO. RP0720DEL Project Status DA

ient Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

Landscape Open Space
Plan Existing

Alterations & **Additions**

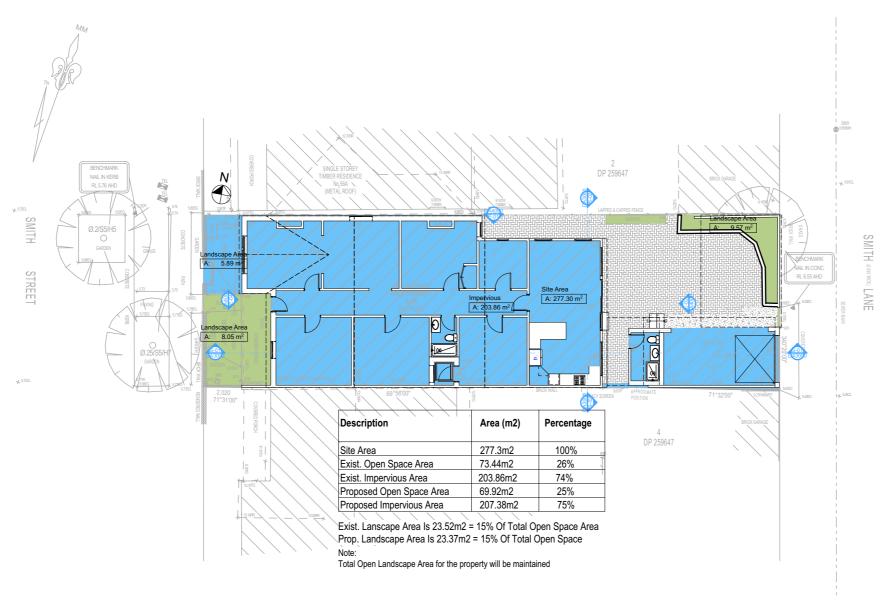
DA APPLICATION

ONLY

NOT FOR CONSTRUCTION

17/12/20

DA1009



LANDSCAPE OPEN SPACE EXISTING

2

1:200



Denotes Open Space Area



BUILDING DESIGNERS



A C C R E D I T E D
BUILDING DESIGNER

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54 Smith Street, Manny Is not considered a heritage liet at AP lens be be read in conjunction with Basic Certificate New Works to be constructed shown in Shadedibles (Smith Street Smith Sm

uirements of Building Codes of Australia. tifying DA Application Only plans are for DA Application purposes only. The is are not to be used for the construction certificate application by any flying Authority whout the witten permission of Replot Paris or the oly of authorised Construction Certificate drawings by Rapid Plans its.

ix Certificate Number A402153

Plans to be read in conjunction with Basix Certificate applicant must construct he new or altered construction (flowing, and ceilings/incols) in accordance with the specification wails, and ceilings/incols) in accordance with the specification size with the series of reiner construction is less than 2m2, but aliand specified is not required for parts of altered construction is installation attendity exists.

devices, in accordance with the specifications isted in the table to Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of ear eave, parpola, verandah, balcony or awning must be no more than 500 mm palows the head of the window or glazed door an or the projection of the projection of the projection projection of the projection of the projection of the projection destance from the contine and the base of the window and ideared in destance from the contine and the base of the window and ideared in the projection of the projection o

Site Information Prop. Comp 277.3m2 Yes Site Area ousing Density (dwelling/m2) 1 Max Bldg Ht Above Nat. GL 6722mm Yes ront Setback 2040mm Existing Secondary Street Setback 5752mm Existin 931mm Existin Min. side bdy setback % of landscape open space 15% 35% min) 75% mpervious area (m2) aximum depth of fill (m) No. of car spaces provided 1 Floor Space Ratio (Max=0:6) 0:58 Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans

Drawn | Checked GBJ Plot Date: 17/12/2020 Project NO. RP0720DEL Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

Site: 54 Smith Street, Mar

DRAWING TITLESTEE AND LOCATION

Landscape Open Space

Plan Proposed

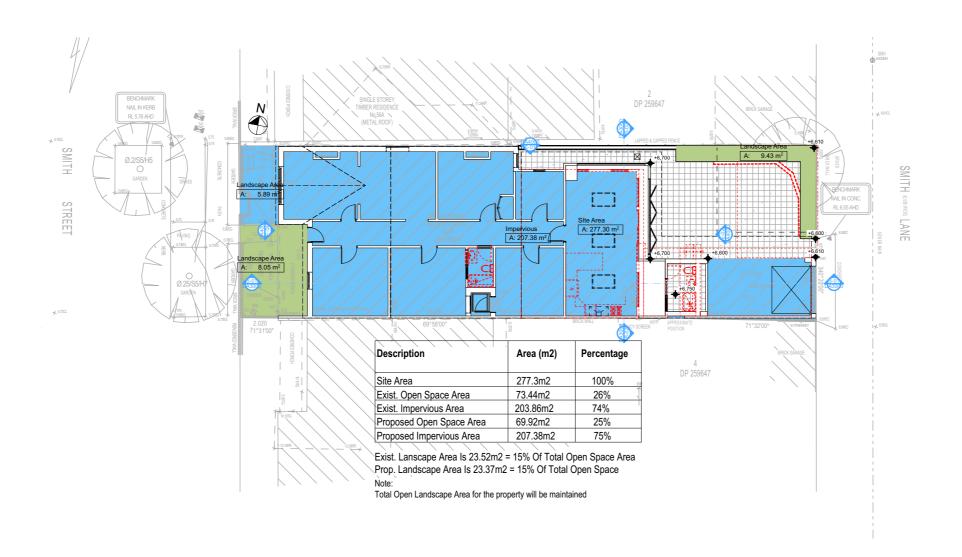
Alterations & Additions

REVISION NO. DATE

17/12/20 WING NO.

DA1010

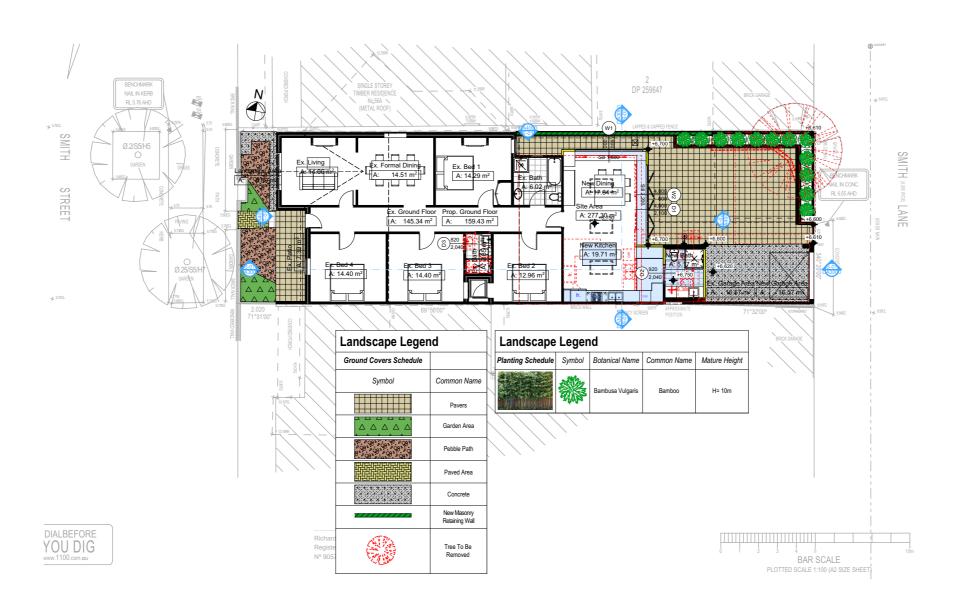
ot Date: 17/12/20
Neet Size: A3 Richarded John (St.EDD)
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LANDSCAPE OPEN SPACE PROPOSED 1:200

2

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LANDSCAPE PLAN

1:200

2

Rapid Plans
Bulding Design and Architectural Drafting

www.rapidplans.com.au
PO Box 619x Frenchs Forest DC NSW 2
Fax: (CQ) 9905-8865 Mobile: 0424-945

Fax: (x2) 9905-5865 mobile: 0424-945-024
Email: gyrgg@rapidplans.com.nu

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Termine Management BCA s ross. \$3,600.1
Termine Management BCA 200.7
Waterproofing to BCA and AS 3740
Waterproofing to BCA and AS 3740
New Liphing to have minimum of 40% compact fluorescent lai
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

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Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate The applicant must construct the new or altered construction (fig.), walks, and cellings/morb) in accordance with the specification (s.), walks, and cellings/morb) in accordance with the specification (s.), and the specification is expecification is expecified where the read or lener confusion of the Plans Plan

window and glazed door.
For projections discribed in millimetres, the leading edge of ea eave, pergola, verandah, balcony or awning must be no more than 500 min above the head of the window or glazed door and no more than 2400 min above the sill.
Overshadowing buildings or vegleation must be of the height and distance from the centre and the base of the window and glazed of

Site Information	Prop.	Comp
Site Area	277.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m2)	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancie to Rapid Plans



Drawn | Checked GBJ Plot Date: 17/12/2020 Project NO. RP0720DEL Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

cation purpose

DRAWING TITLE:
SITE AND LOCATION

Landscape Plan

Alterations & Additions

REVISION NO. DAT

17/12/20 ving no.

DA1011

Plot Date: 17/12/2/
Sheet Size: A3 R:Current abstract Expo



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes New Concrete Block Wall
Denotes Existing Wall
Denotes Demolished Item







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54 Smith Street, Marrly is not considered a heritage item AF Paris to be read in conjunction with Basis Certificate AF Paris to be read in conjunction with Basis Certificate construction. Construction Construction Construction Construction Conference of the Mississipple of Construction Construction Conference of Confe

orkmanship and materials shall be in accordance with the irements of Building Codes of Australia. If ying DA Application Only plans are for DA Application purposes only. Th are not to be used for the construction certificate application by an ying Authority without the written permission of Rapid Plans or the yor authorities Construction Certificate drawings by Rapid Plans or the yor authorities Construction Certificate drawings by Rapid Plans or the page 1888 of the Construction Certificate or the properties of the properties of the construction of the construction of the construction of the construction of the properties of the construction of the construction of the construction of the construction of the properties of the construction of the

Basix.

Basix Certificate Number A402153

All Plains to be read in conjunction with Basix Certificate

All Plains to be read in conjunction with Basix Certificate

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islad in the table below, except that a) additional insulation is

expanded where the area of new construction is less than 2 m2.

where insulation already exists.

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Site Information	Prop.	Comp.
Site Area	277.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	6722mm	Yes
Front Setback	2040mm	Existing
Secondary Street Setback	5752mm	Existing
Min. side bdy setback	931mm	Existing
% of landscape open space (35% min)	15%	Existing
Impervious area (m2)	75%	Variable
Maximum depth of fill (m)	274mm	Yes
No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes
Dulldanta Chash an	1 A C'	11

Builder to Check and Confirm all Measurements Prior to Commencement of any works. mmediately Report any Discrepancion to Rapid Plans



Drawn | Checked GBJ Plot Date: 17/12/2020 Project NO. RP0720DEL Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

Site: 54 Smith Street, Manl

DRAWING TITLE:
SITE AND LOCATION
Sediment & Erosion Plan

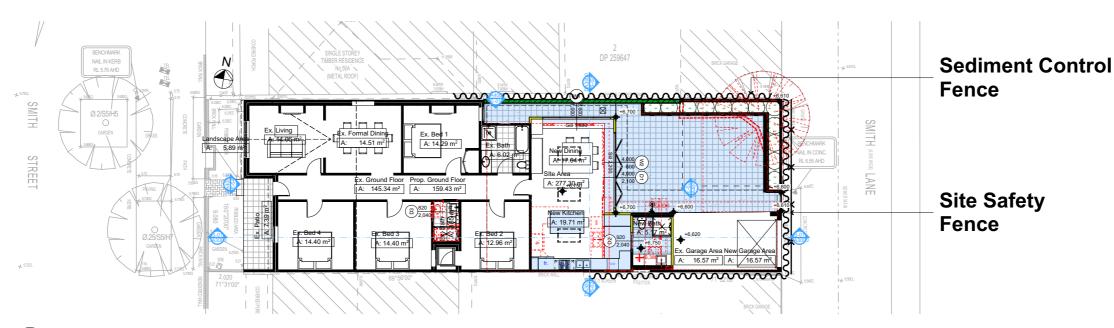
Alterations &

Additions

17/12/20

DA1012

Plot Date: 17/12/
Sheet Size: A3 RiCurrent Jobel DELE
WARD DAUGH DAIGHTER
HELD DAIGHTE



SEDIMENT & EROSION CONTROL PLAN
1:200

2

50-75 mm crushed rock

-Geofabric lining

SL81 Fabric (2.4m x 3.0m) Mesh pegged firmly to ground 50-75 mm crushed rock

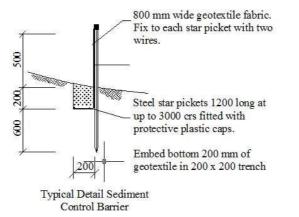
Light Duty Tyre Cleaning Berm (3000 wide min)

Light Duty Tyre Cleaning Grid (3000 wide min)

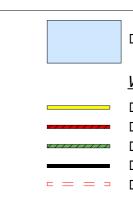
Run-off to drain

Standard grass bales secured by steel star pickets approx. 1200 long at up to 3000 crs fitted with protective plastic caps

Typical Detail Grass Bale Sediment Barrier



These plans are for DA App only. These plans are not to construction certificate app the written permission of R



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall Denotes New Masonry Wall Denotes New Concrete Block Wall **Denotes Existing Wall** Denotes Demolished Item





Prop. Comp 277.3m2 Yes using Density (dwelling/m2) 1 Max Bldg Ht Above Nat. GL 6722mm Yes ront Setback 2040mm Existin econdary Street Setback 5752mm Existin Min. side bdy setback mpervious area (m2) loor Space Ratio (Max=0:6) 0:58

Builder to Check and Confirm all Measurements Prior to Commencement of any works. nmediately Report any Discrepanci



ient Ron and Carolyn Delezio

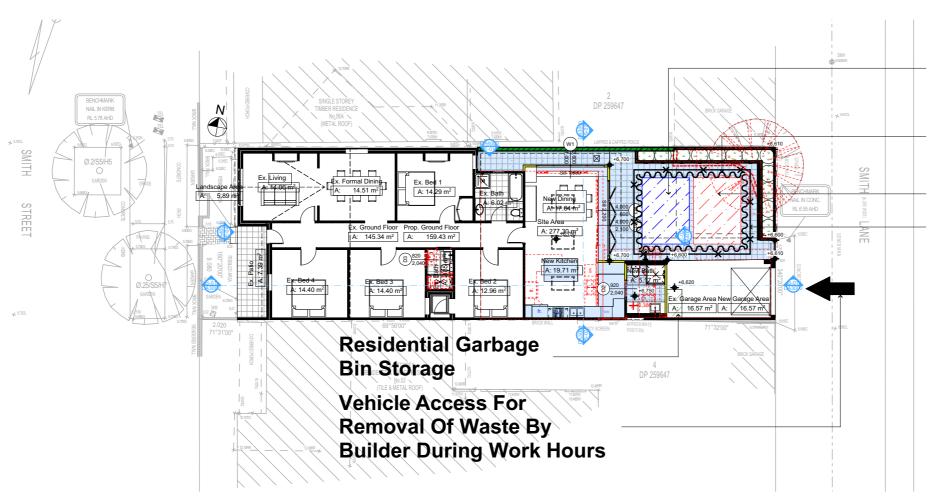
Site: 54 Smith Street, Manly

DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

Alterations & **Additions**

17/12/20

DA1013



Approximate Location Of Building Waste & **Recycling Area Sediment Control Fence**

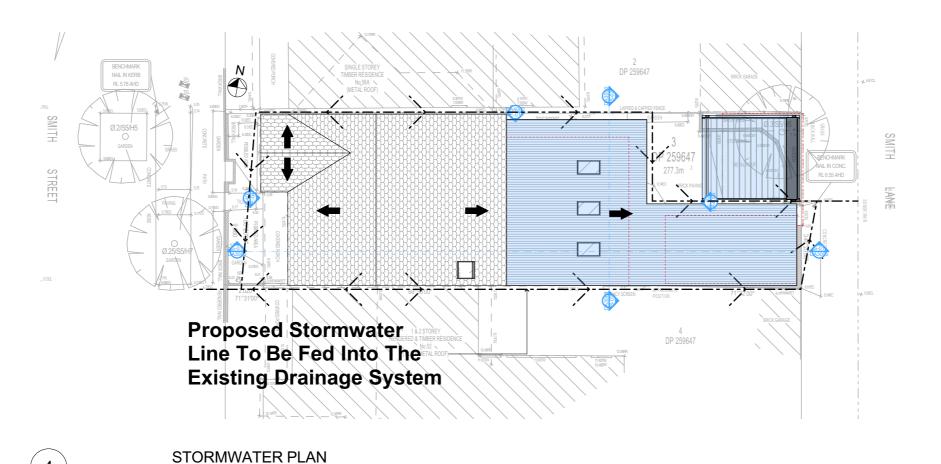
Material Storage Area Site Safety Fence

WASTE MANAGEMENT PLAN 1:200



Legend

 $\overline{}$ = $\overline{}$ Denotes Demolished Item



1:200

only. These plans are for DA Aponly. These plans are not to construction certificate aponly.

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Building Design and Architectural Drafting

World Plants

White Plants



AP Plans to be read in corpuration with Basix Certificate New Works to be constructed shown in Shaded/Blue Construction Concrete Sale Places, Framed, Masonry Walls Roof Framed to have R1.08 Insulation. Walls R1.00 Repair Concrete Sale Places R1.00 Repair Control Framed to Place R1.00 Repair Control R1.00 R1.00

ritifying a DA Application Only plans are for DA Application purposes only. Their is are not to be used for the construction certificate application by any rithing Authority without the written permission of Rapid Plans or the ply of authorised Construction Certificate drawings by Rapid Plans six.

walls, and Célifigismosty in accididance with the spécifications, valued to the control of the

indow and plazed door.

or projections described in millimetres, the leading edge of each axe, pergola, verandah, balcony or awing must be no more and 500 min above the head of the window or glazed door and on more than 2400 mm above the sill.

when the project of the project of the project of the height and stance from the centre and the base of the window and glazed door,

 Site Information
 Prop.
 Comp.

 Site Area
 277.3m2
 Yes

 Housing Density (dwelling/m2)
 1
 Yes

 Housing Density (dwelling/m2)
 1
 Yes

 Max Bldg Ht Above Nat. GL
 6722mm
 Yes

 Front Setback
 2040mm
 Existing

 Secondary Street Setback
 5752mm
 Existing

 Min. side bdy setback
 931mm
 Existing

 % of landscape open space (35% min)
 15%
 Existing

 Impervious area (m2)
 75%
 Variable

 Maximum depth of fill (m)
 274mm
 Yes

 No. of car spaces provided
 1
 Yes

 Floor Space Ratio (Max=0:6)
 0:58
 Yes

 Builder to Check and Confirm all

Measurements Prior to
Commencement of any works.
mmediately Report any Discrepanci
to Rapid Plans



Drawn | Checked GBJ Plot Date: 17/12/2 Project NO. RP0720 Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street Ma

Site. 54 Smith Street, Mai

site and Location
Stormwater Pla

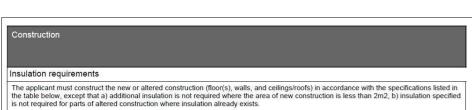
Alterations & Additions

REVISION NO. DATE

- 17/12/20 DRAWING NO. DA1014

ot Date: 17/

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement



Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: cavity brick	nil	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Lighting

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

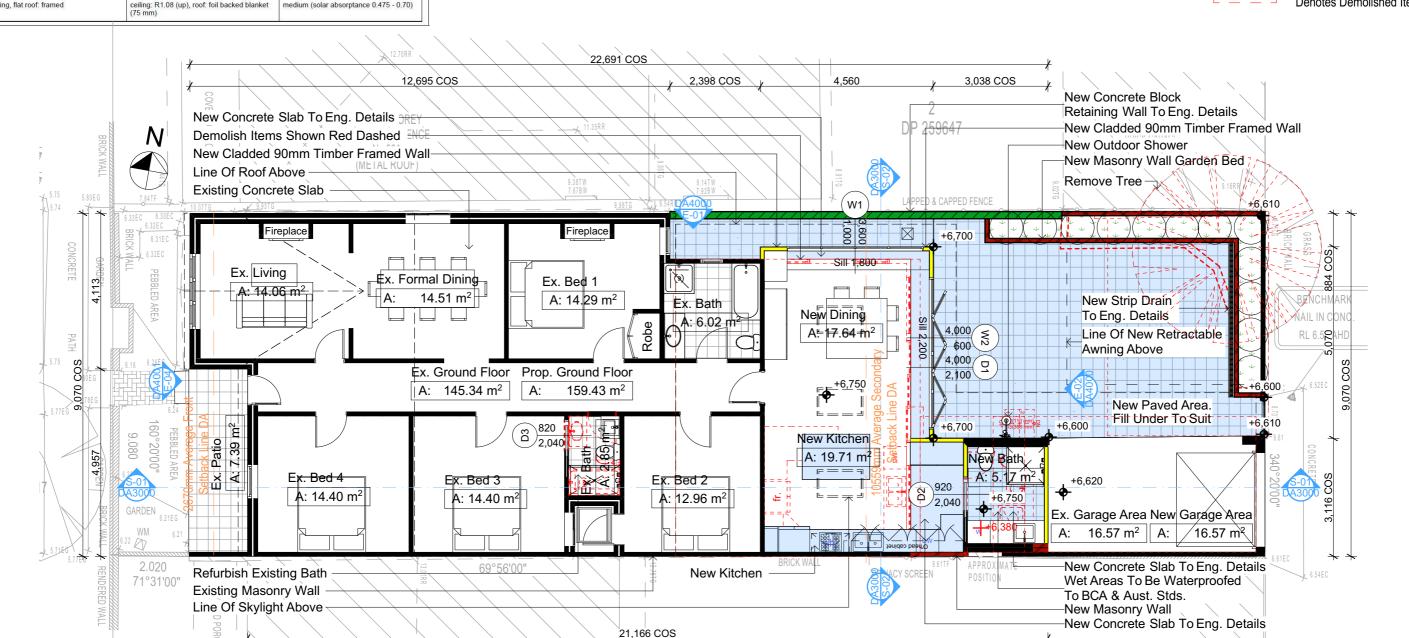
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



Denotes New Masonry Wall Denotes New Concrete Block Wall

Denotes Existing Wall Denotes Demolished Item

Denotes New Works



DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage item

GROUND FLOOR

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Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

1 & 2 STOREY

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door

277.3m2	Yes	Min. side bdy setback (Min.)	931mm s	Existing
Alans	Yes	% of landscape open space (35% min)	15%	Existing
6722mm	Yes	Impervious area (m2)	75%	Variable
2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
5752mm	Existing	No. of car spaces provided	1	Yes
0:58	Yes			1
	1 6722mm 2040mm 5752mm	6722mm Yes 2040mm Existing 5752mm Existing	1 Yes % of landscape open space (35% min) 6722mm Yes Impervious area (m2) 2040mm Existing Maximum depth of fill (mm) 5752mm Existing No. of car spaces provided	1 Yes % of landscape open space (35% min) 15% 6722mm Yes Impervious area (m2) 75% 2040mm Existing Maximum depth of fill (mm) 274mm 5752mm Existing No. of car spaces provided 1

BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA



Builder to Check and Confirm Discrepancies to Rapid Plans



Checked Plot Date: Project NO. Project Status 17/12/2020 RP0720DEL DA

Sheet Size: A3

Client Ron and Carolyn Delezio Site: 54 Smith Street, Manly

PROJECT NAME

DRAWING TITLE : GROUND FLOOR

Site Information

REVISION NO.

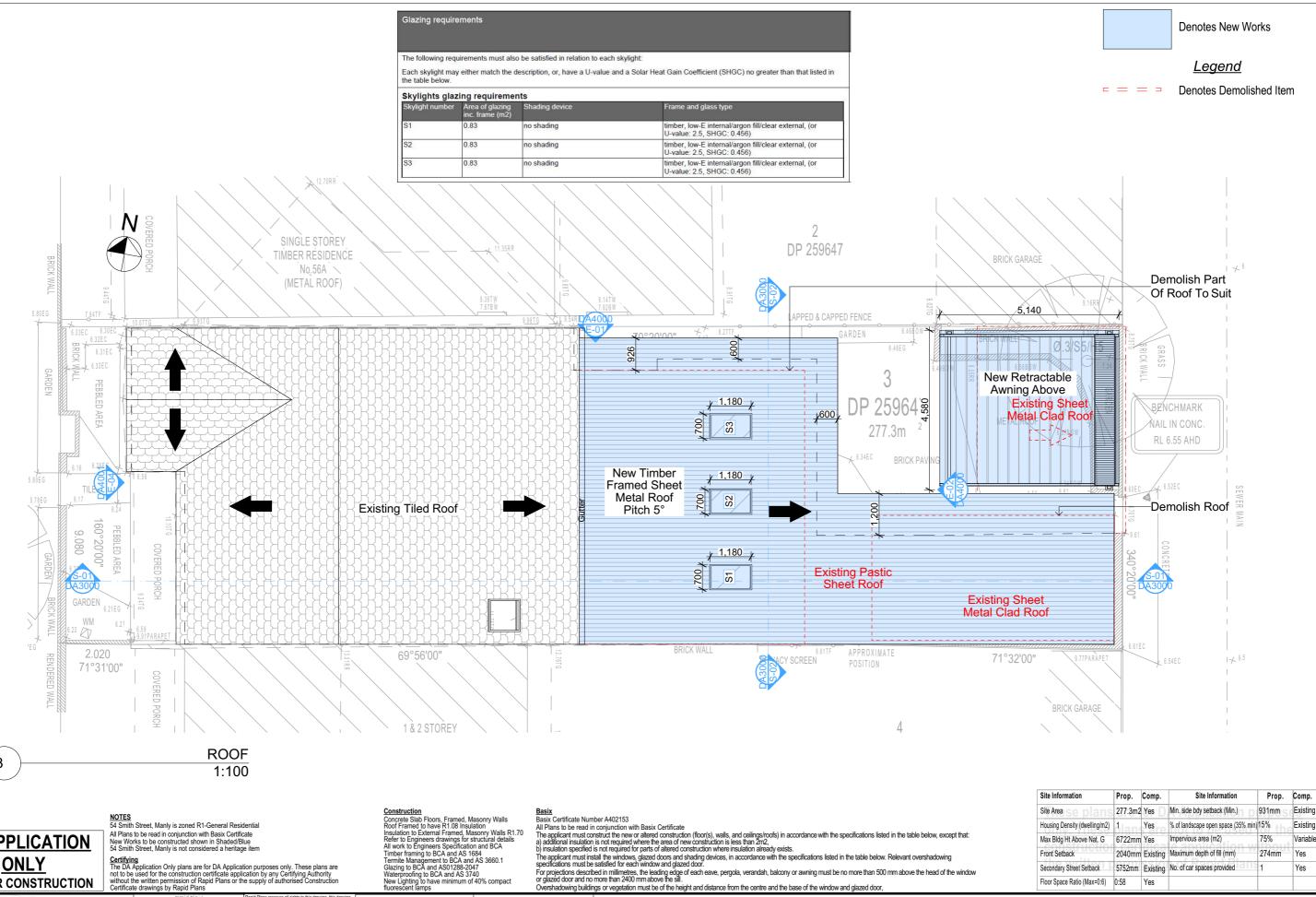
Site Information

Prop. Comp.

Alterations & Additions

17/12/20 **DA2001**

Prop. Comp.



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Builder to Check and Confirm all Measurements Prior to ommencement of any works. Immediately Report any Discrepancies to Rapid Plans



1	Checked Plot Date: Project NO. Project Statu
	Client
	Site:

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Sheet Size: A3

Checked	GBJ
Plot Date:	17/12/2020
Project NO.	RP0720DEL
Project Status	DA
Client	Ron and Car

DRAWING TITLE :

ROOF

2040mm Existing Maximum depth of fill (mm) Secondary Street Setback 5752mm Existing No. of car spaces provided Yes Floor Space Ratio (Max=0:6) 0:58 Yes REVISION NO.

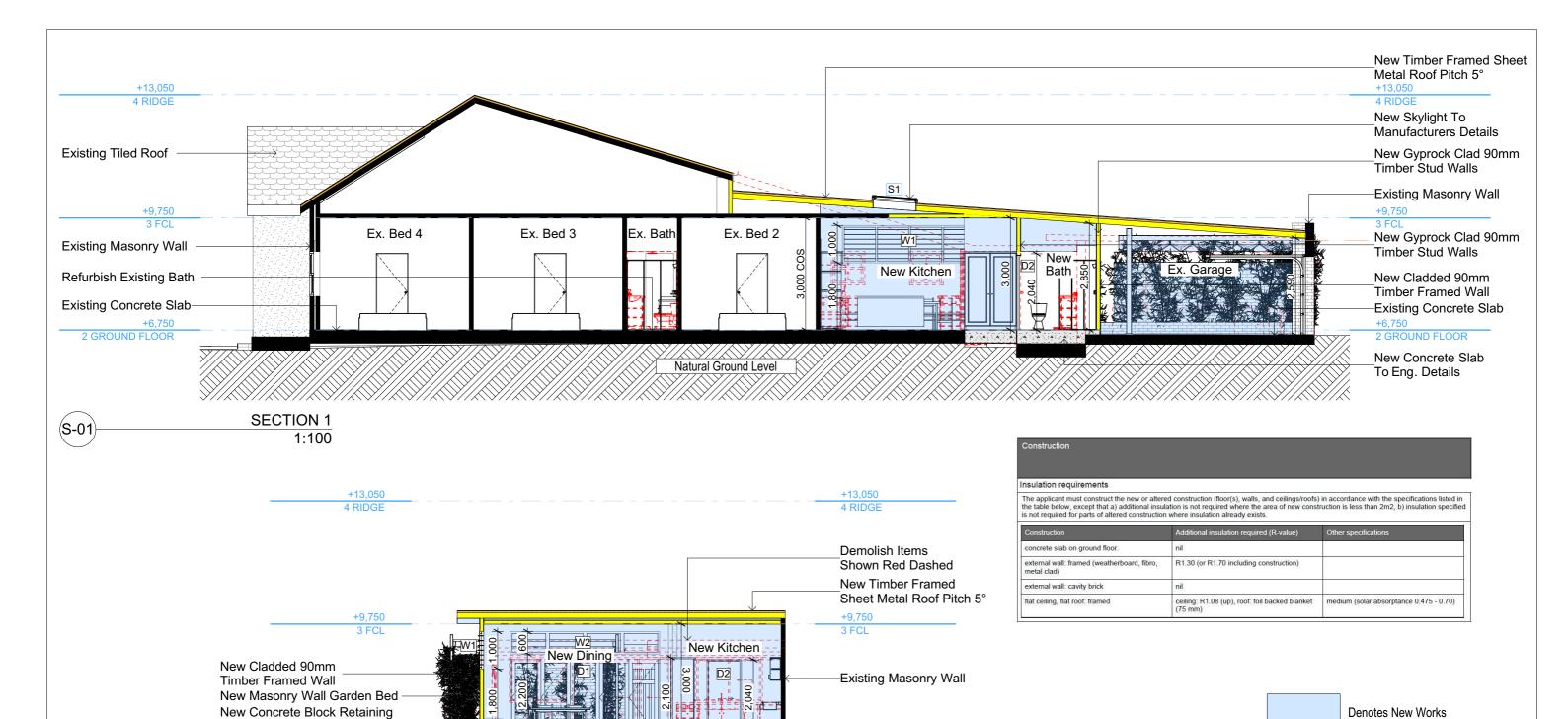
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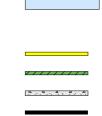
rolvn Delezio 54 Smith Street, Manly

PROJECT NAME :

Alterations & Additions

17/12/20 **DA2002**





Wall Legend

Denotes New Timber Framed Wall Denotes New Concrete Block Wall

Denotes New Concrete

Denotes Existing Wall

Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area se plans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm	Existing
Housing Density (dwelling/m2)	Alane	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			

SECTION 2 (S-02) 1:100

+6,750

2 GROUND FLOOR

NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage ite

Wall To Eng. Details

New Concrete Slab

To Eng. Details

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Builder to Check and Confirm Discrepancies to Rapid Plans



2 GROUND FLOOR

Existing Concrete Slab

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

Sheet Size: A3

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

Specifications into the satisfied in each window and grazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazzed door and no more than 2400 mm above the sil. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazzed door,							
laa	Builder to Check and Confirm all Measurements Prior to	Project North	Checked Plot Date: Project NO. Project Status	GBJ 17/12/2020 RP0720DEL DA	DRAWING TITLE :		
	Commencement of any works. Immediately Report any		Client	Ron and Carolyn Delezio	PROJECT NAME :		

DRAWING TITLE :

SECTIONS 1

REVISION NO. 17/12/20 **DA3000**

NOT FOR CONSTRUCTION

DA APPLICATION

ONLY

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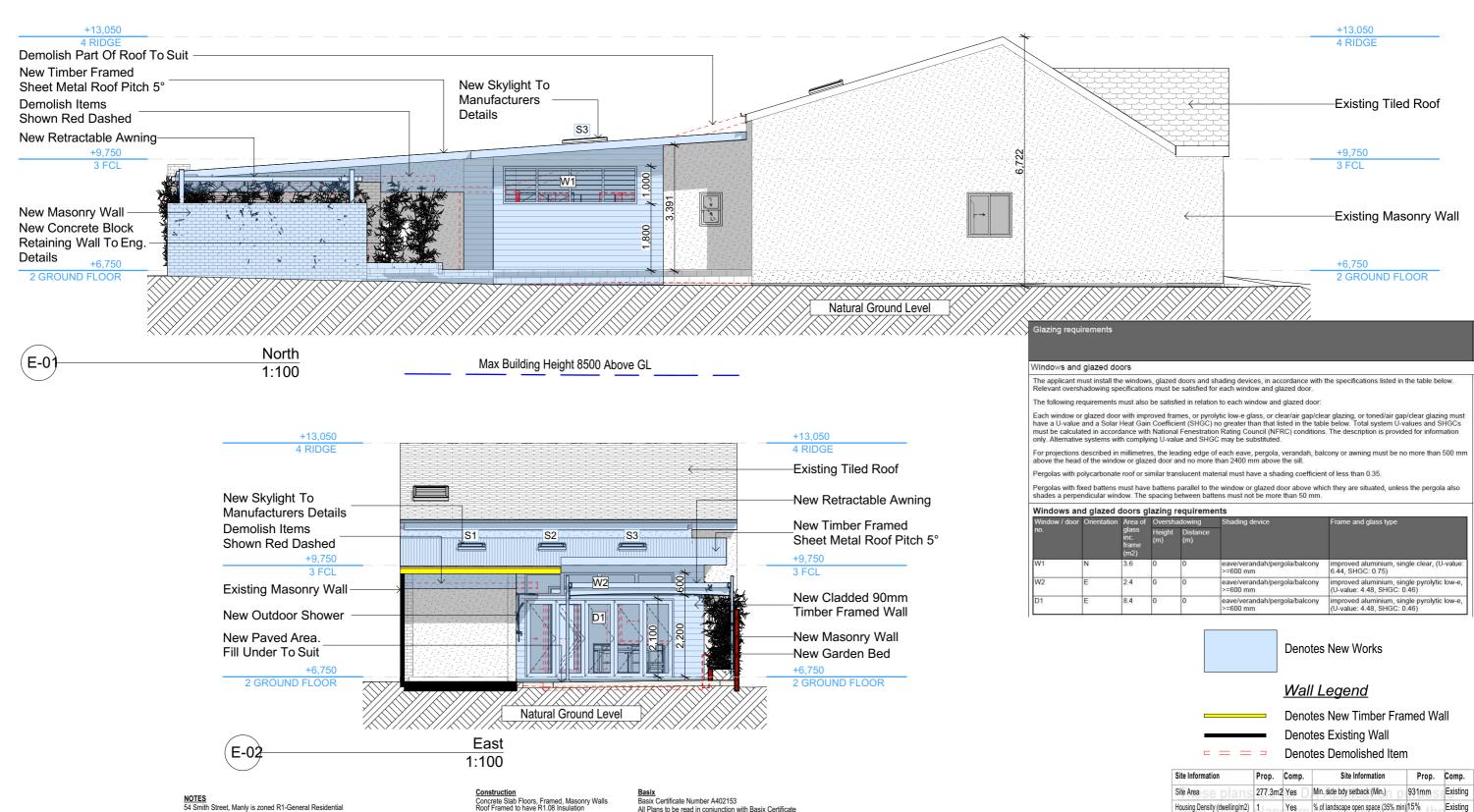
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

Natural Ground Level

Basix Certificate Number A402153

olvn Delezio 54 Smith Street, Manly Site:

Alterations & Additions



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Certifying
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Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Dask Certificate vinition reversity of the All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door

Builder to Check and Confirm

Checked Plot Date: Project NO. Project Status

17/12/2020 RP0720DEL DA

Ron and Carolyn Delezio 54 Smith Street, Manly

PROJECT NAME :

DRAWING TITLE

REVISION NO. 17/12/20

DA4000

75%

274mm

Yes

Yes

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



Discrepancies to Rapid Plan

Sheet Size: A3

Alterations & Additions

ELEVATIONS 1

Max Bldg Ht Above Nat. G

Floor Space Ratio (Max=0:6) 0:58 Yes

Front Setback

6722mm Yes

Secondary Street Setback 5752mm Existing No. of car spaces provided

2040mm Existing Maximum depth of fill (mm)

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door C no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type	
			Height (m)	Distance (m)			
W1	N	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)	
W2	E	2.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)	
D1	E	8.4	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)	

Glazing requirements

The following requirements must also be satisfied in relation to each skylight

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in

Skylights glazing requirements

Skylight number Area of glazing inc. frame (m2		Shading device	Frame and glass type		
S1	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)		
S2	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)		
S3	0.83	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)		

Denotes New Works

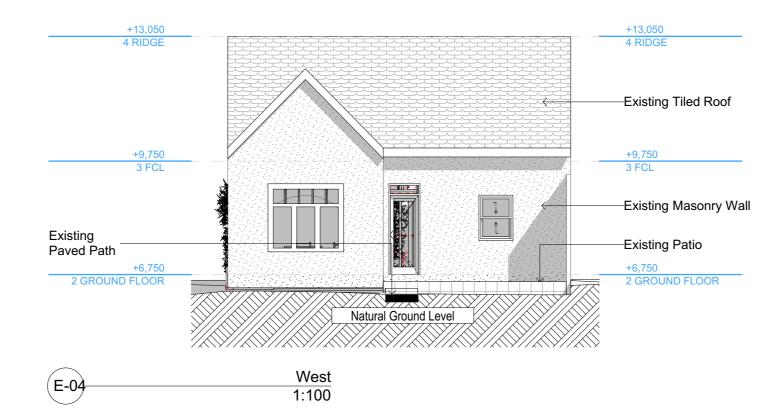
Wall Legend

Denotes Existing Path

====

Denotes Demolished Item

Max Building Height 8500 Above GL





NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 54 Smith Street, Manly is not considered a heritage item

Certifying
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Construction
Concrete Slab Floors, Framed, Masonry Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number A402153

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows clarked doors and shading devices in accordance with the specifications listed in the table below. Release to unstable the part of the

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

te Information Prop. Comp. Site		Site Information	Prop.	Comp.	
Site Area se plans	277.3m2	Yes	Min. side bdy setback (Min.)	931mm s	Existing
Housing Density (dwelling/m2)	Alang	Yes	% of landscape open space (35% min)	15%	Existing
Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Variable
Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
Floor Space Ratio (Max=0:6)	0:58	Yes			
	1				







Builder to Check and Confirm all Measurements Prior to ommencement of any works Discrepancies to Rapid Plans



Checked Plot Date: Project NO. Project Status	GBJ 17/1 RP0 DA
Client	Ror
Site:	54

Sheet Size: A3

Ron and Carolyn Delezio 54 Smith Street, Manly

PROJECT NAME

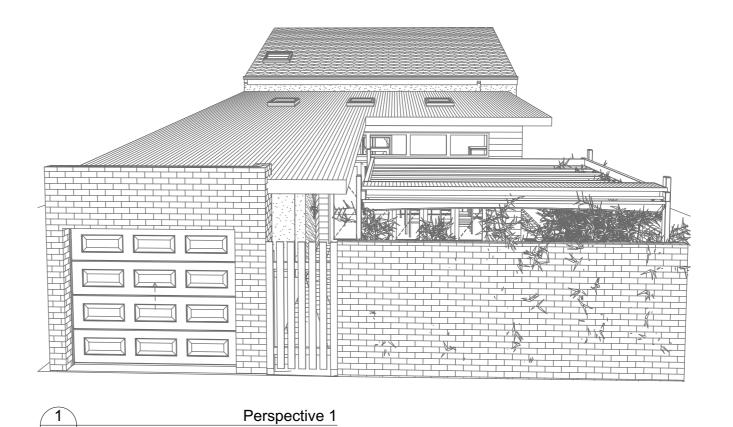
DRAWING TITLE :

REVISION NO. 17/12/20

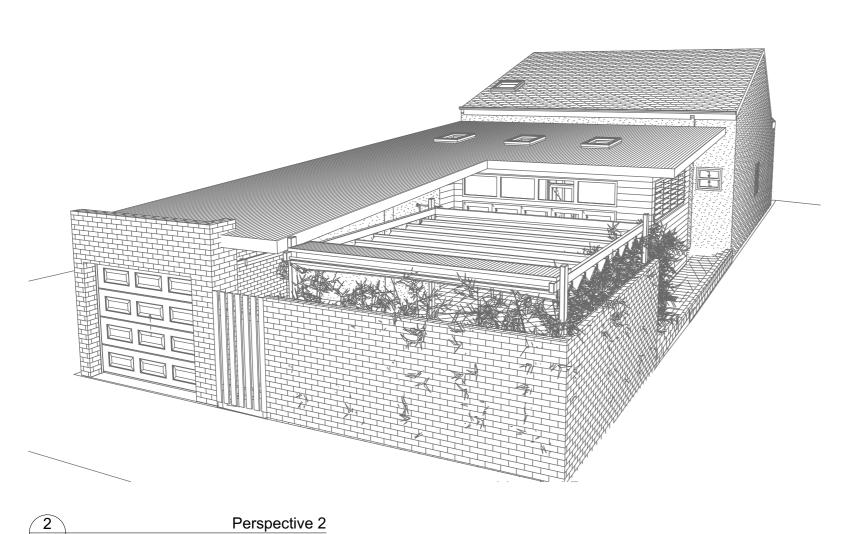
DA4001

Alterations & Additions

ELEVATIONS 2



1:200



1:200

These plans are for DA Apponly. These plans are not to construction certificate apponly the written permission of R

DA APPLICATION
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NOT FOR CONSTRUCTION



PO Box 6192 Frenchs Forest DC NSW 208 Fax : (02) 9905-8865 Mokile: 0414-945-02 Email : gregg@vapidplans.com.au





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A Simila Steen, Marily sin of considered a heritigae lieur A Simila Steen, Marily sin of considered a heritigae lieur AP Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded Silvus Concrete Sida Floors, Framed, Masonry Wals ROF Framed to have RT, 108 Instalation / Wals Rt 1.70 Refer to Engineers drawing for shructural details a All work to Engineers Specification and BCA Termita Management to BCA and AS 3680.1 Glazing to EQ. And AS 30280.2015

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. To plans are not to be used for the construction certificate application by a Certifying Authority without the written permission of Rapid Plans or the

BASED and untities to desicular on the fact game (g) by equir has basic Cartificate harmone A402153. All Plans to be need in conjunction with Basic Certificate (g) walls, and cellingshoots) in accordance with the specification (s) walls, and cellingshoots) in accordance with the specification laided in the table below cought that a delicitied installation in size of the specification of the specification of the specification installation specified is not required for parts of altered construct where installation standard construction. The applicant must restall the with configurations steed in the table be Relieved to versibioting specifications must be a staffeed for each Relieved to versibioting specifications must be a staffeed for each Relieved to versibioting specifications must be a staffeed for each staffee in the second properties of the second construction and the second construction of the

Heeveral rovershadowing specifications must be satisfied for each mirrow and gizzard door. For projections described in millimetres, the leading edge of ead save, pergola, verandish, balcomy or awning must be no more than 500 min above the head of the window or glazzed door and no more than 2400 mm above the sinus to of the height and distance from the centre and the base of the window and glazed do distance from the centre and the base of the window and glazed do

Site Information	Prop.	Comp.			
Site Area	277.3m2	Yes			
Housing Density (dwelling/m2)	1	Yes			
Max Bldg Ht Above Nat. GL	6722mm	Yes			
Front Setback	2040mm	Existing			
Secondary Street Setback	5752mm	Existing			
Min. side bdy setback	931mm	Existing			
% of landscape open space (35% min)	15%	Existing			
Impervious area (m2)	75%	Variable			
Maximum depth of fill (m)	274mm	Yes			
No. of car spaces provided	1	Yes			
Floor Space Ratio (Max=0:6)	0:58	Yes			
Builder to Check and Confirm all					

Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans



Plot Date: 17/12/2020 Project NO. RP0720DEL Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

ation purposes

SHADOW PLANS
PERSPECTIVE

ROJECT NAME:
Alterations &
Additions

17/12/20

DA5000

: 17/12/2020

Rizar A 3 Rizarest Jobs (SLEZO Ros & C Next Cold Descriptions 2-2)



Denoted Cladding (Typical). Builder To Confirm Type & Colour

Denoted Rendered Wall (Typical). Builder To Confirm Type & Colour



Denoted Retractable Awning (Typical). Builder To Confirm Type & Colour



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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



Measurements Prior to Commencement of any works. mmediately Report any Discrepancies to Rapid Plans

lient Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

MATERIAL & COLOUR
SAMPLE BOARD

Alterations & **Additions**

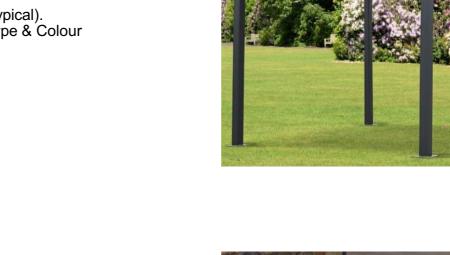
17/12/20

DA5001

DA APPLICATION

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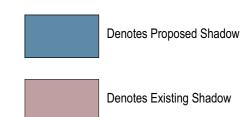


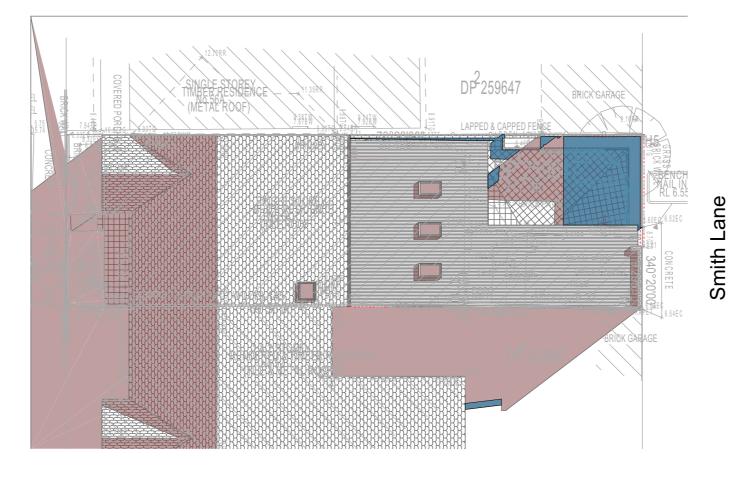


Denoted Paving (Typical). Builder To Confirm Type & Colour



Denoted Sheet Metal Roof (Typical). Builder To Confirm Type & Colour





Smith Street

SHADOW PLAN 21 JUN at 0900h

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES 54 Smith Street, Manly is zoned R1-General Residential All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage item

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Construction
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Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
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Glazing to BCA and AS 3740
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Builder to Check and Confirm

all Measurements Prior to Commencement of any works. Immediately Report any

Basix
Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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GBJ 17/12/2020 RP0720DEL DA Checked Plot Date: Project NO. Project Status DRAWING TITLE :

Ron and Carolyn Delezio

PROJECT NAME :

SHADOW PLAN 21st June 9am

Alterations & Additions

Site Information

Front Setback

Prop. Comp.

Secondary Street Setback 5752mm Existing No. of car spaces provided

Housing Density (dwelling/m2) 1 Yes

Max Bldg Ht Above Nat. G 6722mm Yes

Floor Space Ratio (Max=0:6) 0:58 Yes

REVISION NO.

Prop. Comp.

Variable

Yes

Yes

931mm

75%

274mm

BUILDING DESIGNERS ACCREDITED Discrepancies to Rapid Plans Site: ASSOCIATION OF AUSTRALIA BUILDING DESIGNER

Client

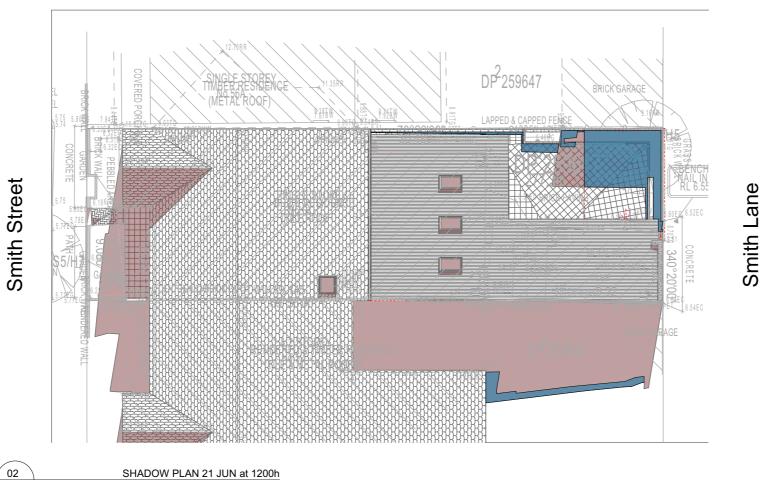
54 Smith Street, Manly

Sheet Size: A3

17/12/20 **DA5002**

% of landscape open space (35% min) 15%

2040mm Existing Maximum depth of fill (mm)



DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
54 Smith Street, Manly is zoned R1-General Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
54 Smith Street, Manly is not considered a heritage item

Certifying
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Construction
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Roof Framed to have R1.08 Insulation
Insulation to External Framed, Masonry Walls R1.70
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New Lighting to have minimum of 40% compact
fluorescent lamps

Basix
Basix Certificate Number A402153
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

DRAWING TITLE :	SHADOW PLANS	SHADOW PLANS			NO.	
	Floor Space Ratio (Max=0:6)	0:58	Yes			
e head of the window	Secondary Street Setback	5752mm	Existing	No. of car spaces provided	1	Yes
rshadowing	Front Setback	2040mm	Existing	Maximum depth of fill (mm)	274mm	Yes
below, except that:	Max Bldg Ht Above Nat. G	6722mm	Yes	Impervious area (m2)	75%	Varia
	riousing Density (uwening/inz)	hlang	169	// or landscape open space (55 /6 mm)	10 /0	LAISI

Prop. Comp.

Vac

277.3m2 Yes Min. side bdy setback (Min.)



BUILDING DESIGNERS







Checked Plot Date: Project NO. Project Status

GBJ 17/12/2020 RP0720DEL DA

Client Ron and Carolyn Delezio Site: 54 Smith Street, Manly

Sheet Size: A3

SHADOW PLAN 21st June 12pm

Alterations & Additions

Site Information

DATE. 17/12/20

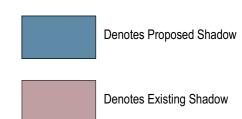
Prop. Comp.

931mm

Existing

Site Information

DA5003





Smith Lane

DA APPLICATION ONLY NOT FOR CONSTRUCTION



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SHADOW PLAN 21 JUN at 1500h 1:200



Checked Plot Date: Project NO. Project Status

Ron and Carolyn Delezio 54 Smith Street, Manly

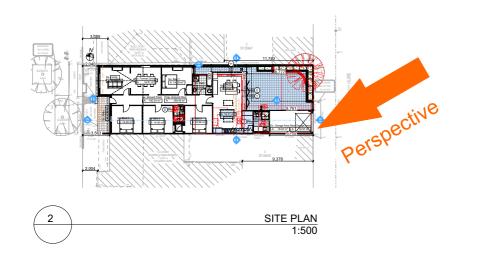
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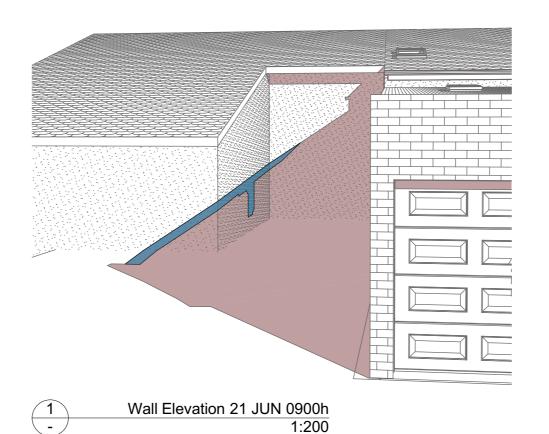
SHADOW PLAN 21st June 3pm

Alterations & Additions

DATE. 17/12/20

DA5004





Wall Elevation 21 JUN 1200h 1:200 3 Wall Elevation 21 JUN 1500h 1:200



Denotes Existing Shadow



Fig. 16(2) 976-5865 Medite order-4-945-604

Ewalt: grego@mpldplanc.com.au

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uses tor construction purposes that issued by the Lesigner for const.

MOTES
54 Smith Street, Manly is zoned RT-General Residential
54 Smith Street, Manly is not considered a heritage liter
All Plans to be read in conjunction with Basix Certificate
the construction
Construction
Construction
Concrete Side Floors, Framed, Masonry Walls

Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber finning to ECA and A.5 198. 5860.1 Glazing to BCA and A.50128.204 Valentprooling to BCA and AS01288.2047 Waterprooling to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent All workmarship and materials shall be in accordance with t requirements of Building Codes of Australia.

Certifying
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Basis: Certificate Number 4402/153
AIP Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction floor
the applicant must construct the new or altered construction floor
the property of the plant of the plan

Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandab, balcomy or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

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Prop. Comp. 277.3m2 Yes ousing Density (dwelling/m2) 1 Max Bldg Ht Above Nat. GL 6722mm Yes ront Setback 2040mm Existing Secondary Street Setback 5752mm Existing 931mm Existing Min. side bdy setback % of landscape open space mpervious area (m2) 75% aximum depth of fill (m) 274mm Yes No. of car spaces provided 1 Floor Space Ratio (Max=0:6) 0:58 Yes Builder to Check and Confirm all

Measurements Prior to
Commencement of any works.
mmediately Report any Discrepancie
to Rapid Plans



Drawn | Checked GBJ Plot Date: 17/12/2020 Project NO. RP0720DEL Project Status DA

Client Ron and Carolyn Delezio

Site: 54 Smith Street, Manly

-41

WALL ELEVATION
SHADOWS

Additions

EVISION NO.

17/12/20

DA5005

t Date: 17

Plot Date: Sheet Siz

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