



Warringah Council

Certification of Shadow Diagrams

Address the application to:

- ☒ The General Manager
Warringah Council
Civic Centre, 725 Pittwater Rd
Dee Why NSW 2099

Or

- ☒ Customer Service Centre
Warringah Council
DX 9118
Dee Why

If you need help lodging your application:

- ☒ Phone our Customer Service Centre
on (02) 9942 2111 or come in and
talk to us

Office Use Only

(Keep this blank)

Feb 2012

PART 1 Declaration

Declaration

I hereby certify that the shadow diagrams submitted with the proposal at.

Address

1 PHYLLIS STREET
CURL CURL

For the erection of
Description of development

Mod.

Have been prepared as follows.

- ☒ In accordance with the survey (prepared by a registered surveyor) which is required to be submitted with the application
- ☒ Drawn to true north
- ☒ Indicate shadow cast by the proposal at 9am, noon, 3pm, 21 June
- ☒ Indicate the shadow cast by existing buildings and structures on the site and in the surrounding area and
- ☒ Elevated shadow diagrams are required for all residential housing which will be over shadowed
This is to include extent of windows to be over shadowed and the use of those rooms

PART 2 Certification

Certifier

Mr ☐

Mrs ☐

Ms ☐

Other ☐

RAPID PLANS.

Full family name (no initials)
(or company)

BARR-JONES

Full given names (no initials)
(or A.C.N)

GREG

Phone number

(02) 99055000

Alternate ()

Mobile number

() 04 945024

Facsimile ()

Qualification

(i.e. Architect, Planner, Computer Technician, Surveyor)

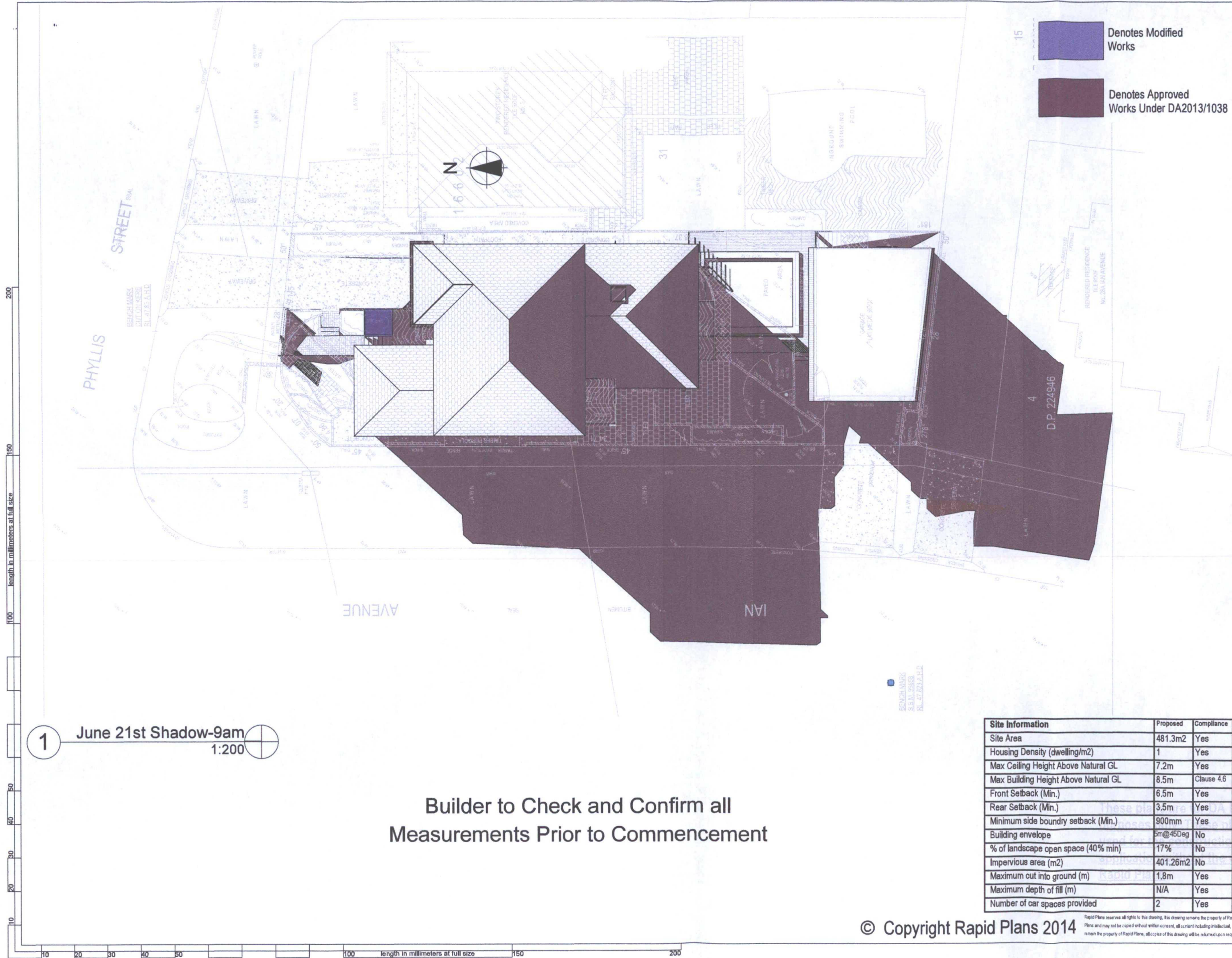
gregg@rapidplans.com.au

PART 3 Applicant(s) Signature

Signature(s)

Signature(s)

Date



Denotes Modified Works

Denotes Approved Works Under DA2013/1038



Rapid Plans
Building Design and Architecture Drafting

Rapid Plans www.rapidplans.com.au
PO Box 6183 Frenchs Forest NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



BUILDING DESIGNERS AUSTRALIA NSW

NOTES

1 Phyllis Street, Curl Curl is zoned R2 Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

1 Phyllis Street, Curl Curl is not considered a heritage item

Construction

Masonry Retaining & Brick Veneer Walls

Framed Tiled Pitched & Metal Sheet Roofs

Brick Veneer Walls To Be Of R1.7 Insulation

Timber Framed Pitched Tiled Roofs To Be Of R0.95 Insulation With 75mm Foil Backed Blankets

Timber Framed Metal Sheet Roofs To Be Of R1.24 With 75mm Foil Backed Blankets

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix

Basix Certificate Number A168104

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the Specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m²; b) insulation specified is not required for parts of altered construction where insulation already exists.


The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA MOD ONLY

NOT FOR CONSTRUCTION

Site Information	Proposed	Compliance
Site Area	481.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Clause 4.6
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	3.5m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	5m@45Deg	No
% of landscape open space (40% min)	17%	No
Impervious area (m ²)	401.26m ²	No
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Jeremy Coleman

Project Name
Alterations & Additions

1 Phyllis Street, Curl Curl
2096

Lot 32 D.P16602

Drawing Title:
Sunstudy - June 21st Shadow- 9am

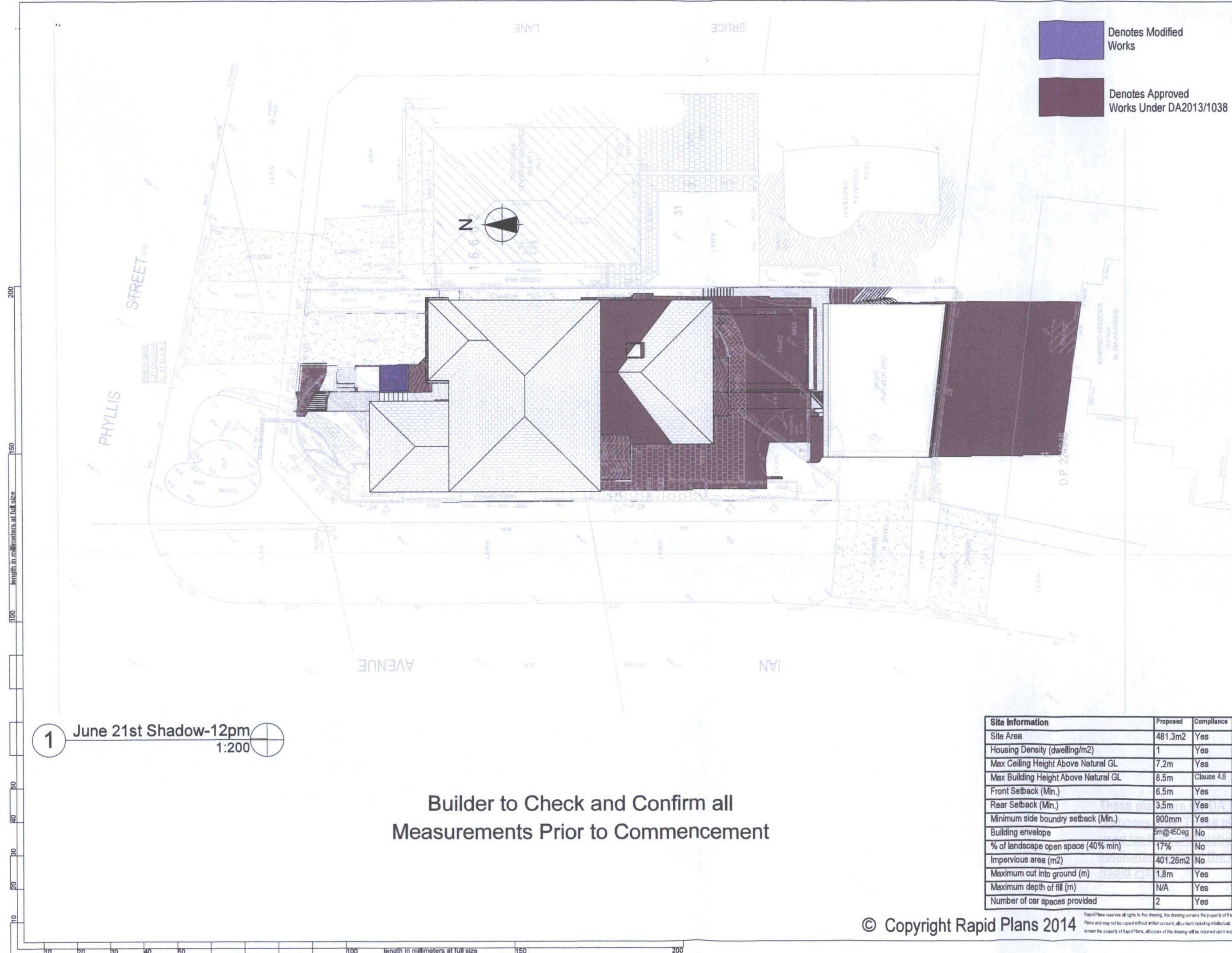
June 21st Shadow-9am

Scale: A3 as noted Date: 19-11-2014

Status: DA MOD Checked By: GBJ

Project No:
RP0513COL

Drawing No:
DA5001



Denotes Modified Works

Denotes Approved Works Under DA2013/1038



Rapid Plans
Building Design and Architecture Drafting

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Email : gregg@rapidplans.com.au



BUILDING DESIGNERS AUSTRALIA NSW

NOTES

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All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

1 Phyllis Street, Curl Curl is not considered a heritage item

Construction

Masonry Retaining & Brick Veneer Walls
Framed Tiled Pitched & Metal Sheet Roofs
Brick Veneer Walls To Be Of R1.7 Insulation
Timber Framed Pitched Tiled Roofs To Be Of R0.95 Insulation With 75mm Foil Backed Blankets
Timber Framed Metal Sheet Roofs To Be Of R1.24 With 75mm Foil Backed Blankets

Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A168104

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.


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Project North



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NOT FOR CONSTRUCTION

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Site Area	481.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Clause 4.6
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	3.5m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	5m@45Deg	No
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Impervious area (m ²)	401.26m ²	No
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

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Client
Jeremy Coleman

Project Name
Alterations & Additions

1 Phyllis Street, Curl Curl
2086

Lot 32 D.P16602

Drawing Title:
Sunstudy - June 21st Shadow- 12pm

June 21st Shadow-12pm

Scale: A3 as noted Date: 19-11-2014

Status: DA MOD Checked By: GBJ

Project No: Drawing No:
RP0513COL DA5002

Builder to Check and Confirm all Measurements Prior to Commencement

Denotes Modified Works

Denotes Approved Works Under DA2013/1038

NOTES

1 Phyllis Street, Curl Curl is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works, to be constructed shown in Shaded/Blue.
1 Phyllis Street, Curl Curl is not considered a heritage item.

Construction

Masonry Retaining & Brick Veneer Walls
Framed Tiled Pitched & Metal Sheet Roofs
Brick Veneer Walls To Be Of R1.7 Insulation
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A168104
All Plans to be read in conjunction with Basic Certificate
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Project North



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NOT FOR CONSTRUCTION

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Client
Jeremy Coleman
Project Name
Alterations & Additions
1 Phyllis Street, Curl Curl
2096

Lot 32 D.P16602

Drawing Title:
Sunstudy - June 21st Shadow- 3pm

June 21st Shadow-3pm

Scale: A3 as noted Date: 19-11-2014

Status: DA MOD Checked By: GBJ

Project No: Drawing No:

RP0513COL DA5003

Site Information	Proposed	Compliance
Site Area	481.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Clause 4.6
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	3.5m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	5m@45Deg	No
% of landscape open space (40% min)	17%	No
Impervious area (m ²)	401.26m ²	No
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

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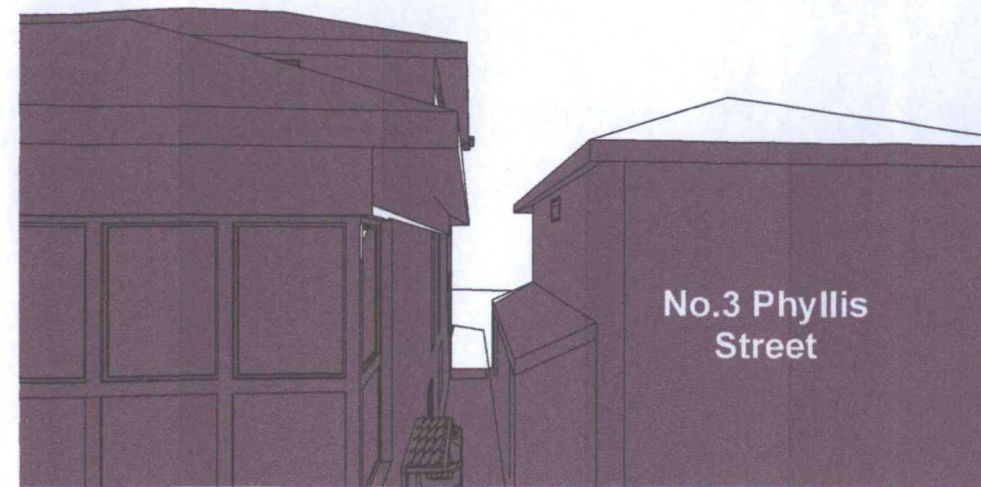
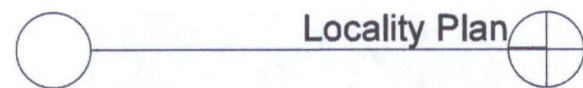
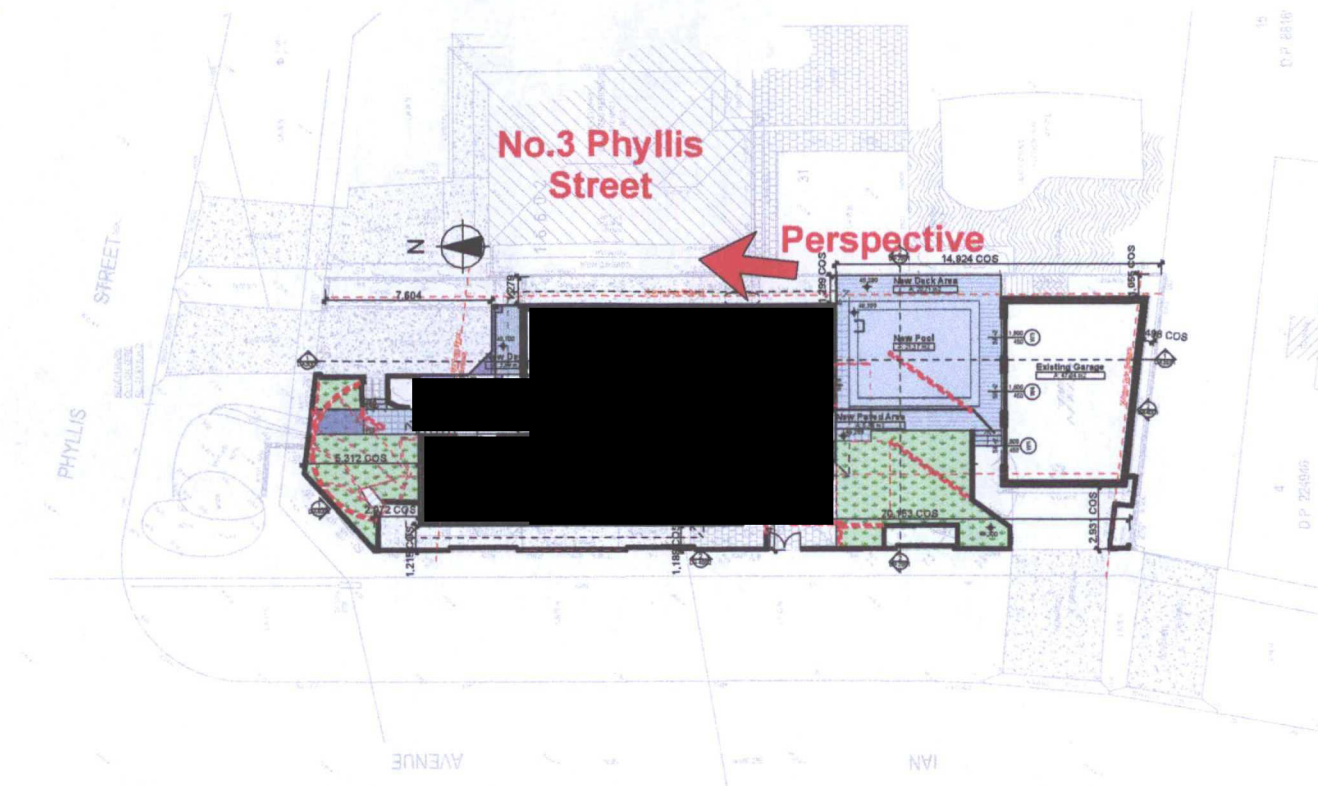
Builder to Check and Confirm all Measurements Prior to Commencement

1 June 21st Shadow-3pm
1:200

200
150
100
50
20
10
length in millimeters at full size

100 length in millimeters at full size 200

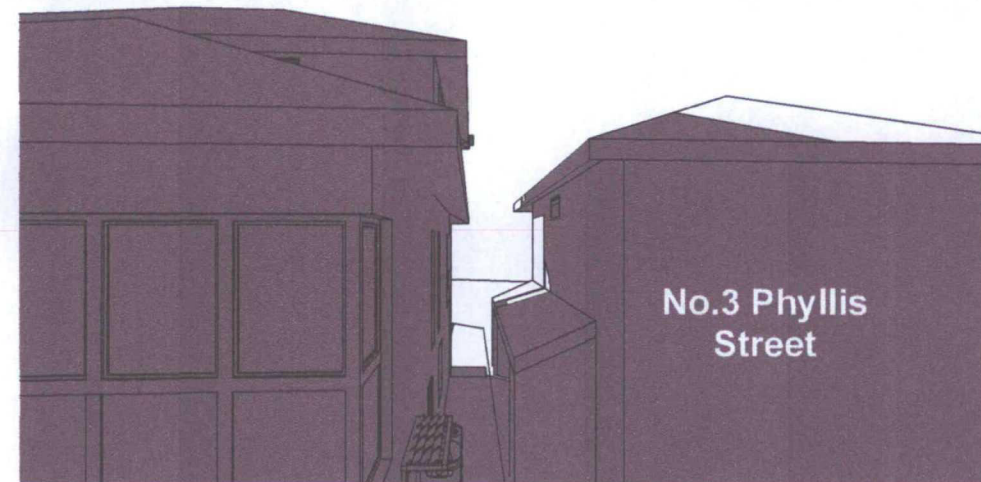
Denotes Approved
Works Under DA2013/1038



1 June 21st No.3 Shadow-9am
1:100



2 June 21st No.3 Shadow-12pm
1:100



3 June 21st No.3 Shadow-3pm
1:100

Builder to Check and Confirm all
Measurements Prior to Commencement

DA MOD ONLY
NOT FOR CONSTRUCTION

NOTES

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Project North



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Client:
Jeremy Coleman

Client
Jeremy Coleman
Project Name
Alterations & Additions
1 Phyllis Street, Curl Curl
2096

Lot 32 D.P16602
Drawing Title:
Sunstudy - June 21st No.3
Shadow Elevation

Scale: A3 as noted
Status: DA MOD
Project No.
RP0513COL

Date: 19-11-2014
Checked By: GBJ
Drawing No.
DA5004