

APPROX. LOCATION OF RETAINING WALL BY OWNER AFTER HANDOVER

PROVIDE CONCRETE LANDING BY CLARENDON

PROPOSED DRIVEWAY AND GRATED DRAIN BY OWNER AFTER HANDOVER

PROVIDE CONCRETE LANDING AND STEPS BY CLARENDON

EXISTING CROSSOVER TO REMAIN

# CALCA CRESCENT

**Certificate No. 0009779877**

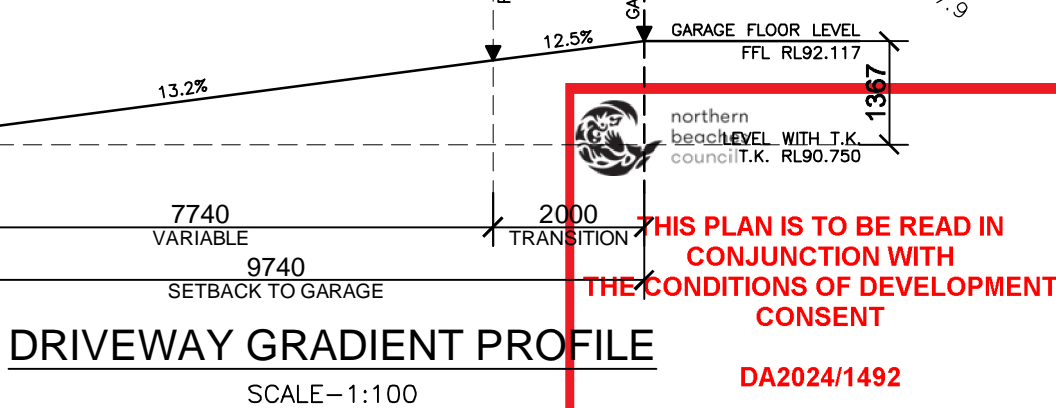
Scan QR code or follow website link for rating details.

Assessor name Daniel Warda

Accreditation No. 101182

Property Address Calca Crescent, Forestville NSW, 2087

hstar.com.au/QR/Generate?p=wFGIDyly



## SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

## DRIVEWAY GRADIENT PROFILE

SCALE - 1:100

**\*\*B.A.S.\*\***  
(BUILDING ADJACENT TO SEWER)  
**ORDER SEWER PEGOUT**

**LOT 4A**  
D.P: 29094  
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED IN ACCORDANCE WITH WARRINGAH DCP 2011**

**SITE AREA** 697.1 m<sup>2</sup>

**ROOF AREA** 306.6 m<sup>2</sup>

**LANDSCAPED AREA**

**TOTAL LANDSCAPE AREA:** 370.2 m<sup>2</sup>  
(MIN. DIMENSION OF 2.0m) 53.1 %

**MIN. REQUIRED BY COUNCIL:** 40 %

**PRIVATE OPEN SPACE**

**TOTAL OPEN SPACE AREA:** 170 m<sup>2</sup>  
(MIN. DIMENSION OF 5.0m)

**MIN. REQUIRED BY COUNCIL:** 60 m<sup>2</sup>

**HEIGHT RESTRICTION**

**MAXIMUM RIDGE HEIGHT** 8.5 m  
**MAXIMUM CEILING HEIGHT** 7.2 m  
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)

**BUILDING ENVELOPE**

**BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY**

**SITE COVERAGE**

**STORMWATER CALCULATION**

**ROOF FOOTPRINT:** 306.6m<sup>2</sup>  
**DRIVEWAY/ PAVED AREAS:** 57.7m<sup>2</sup>  
**TOTAL:** 364.3m<sup>2</sup>  
52.2 %

**MAX SITE COVERAGE FOR OSD:** 40%

**BASIX LANDSCAPED AREA**

**TOTAL LANDSCAPE AREA:** 370.2 m<sup>2</sup>  
(EXCLUDES HARD SURFACES) 53.1 %

DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

DENOTES TREES TO BE PRUNED BY OWNER PRIOR TO CONSTRUCTION

**CLASSIFICATION**

WIND	SLAB	CLIMATE
N2	M	ZONE 5

**NOTE:**

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

**RETAINING WALLS TO BE CONSTRUCTED WHOLLY WITHIN PROPERTY BOUNDARY INCLUDING DRAINAGE AND FOOTINGS**

**NOTE:**

OWNER TO DEMOLISH & REMOVE FROM SITE EXISTING HOUSE, INCLUDING FOOTINGS & SERVICES ABOVE & BELOW GROUND, PATHS, DRIVE, TREES & FENCES ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**STORMWATER TO STREET VIA RAINWATER TANK AND O.S.D**

REFER TO HYDRAULIC DETAILS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_



Bl No. 2298C  
ABN 18 003 892 706  
Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**SARATOGA 48**  
Chisholm  
L/H Garage  
  
**LUXE**

CLIENT:  
**Mr. JOHNSTON**  
**Mrs. ARATA**  
SITE ADDRESS:  
Lot 4A, No. 3, DP:29094  
Calca Crescent  
FORESTVILLE 2087

DA DRAWINGS		
DRAWN: MTK	DATE: 13.08.24	Rev: F
RATIO @ A3: 1:200	CHECKED: CY.	
SHEET: 2	JOB No: 29917213	NSW

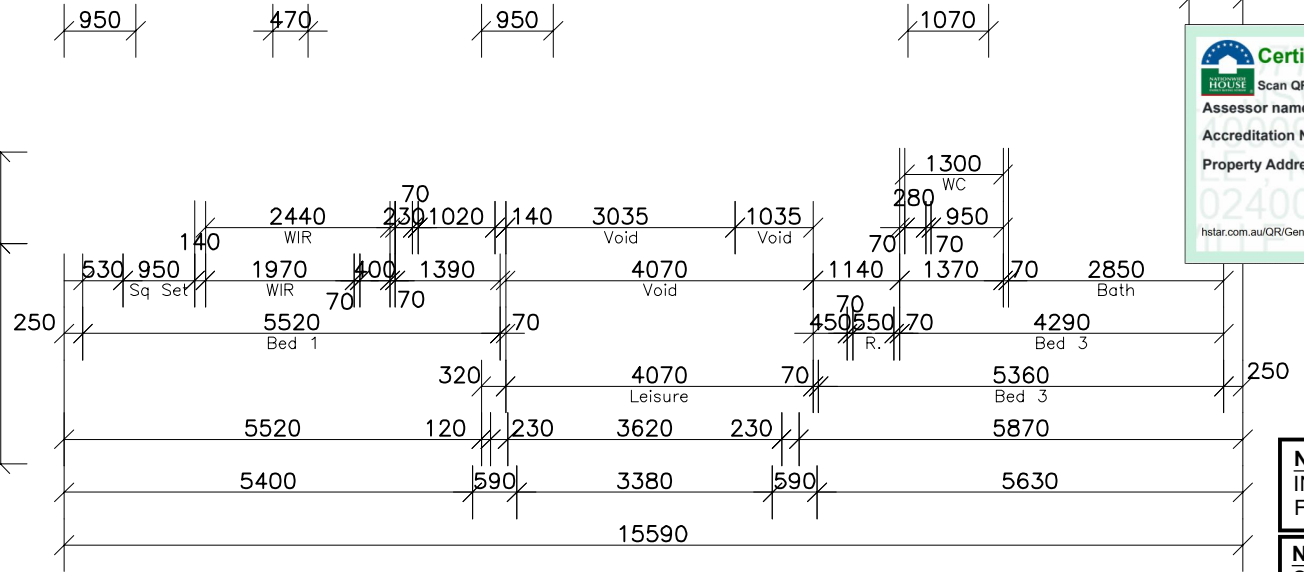
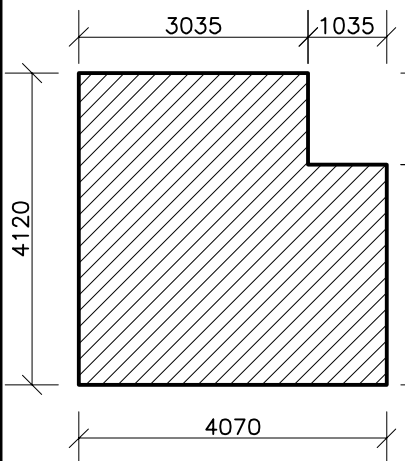
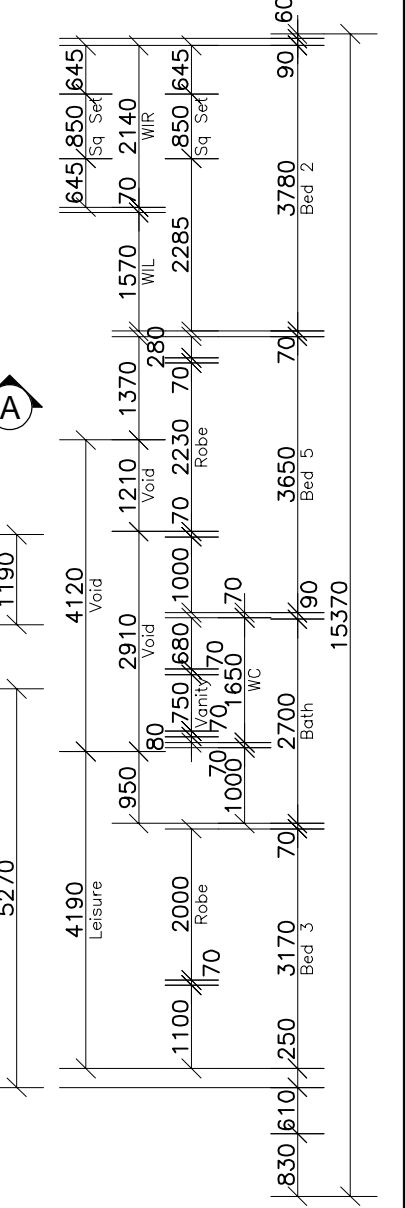
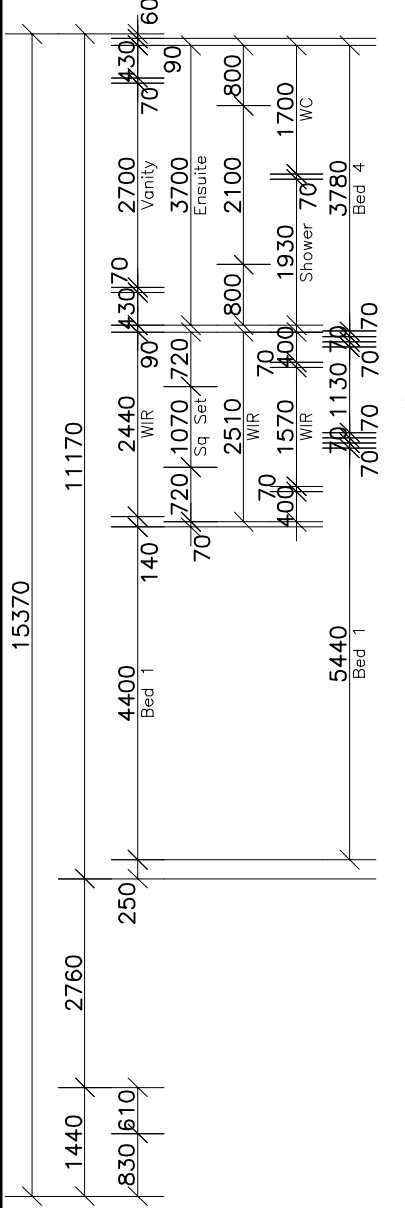
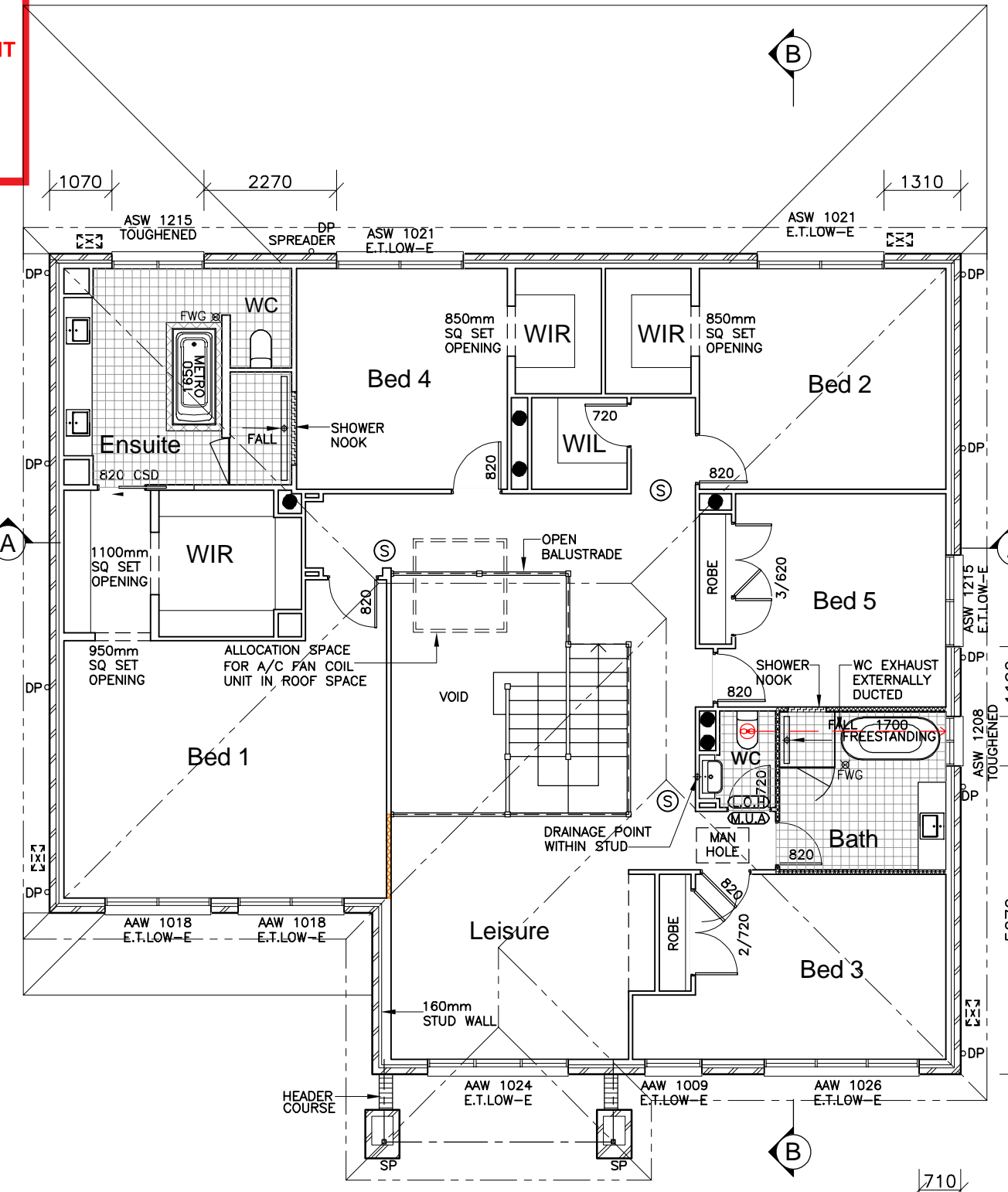
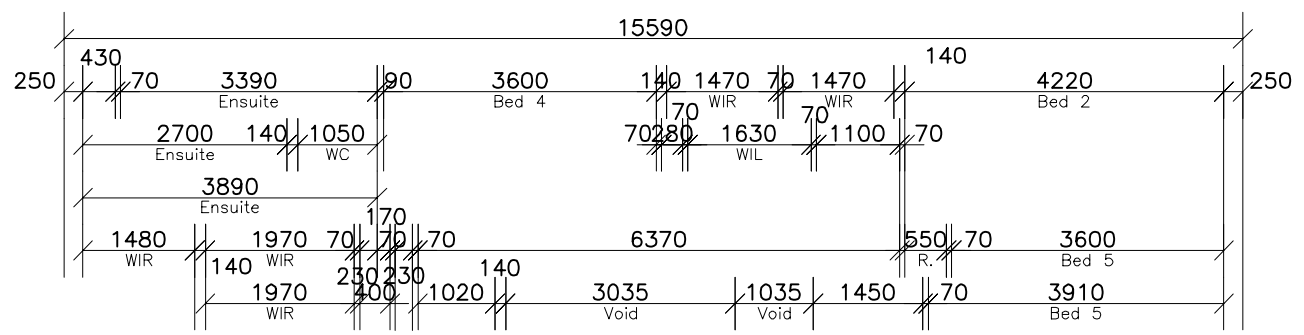


⊙	SMOKE ALARM
⊖	EXHAUST FAN
DP	DOWN PIPE LOCATION
TAP	TELESCOPIC STEEL POST
⊕	LIFT OFF HINGES
MUA	MAKE-UP AIR VENT
⊠	EAVE VENTS
⊖	EXHAUST FAN WITH RUN-ON TIMER
FWG	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
⊕	LINEAR FLOOR WASTE
⊠	LOAD BEARING WALLS
●	AIR CONDITIONING DUCT

- NOTES**
- HEBEL FLOORING – ALL WET AREAS TO FIRST FLOOR – RECESS CREATED USING MARINE PLY
  - WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
  - BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.
  - WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC
  - WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC
  - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
  - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC
  - 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

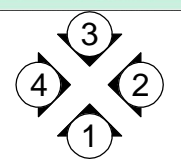
**DA2024/1492**



**Certificate No. 0009779877**

Scan QR code or follow website link for rating details.

Assessor name Daniel Warda  
Accreditation No. 101182  
Property Address Calca Crescent, Forestville NSW, 2087



**NOTE:**  
INTERNAL DOOR LEAF HEIGHTS TO FIRST FLOOR TO BE 2340mm(H)

**NOTE:**  
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 12 FOR DETAILS

**SOLAR INCLUSION**  
\* 3.3 KW SMART SOLAR SYSTEM  
\* INVERTER

PROVIDE R2.0 INSULATION WALL BATTS TO INTERNAL WALLS OF LAUNDRY and BATHROOM (ONLY)

**FIRST FLOOR PLAN**

CLIENT'S SIGNATURE:	DATE:	PRODUCT: <b>SARATOGA 48</b> Chisholm L/H Garage  LUXE	CLIENT: Mr. JOHNSTON Mrs. ARATA SITE ADDRESS: Lot 4A, No. 3, DP:29094 Calca Crescent FORESTVILLE 2087	DA DRAWINGS DRAWN: MTK DATE: 13.08.24 RATIO @ A3: 1:100 SHEET: 4	Rev: F CHECKED: CY. JOB No: 29917213 NSW
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**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706


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T: (02) 8851 5300

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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

**SOLAR INCLUSION**  
 \* 3.3 KW SMART SOLAR SYSTEM  
 \* INVERTER

**NOTE:**  
 HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

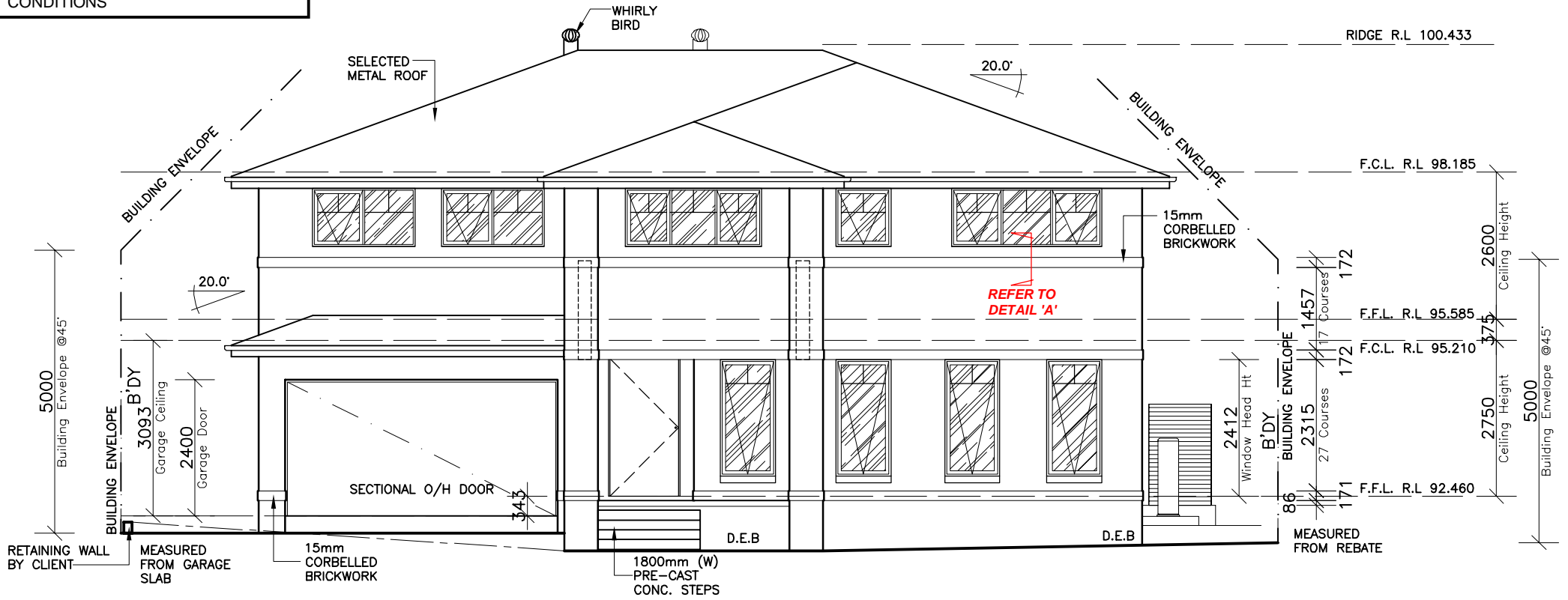
**NOTE:**  
 NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

 DENOTES WINDOWS WITH DOUBLE GLAZED ARGON - FILLED LOW-E GLAZING

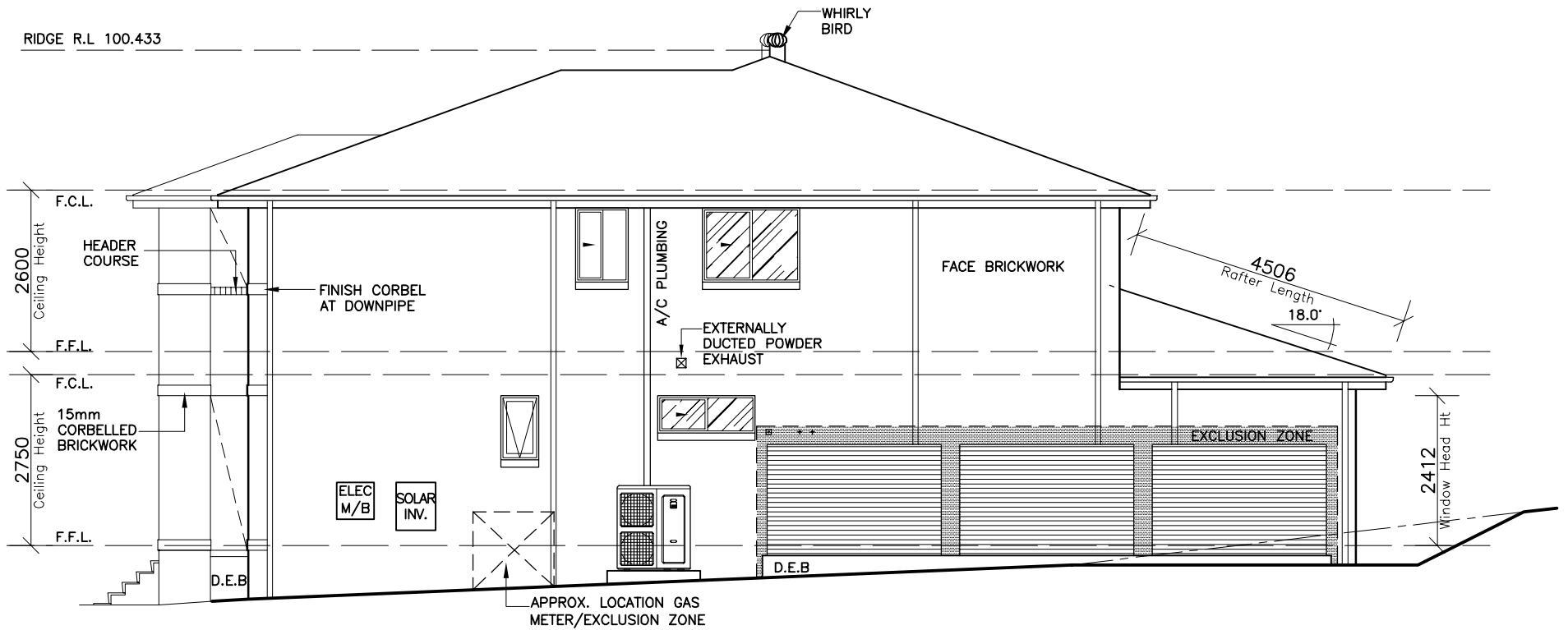
 DENOTES WINDOWS WITH ENERGYTECH LOW-E GLAZING

**NOTES:**  
 FOR DROP-OFF'S REFER TO FRAMING DETAILS  
**CDN 21.010-21.080**


**HEBEL FLOORING CONSTRUCTION**  
 (EXCLUDES WET AREAS)



**ELEVATION 1**  
**-EAST-**



**ELEVATION 2**  
**-NORTH-**

 northern beaches council

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**DA2024/1492**

**Certificate No. 0009779877**

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 Accreditation No. 101182  
 Property Address Calca Crescent, Forestville NSW, 2087



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CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

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
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 Chisholm  
 L/H Garage  
**LUXE**

CLIENT:  
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 Mrs. ARATA  
 SITE ADDRESS:  
 Lot 4A, No. 3, DP:29094  
 Calca Crescent  
 FORESTVILLE 2087

**DA DRAWINGS**

DRAWN: MTK	DATE: 13.08.24	Rev: <b>F</b>
RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: <b>5</b>	JOB No: <b>29917213</b>	<b>NSW</b>

**SOLAR INCLUSION**  
 \* 3.3 KW SMART SOLAR SYSTEM  
 \* INVERTER

 DENOTES WINDOWS WITH DOUBLE GLAZED ARGON - FILLED LOW-E GLAZING

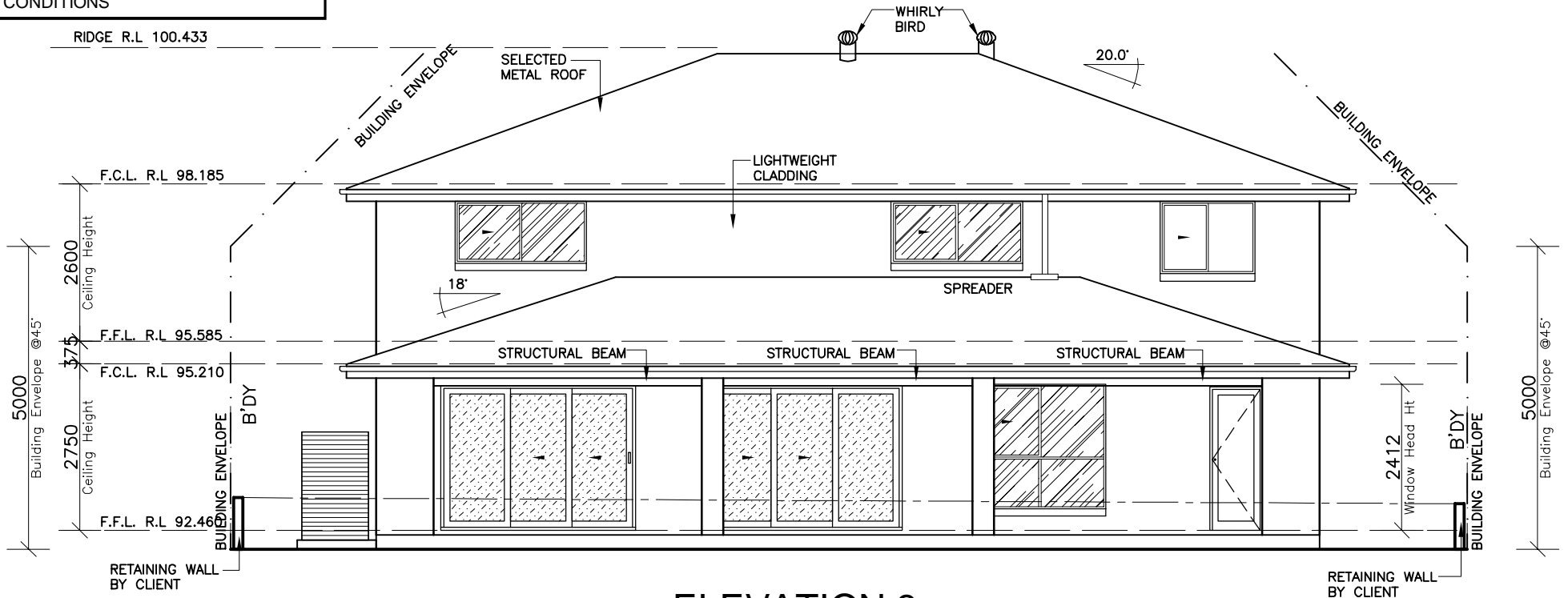
 DENOTES WINDOWS WITH ENERGYTECH LOW-E GLAZING

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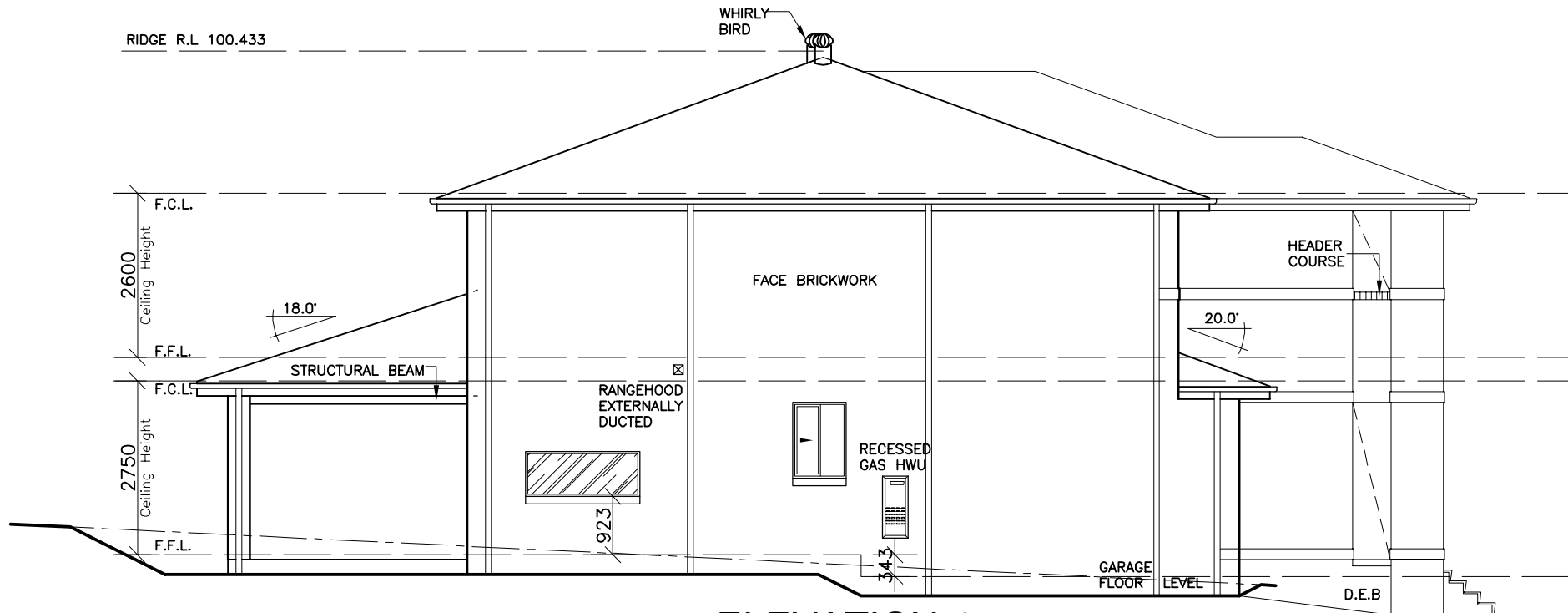
**NOTE:**  
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**NOTES:**  
 FOR DROP-OFF'S REFER TO FRAMING DETAILS  
**CDN 21.010-21.080**

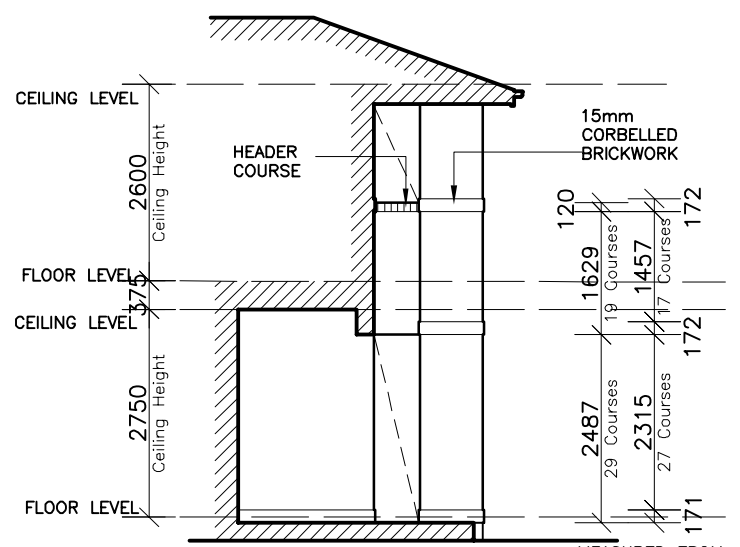
**HEBEL FLOORING CONSTRUCTION**  
 (EXCLUDES WET AREAS)



**ELEVATION 3  
 -WEST-**



**ELEVATION 4  
 -SOUTH-**



**ELEVATION 5**

 northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**DA2024/1492**

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CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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**SARATOGA 48**  
 Chisholm  
 L/H Garage  
**LUXE**

CLIENT:  
 Mr. JOHNSTON  
 Mrs. ARATA  
 SITE ADDRESS:  
 Lot 4A, No. 3, DP:29094  
 Calca Crescent  
 FORESTVILLE 2087

DA DRAWINGS		
DRAWN: MTK	DATE: 13.08.24	Rev: F
RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: 6	JOB No: 29917213	NSW

**NOTE:**  
INTERNAL DOOR LEAF HEIGHTS TO GROUND & FIRST FLOOR TO BE 2340mm(H)

**HEBEL FLOORING CONSTRUCTION**  
(EXCLUDES WET AREAS)

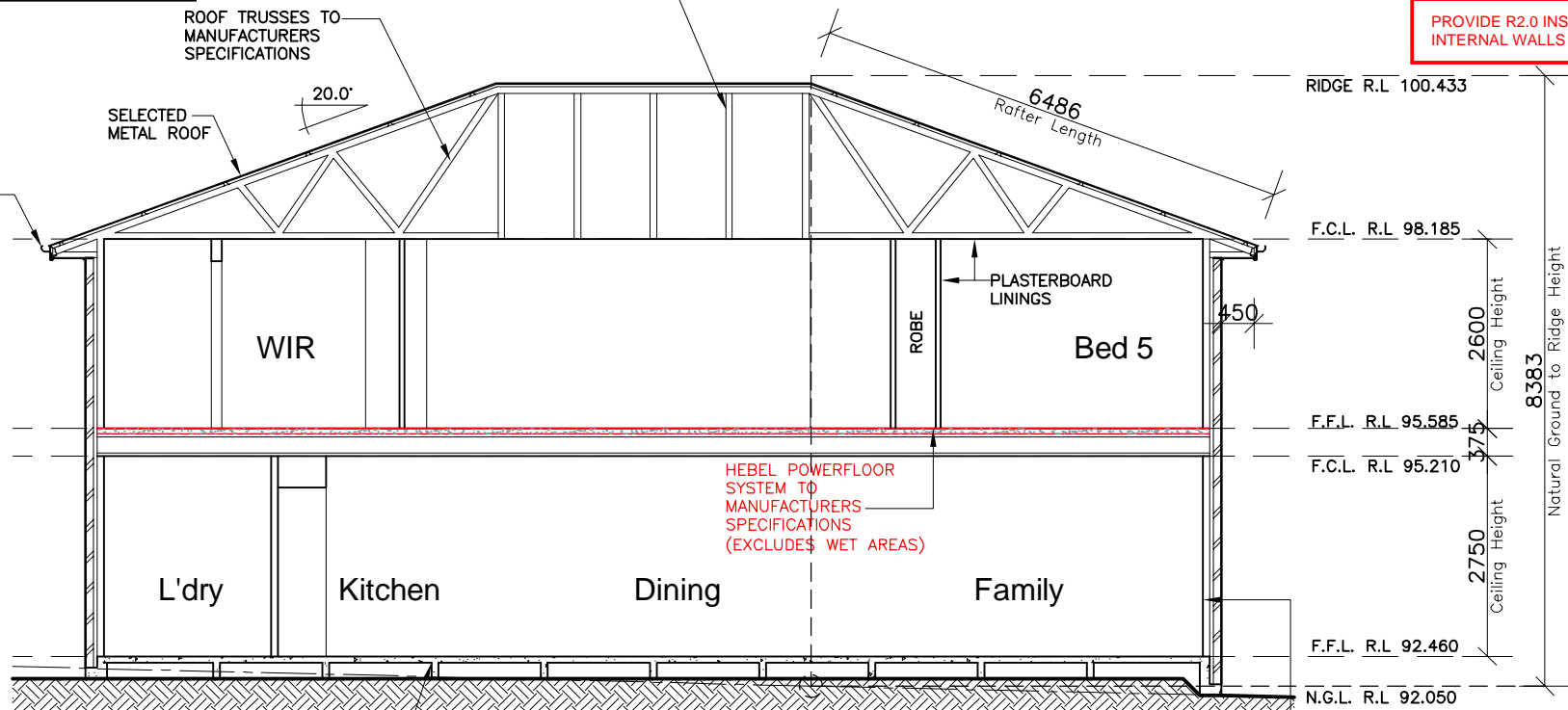
PROVIDE R2.0 INSULATION BATTS TO INTERNAL WALLS OF LAUNDRY AND BATH

PROVIDE R6.0 INSULATION BATTS TO CEILINGS OF LIVING AREAS ONLY (EXCLUDING GARAGE & ALFRESCO)

ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS

SELECTED METAL ROOF

METAL FASCIA & GUTTER



**SECTION A-A.**

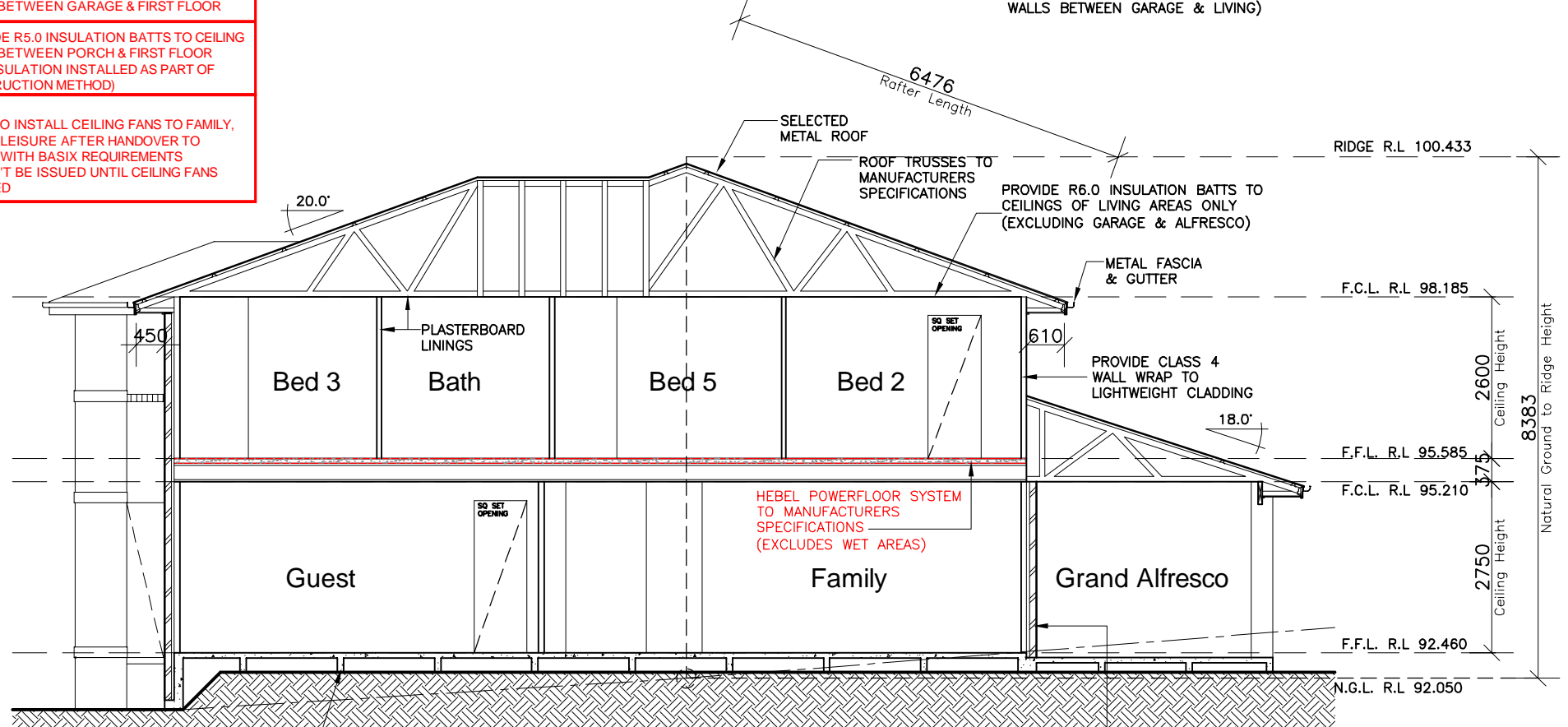
RIBBED RAFT SLAB TO ENGINEER'S DETAILS

PROVIDE R2.5 INSULATION BATTS TO EXTERNAL WALLS OF LIVING AREAS ONLY (INCLUDING WALLS BETWEEN GARAGE & LIVING)

PROVIDE R5.0 INSULATION BATTS TO CEILING JOISTS BETWEEN GARAGE & FIRST FLOOR

PROVIDE R5.0 INSULATION BATTS TO CEILING JOISTS BETWEEN PORCH & FIRST FLOOR (R3.5 INSULATION INSTALLED AS PART OF CONSTRUCTION METHOD)

NOTE - CLIENT TO INSTALL CEILING FANS TO FAMILY, LIVING & LEISURE AFTER HANDOVER TO COMPLY WITH BASIX REQUIREMENTS O.C WON'T BE ISSUED UNTIL CEILING FANS INSTALLED



**SECTION B-B.**

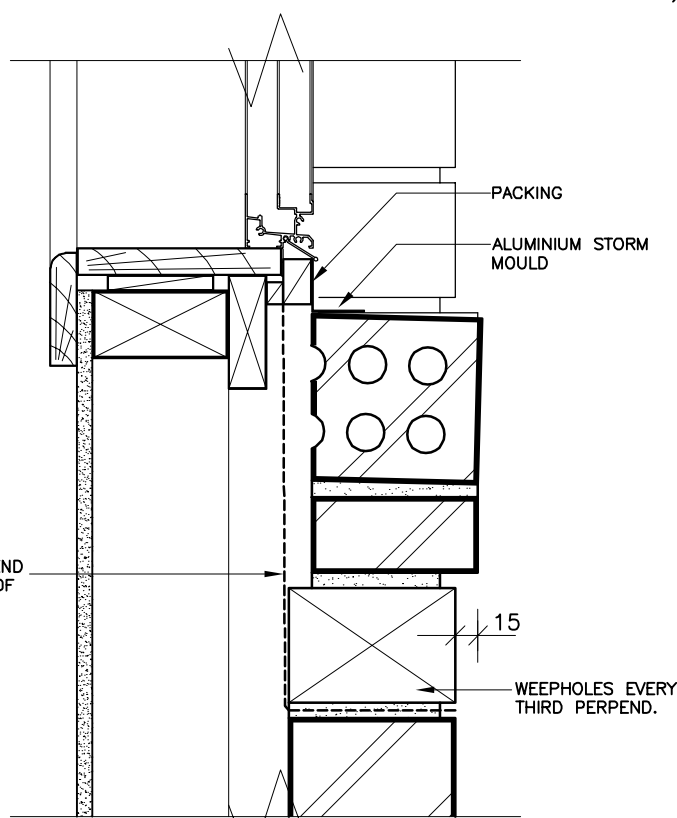
RIBBED RAFT SLAB TO ENGINEER'S DETAILS

PROVIDE R2.5 INSULATION BATTS TO EXTERNAL WALLS OF LIVING AREAS ONLY (INCLUDING WALLS BETWEEN GARAGE & LIVING)

**northern beaches council**

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**DA2024/1492**



**DETAIL 'A'**

SCALE: 1:5

**Certificate No. 0009779877**

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Assessor name Daniel Warda

Accreditation No. 101182

Property Address Calca Crescent, Forestville NSW, 2087

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DATE: \_\_\_\_\_

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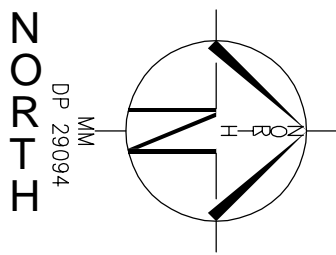
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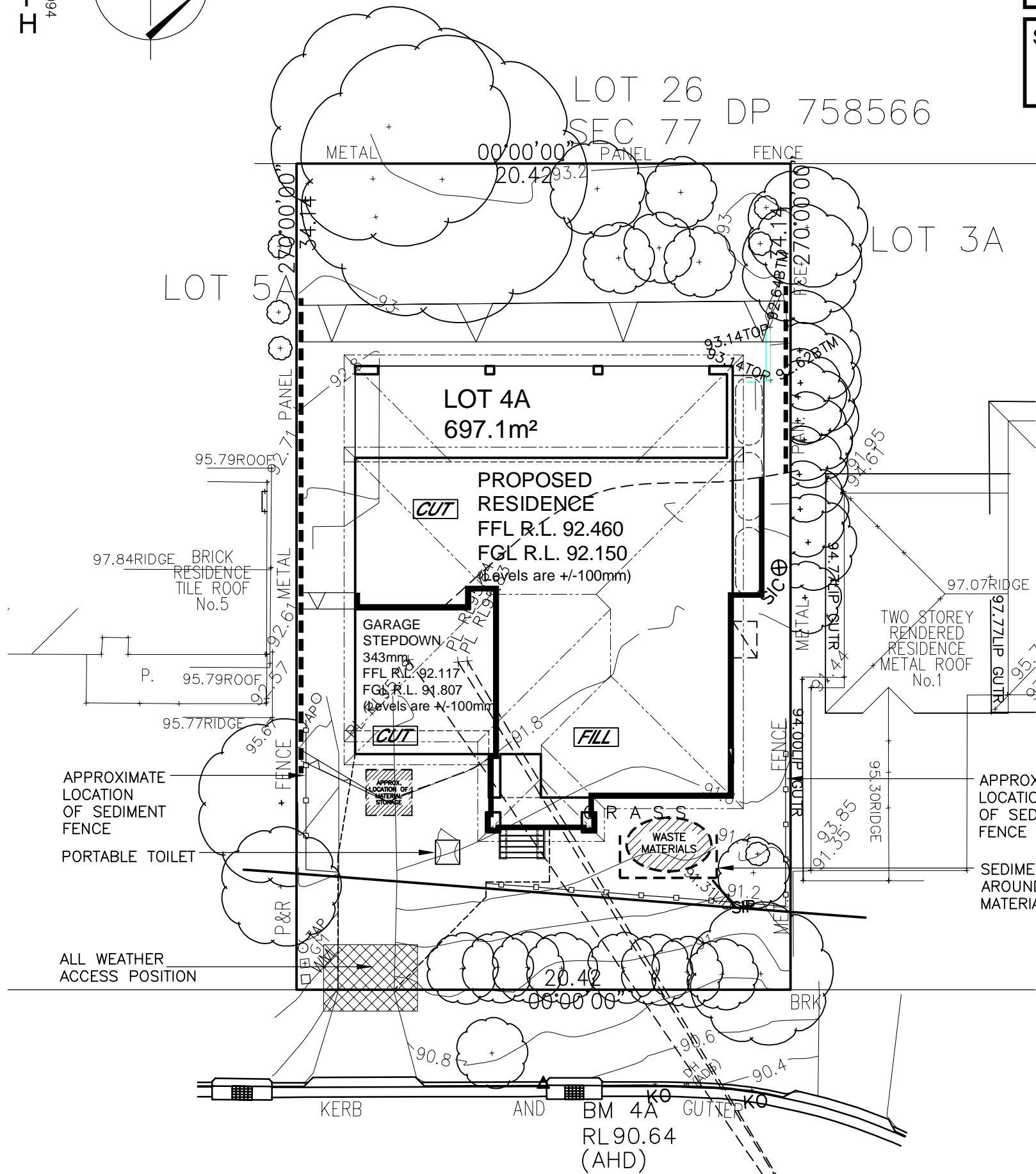
**DA DRAWINGS**

DRAWN: MTK	DATE: 13.08.24	Rev: <b>F</b>
RATIO @ A3: 1:100	CHECKED: CY.	
SHEET: <b>7</b>	JOB No: <b>29917213</b>	<b>NSW</b>



**LOT 4A**  
**D.P: 29094**  
**L.G.A: NORTHERN BEACHES**

**SITING HAS BEEN COMPLETED**  
**IN ACCORDANCE WITH**  
**WARRINGAH DCP 2011**



**CALCA CRESCENT**

**NOTE:**  
 TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

**NOTE:**  
 GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2024/1492**

**SEDIMENT CONTROL NOTES**

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

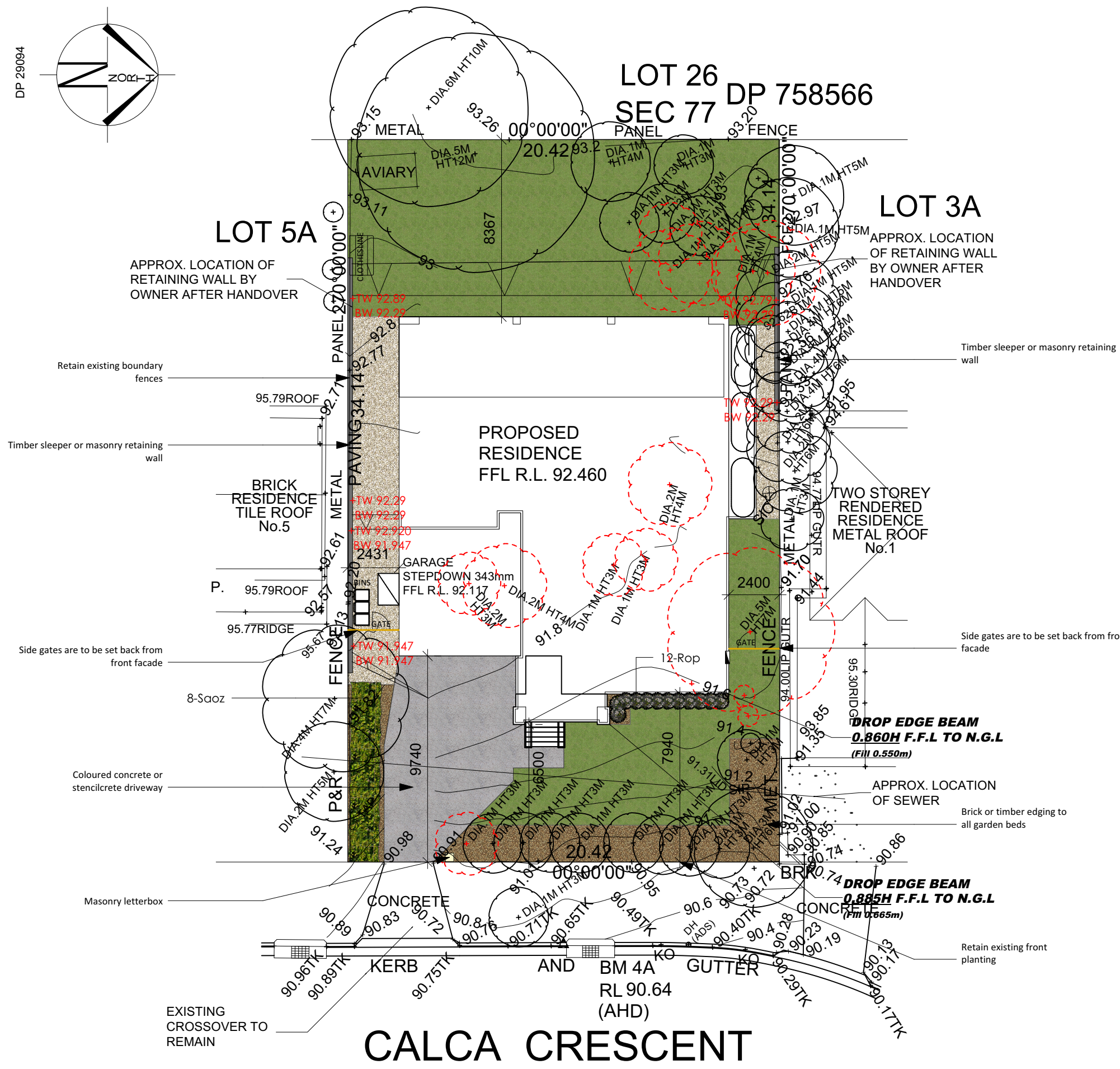
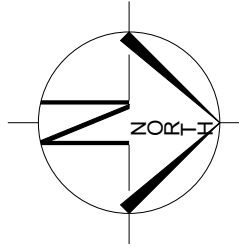
**SEDIMENT FENCE**  
 NOT TO SCALE

**CONSTRUCTION MANAGEMENT PLAN**  
**EROSION AND SEDIMENT CONTROL PLAN**

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

<p>Bl No. 2298C                  ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L                  21 Solent Circuit, Baulkham Hills NSW 2153                  T: (02) 8851 5300</p>	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L. Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L. # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: <b>SARATOGA 48</b> Chisholm L/H Garage  LUXE	CLIENT: Mr. JOHNSTON Mrs. ARATA  SITE ADDRESS: Lot 4A, No. 3, DP:29094 Calca Crescent FORESTVILLE 2087	DA DRAWINGS		
		DRAWN: MTK	DATE: 13.08.24	Rev: F		
		RATIO @ A3: 1:200	CHECKED: CY.	SHEET: 2.1	JOB No: 29917213	NSW

DP 29094



**Legend**

- Colour / Stencil Concrete
- Mulched Paths
- Planting Areas
- Lawn Areas
- Retaining Wall
- 1800mm High Boundary Fencing
- Existing Trees To Be Removed
- Existing Trees To Be Retained

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	25/09/24

Drafted: JS	Scale: 1:200 
Sheet: 1 of 4	Reference: LP 01

Designed by:  
**Julian Saw**  
Diploma of Horticulture  
(Landscape Design)

- General Notes:
- See Architects drawings for site levels, setbacks and extent of cut and fill.
  - This plan shall be read in conjunction with the Hydraulic Engineers drawings.
  - All relevant Australian standards are to be adhered to.
  - Any structural items are to be installed as per the manufacturer/engineers specifications.
  - This plan is indicative only and not for construction purposes.

**SITE CALCULATIONS**

LOT AREA	697.1 sq m
LANDSCAPED AREA TOTAL	302.9 sq m 43.444%

northern beaches council

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2024/1492**

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Johnston**  
**Mrs Arata**

Client Signatures:  
1.  
2.

Job No. **240294**

Drawing: **Landscape Plan**

Address: **Lot 4A, No 3 Calca Crescent**  
**Forestville NSW**

Council/Lodgement:  
**Northern Beaches/DA**

**DappleDesigns**

Ph: 1300 DAPPLE  
(1300 327753)  
E: info@dappledesigns.com.au  
www.dappledesigns.com.au

Any existing trees are to be protected in accordance with councils Tree Protection Detail

[Click Here to View Our Plant Profiles!](#)

# CALCA CRESCENT



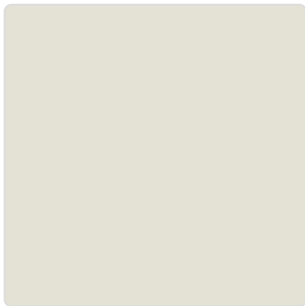
# Lifestyle Studio External Colour Board

**L I F E S T Y L E**

- S T U D I O -  
BY CLARENDON HOMES

**Date:** 24/10/2024  
**Job Number:** 29917213  
**Customer:** Mr Adrian Colin Johnston & Mrs Chiaki Arata  
**Address:** Lot 4A 3 Calca Crescent FORESTVILLE NSW 2087  
**House Type - Elevation:** Saratoga 48 Luxe - Chisholm (Face Brick)  
**Roof BASIX Rating:** Medium  
**Wall BASIX Rating:** Medium  
**Developer:** Not Applicable

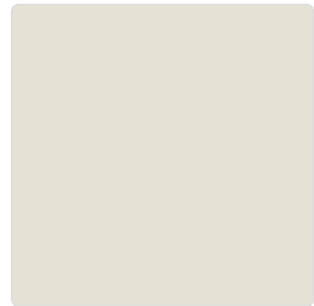
## YOUR EXTERNAL COLOUR SELECTIONS



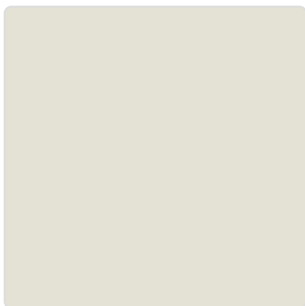
**Colorbond Roof Selection**  
Colorbond - Custom Orb - Surfsmist



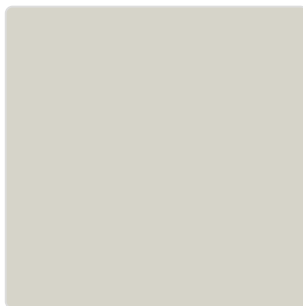
**Brick**  
Austral Bricks - Metallix - Quartz



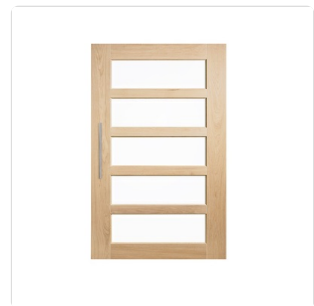
**Gutter Colour  
Fascia Colour  
Watertank  
Garage Door Colour**  
Colorbond - Surfsmist



**PVC Downpipes**  
Taubmans - Colorbond Surfsmist  
CB 23



**Aluminium Window and Door  
Frame Colour**  
Wideline - Surfsmist Matt



**Front Door Profile**  
Corinthian Doors - Blonde Oak -  
AWOWS 5G - 2340mm x 1200mm  
- with Translucent Glazing  
*Entry*



northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2024/1492**

DocuSigned by:  
  
 62792B1216FA468...

Customer Signature: \_\_\_\_\_

Date Signed: 28 October 2024 | 2:27 PM AEDT

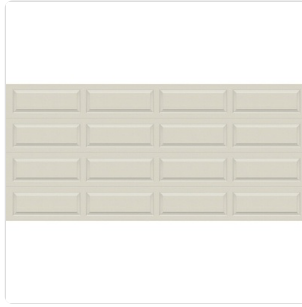


**Front Door Colour**

Johnstone's - Clarendon Medium Stain

NH 136

Entry



**Garage Door Profile**

Dynamic Garage Doors - Ranch

Garage

**IMPORTANT:**

Clarendon Homes cannot guarantee that the colour you see accurately portrays the true colour of the product. Actual product colour may vary from the images shown. Every monitor or mobile display has a different capability to display colours, and every individual may see these colours differently. In addition, lighting conditions at the time the photo was taken can also affect the image's colour.

Screen and print images are intended as a guide only and should not be regarded as absolutely correct. Refer back to the actual samples shown at the time of your Lifestyle Studio appointment for a true representation of the product and colour.

DocuSigned by:  
*Adrian Johnston*

62792B1216FA468...

**Customer 1**

28 October 2024 | 2:27 PM AEDT

**Date**

**Customer 2**

**Date**



northern beaches council

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2024/1492**

DocuSigned by:  
*Adrian Johnston*

62792B1216FA468...

Customer Signature: \_\_\_\_\_

28 October 2024 | 2:27 PM AEDT

Date Signed: \_\_\_\_\_