

638 PITTWATER ROAD  
BROOKVALE

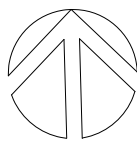
LIST OF DRAWINGS

- A01 LOCATION DIAGRAM
- A02 B3 BASEMENT FLOOR PLAN
- A03 B2 BASEMENT FLOOR PLAN
- A04 B1 BASEMENT FLOOR PLAN
- A05 GROUND FLOOR PLAN
- A06 FIRST FLOOR PLAN
- A07 SECOND FLOOR PLAN
- A08 ROOF PLAN
- A09 ELEVATIONS
- A10 ELEVATIONS
- A11 SECTIONS
- A12 SHADOW DIAGRAMS
- A13 SITE ANALYSIS
- A14 DEMOLITION PLAN
- A15 VIEWS FROM SUN
- A16 VIEWS FROM SUN
- A17 DRIVEWAY SECTION
- A18 EXTERNAL COLOUR SCHEDULE

SURVEY



LOCATION DIAGRAM



NORTH

LEGEND

ISSUE	DATE	AMENDMENTS



**Barry Rush & Associates Pty Ltd**  
Architects  
Suite 25A, 2 Beattie Street, Balmain,  
NSW, Australia, 2041  
Phone: (612) 9555 8028 Fax: (612) 9810 0161  
Email: info@barryrush.com.au  
www.barryrush.com.au

Client  
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Project  
**638 PITTWATER RD  
BROOKVALE**

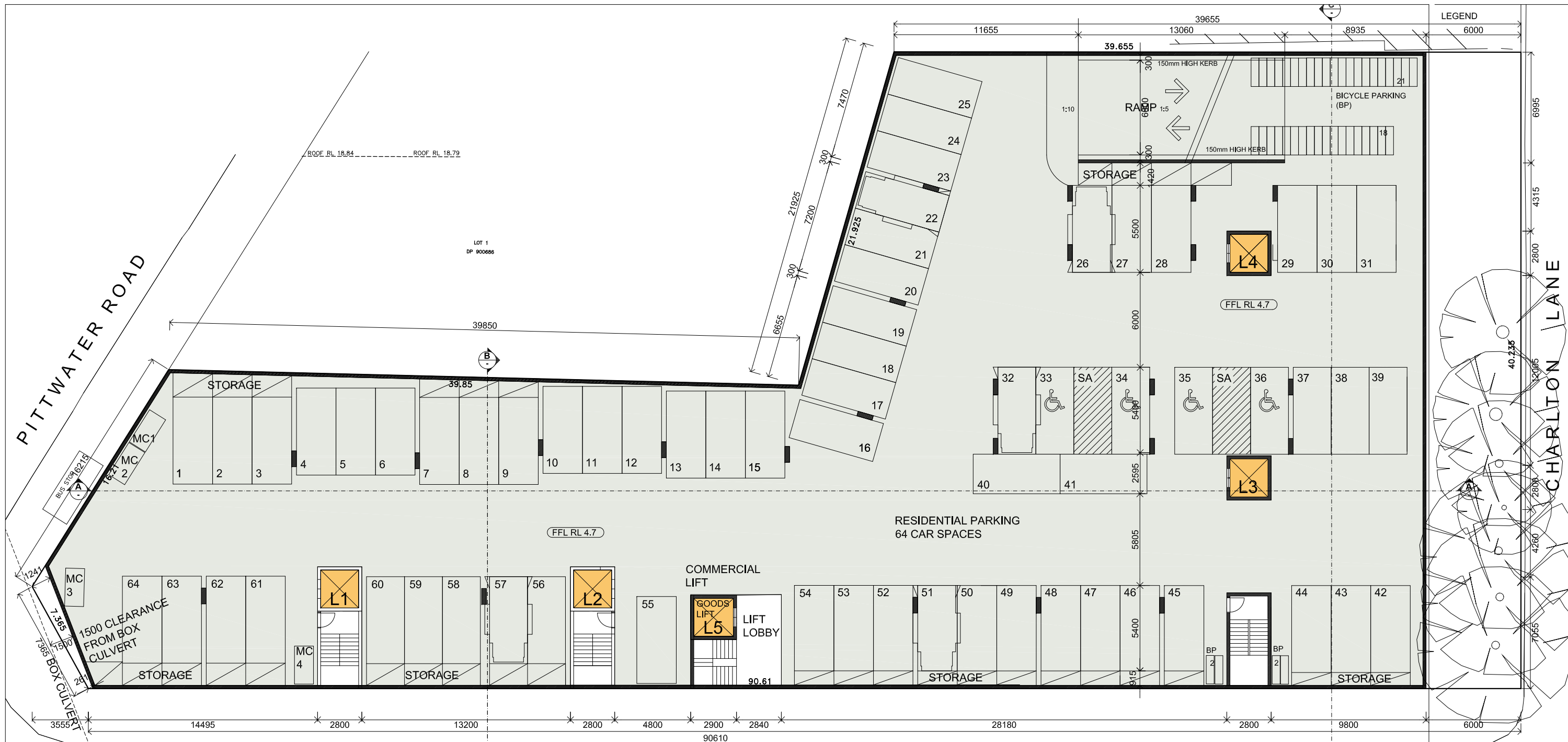
Lot 1 in DP 1001963

Drawing  
**LOCATION DIAGRAM**

Scale	NTS	Drawn	BR
File	DA 638e Pittwater Rd Brookvale.dwg		
Plotted	4/10/2019 11:22 AM		
Job No	1802		
Version	DA	Drawing No:	<b>A01</b>

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**BASEMENT LEVEL B3 FLOOR PLAN**  
 SCALE (METRES) 1:250 AT A3  
 NORTH 0 1 2 3 4 5 10 20

ORCHARD ROAD

**Barry Rush & Associates Pty Ltd**  
 Architects  
 Suite 25A, 2 Beattie Street, Balmain,  
 NSW, Australia, 2041  
 Phone: (612) 9555 8028 Fax: (612) 9810 0161  
 Email: info@barryrush.com.au  
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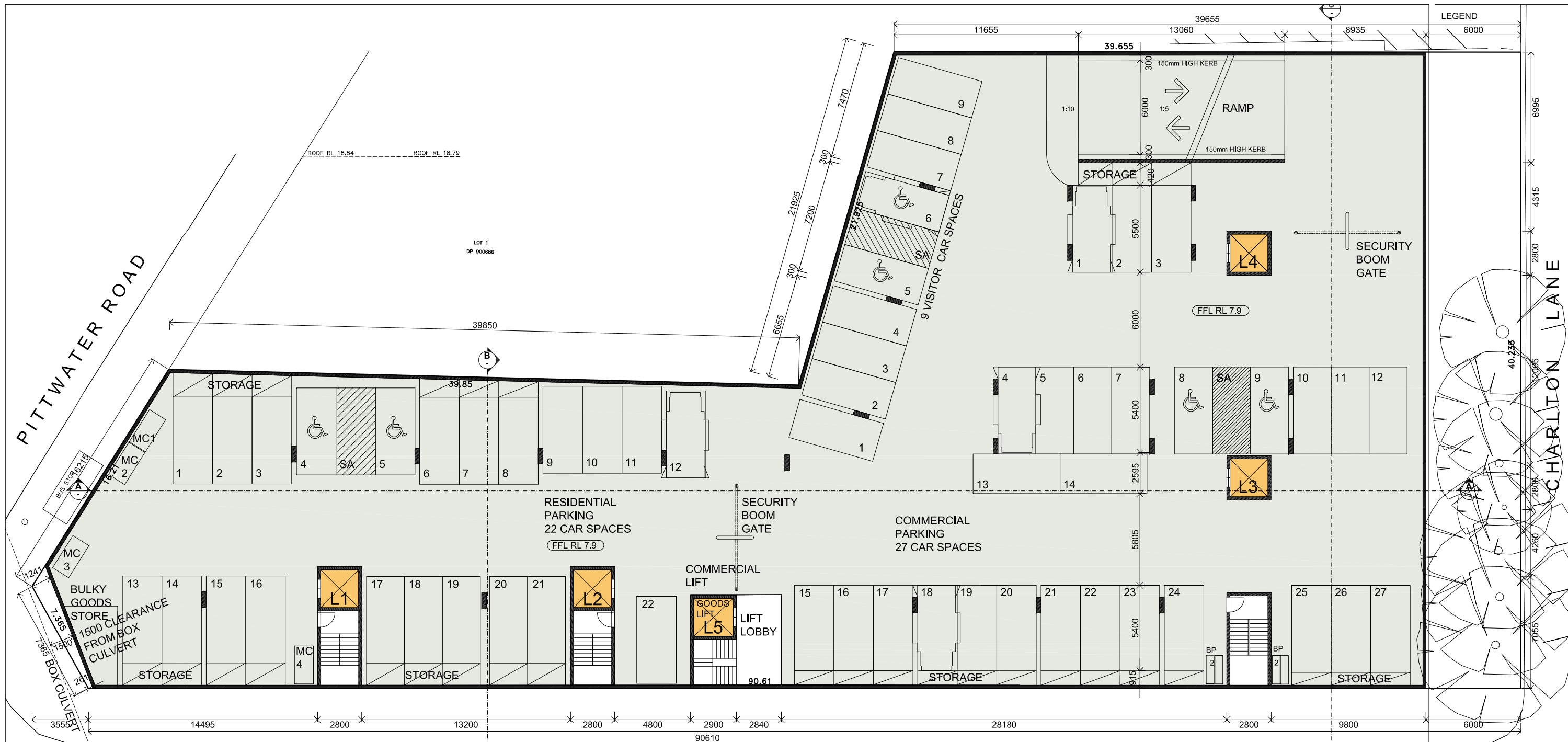
Project  
**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**BASEMENT LEVEL B3**

Scale 1:125 Drawn BR  
 File DA 638e Pittwater Rd Brookvale.dwg  
 Plotted 5/12/2019 5:49 PM  
 Job No 1802  
 Version DA Drawing No: **A02**

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**BASEMENT LEVEL B2 FLOOR PLAN**  
 SCALE (METRES) 1:250 AT A3

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 Architects  
 Suite 25A, 2 Beattie Street, Balmain,  
 NSW, Australia, 2041  
 Phone: (612) 9555 8028 Fax: (612) 9810 0161  
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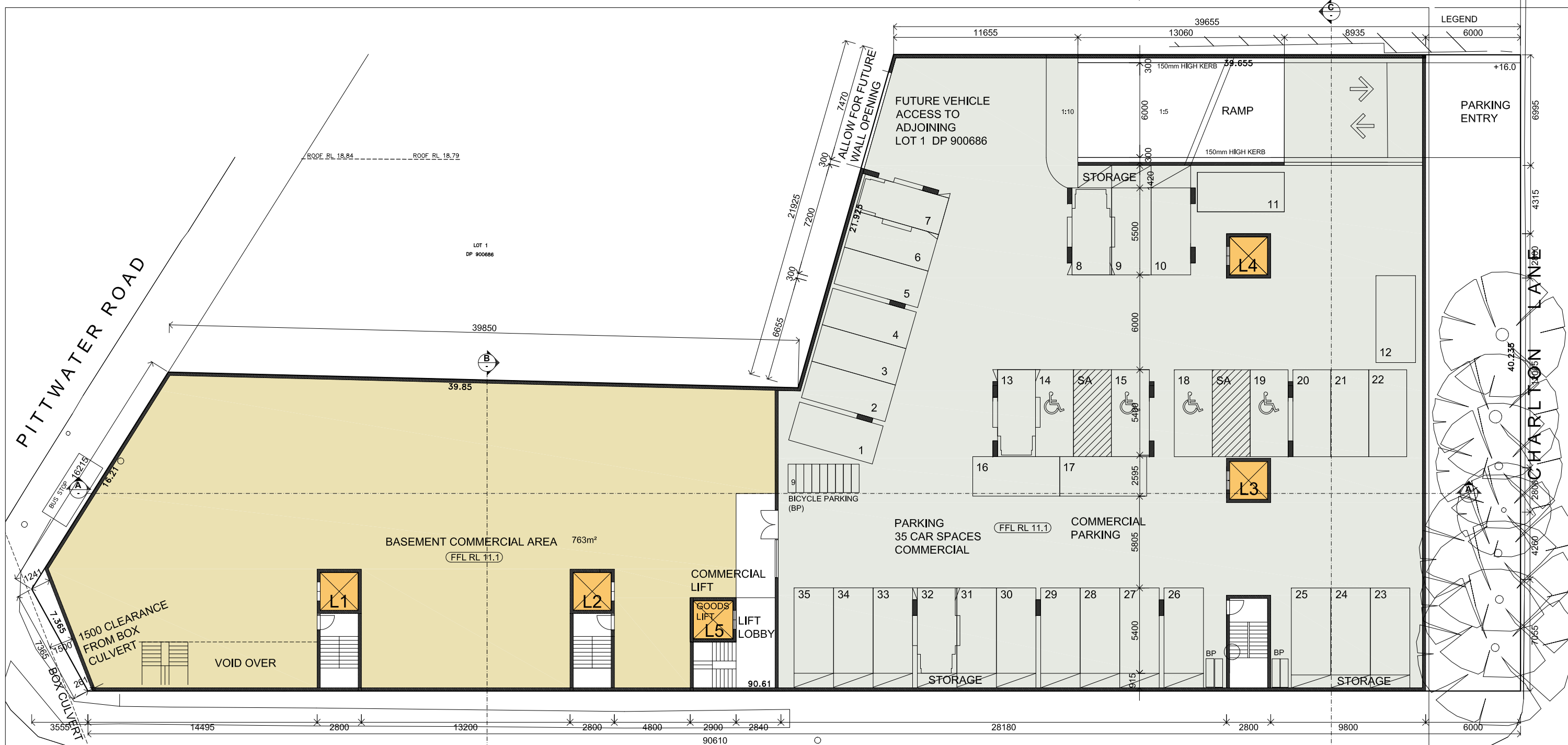
Project  
**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**BASEMENT LEVEL B2**

Scale 1:125 Drawn BR  
 File DA 638e Pittwater at Brookvale.rvtg  
 Plotted 5/12/2019 5:49 PM  
 Job No 1802  
 Version DA Drawing No: **A03**

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6000	6995
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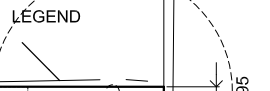
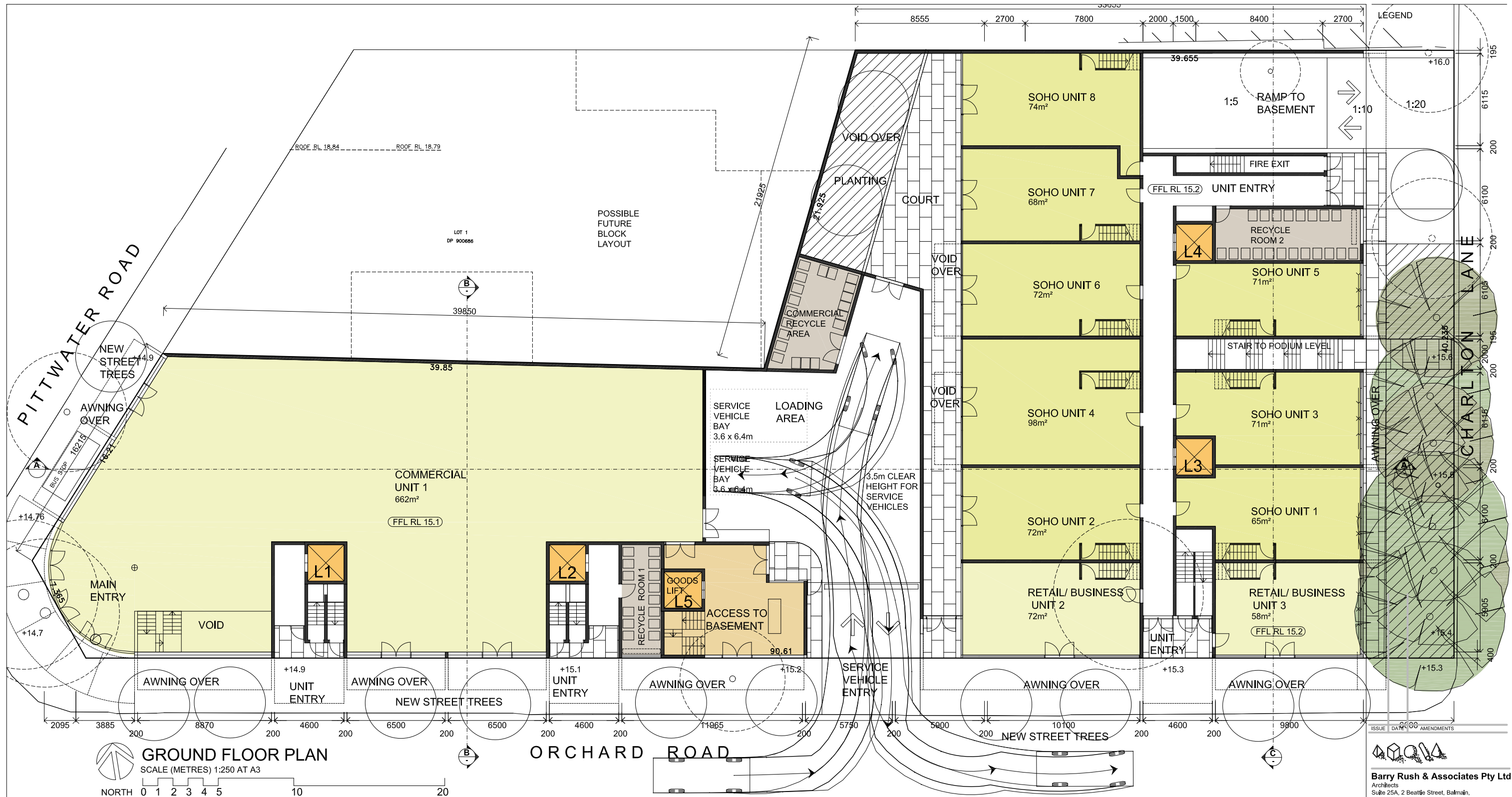
**BASEMENT LEVEL B1 FLOOR PLAN**  
 SCALE (METRES) 1:250 AT A3  
 NORTH 0 1 2 3 4 5 10 20

ORCHARD ROAD

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Client <b>BROOKVALE PROPERTY INVESTMENT TRUST</b>		
Project <b>638 PITTWATER RD BROOKVALE</b>		
Lot 1 in DP 1001963		
Drawing <b>BASEMENT LEVEL B1</b>		
Scale	1:125	Drawn BR
File	DA 638e Pittwater Rd Brookvale, BR	
Plotted	5/12/2019 5:49 PM	
Job No	1802	
Version	DA	Drawing No: <b>A04</b>

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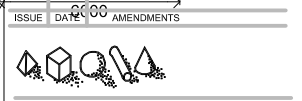




**GROUND FLOOR PLAN**  
SCALE (METRES) 1:250 AT A3  
NORTH

COMMON OPEN AREA CALCULATION:	
COMMUNAL OPEN SPACE:	344m <sup>2</sup> (G)+368m <sup>2</sup> (F)
COMMON LANDSCAPE AREA:	178m <sup>2</sup> (G)+107m <sup>2</sup> (F)
DEEP SOIL ZONE:	177.6m <sup>2</sup>

- EXISTING TREE TO REMAIN
- TREE TO BE REMOVED
- NEW TREES REFER TO LANDSCAPE FOR DETAILS
- DEEP SOIL ZONE



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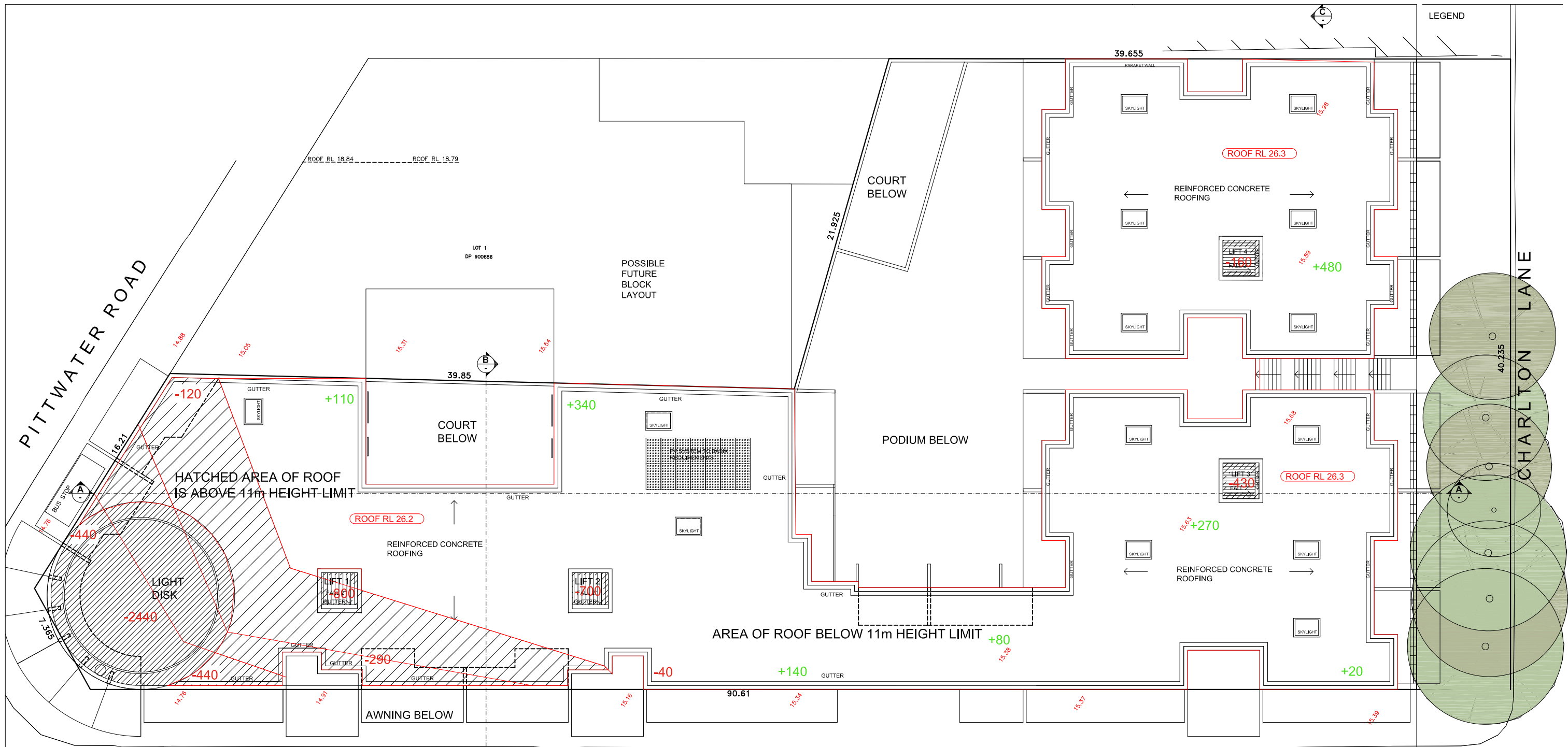
Project  
**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**GROUND FLOOR LEVEL**

Scale 1:125 Drawn BR  
File DA 638e Pittwater Rd  
Plotted 4/10/2019 11:22 AM  
Job No 1802  
Version DA Drawing No: **A05**

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PITTWATER ROAD

CHARLTON LANE

ORCHARD ROAD

**ROOF PLAN**

SCALE (METRES) 1:250 AT A3

TOTAL ROOF AREA = 1679.4m<sup>2</sup>  
 ROOF AREA BELOW 11M HEIGHT = 1367.1m<sup>2</sup> 81%

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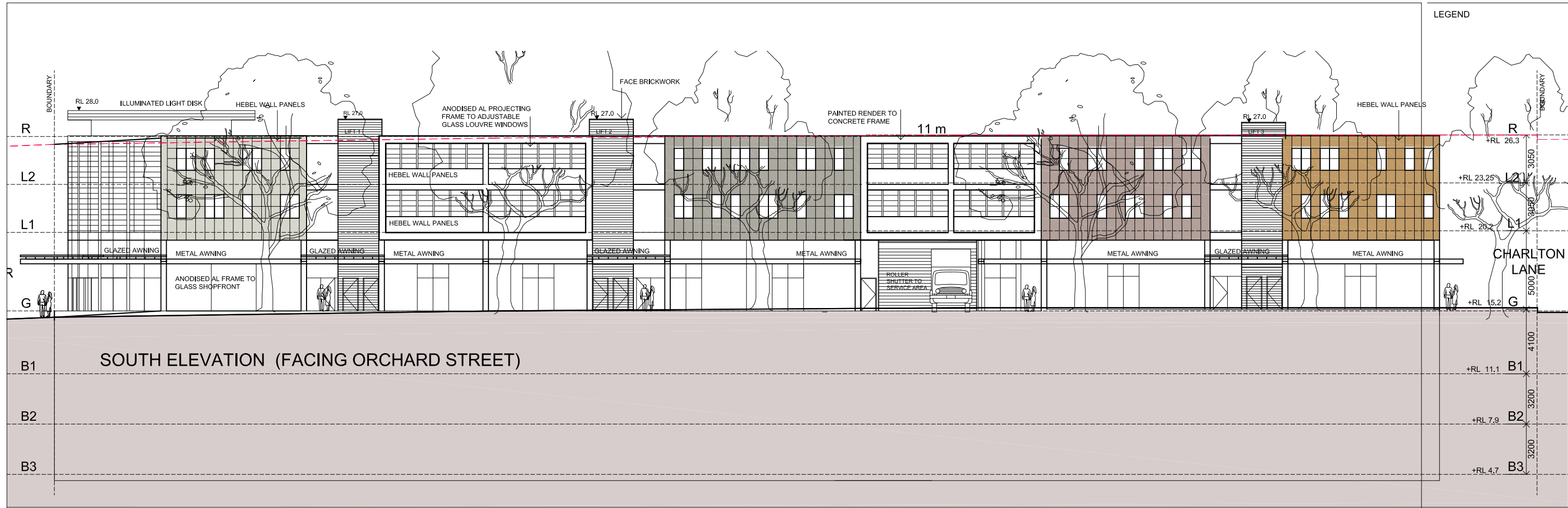
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**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

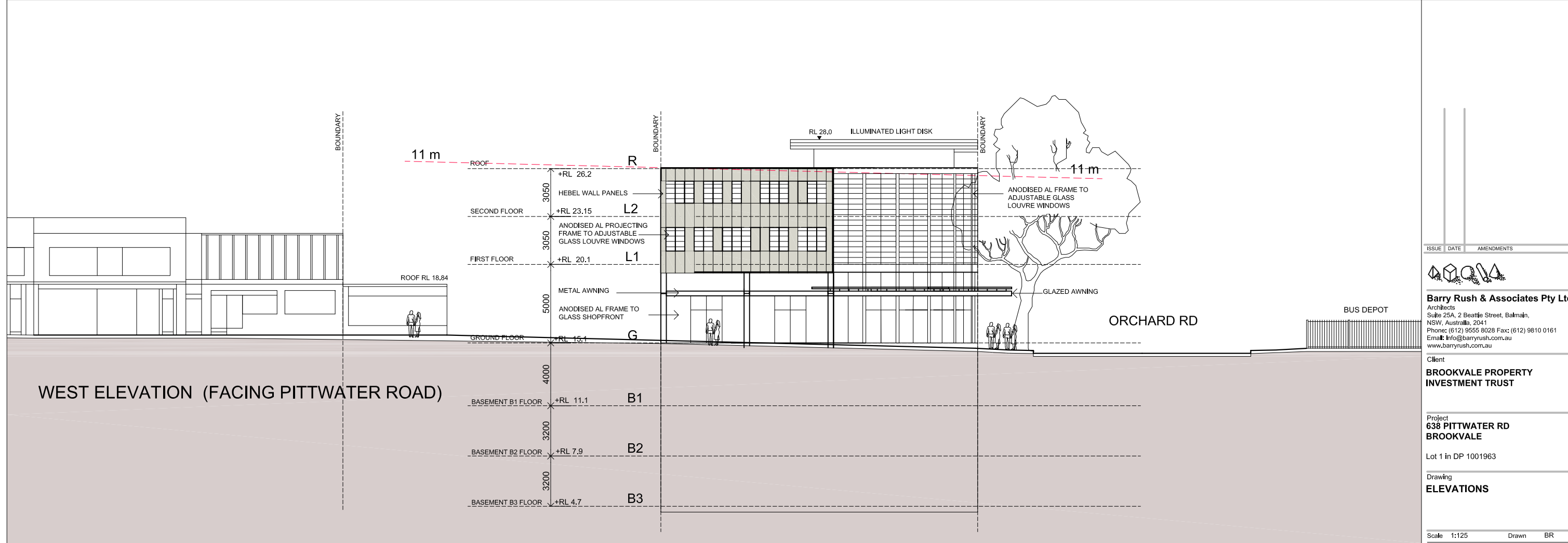
Drawing  
**ROOF PLAN**

Scale	1:125	Drawn	BR
File	DA 638e Pittwater Rd Brookvale.dwg		
Plotted	4/10/2019 11:22 AM		
Job No	1802		
Version	DA	Drawing No:	<b>A08</b>

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 Architects  
 Suite 25A, 2 Beattie Street, Balmain,  
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 Phone: (612) 9555 8028 Fax: (612) 9810 0161  
 Email: info@barryrush.com.au  
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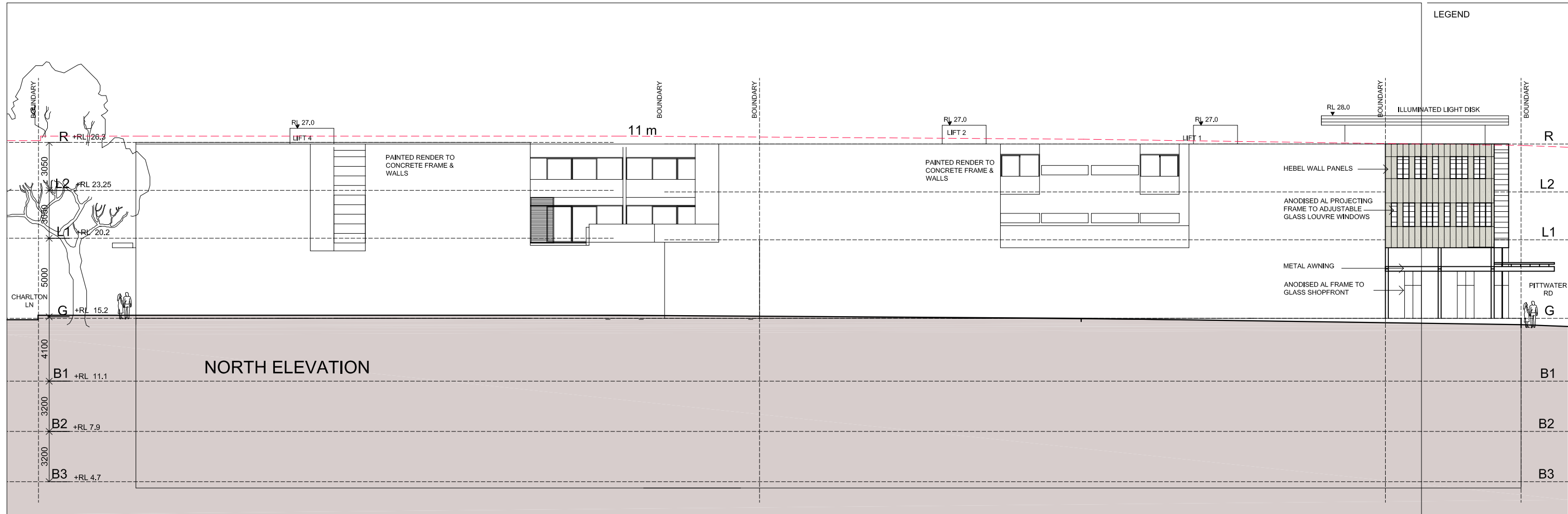
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**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

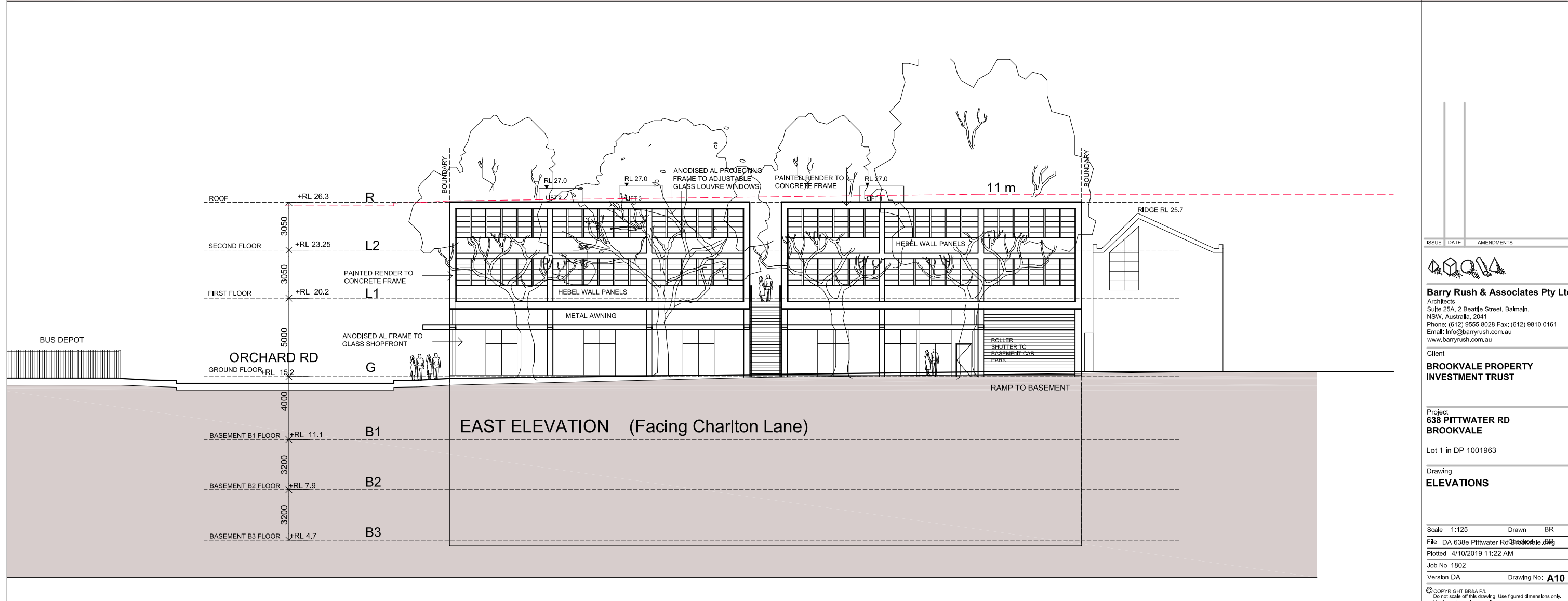
Drawing  
**ELEVATIONS**

Scale 1:125 Drawn BR  
 File DA 638e Pittwater Rd Brookvale.dwg  
 Plotted 4/10/2019 11:22 AM  
 Job No 1802  
 Version DA Drawing No: **A09**

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 Architects  
 Suite 25A, 2 Beattie Street, Balmain,  
 NSW, Australia, 2041  
 Phone: (612) 9555 8028 Fax: (612) 9810 0161  
 Email: info@barryrush.com.au  
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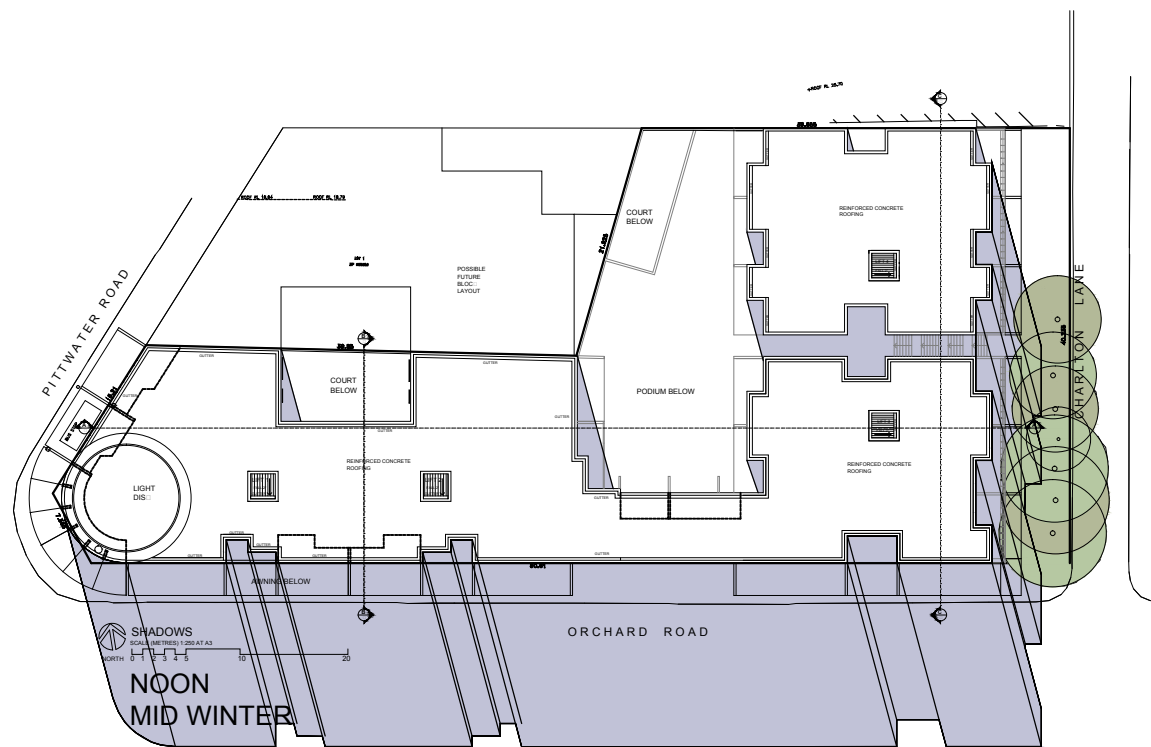
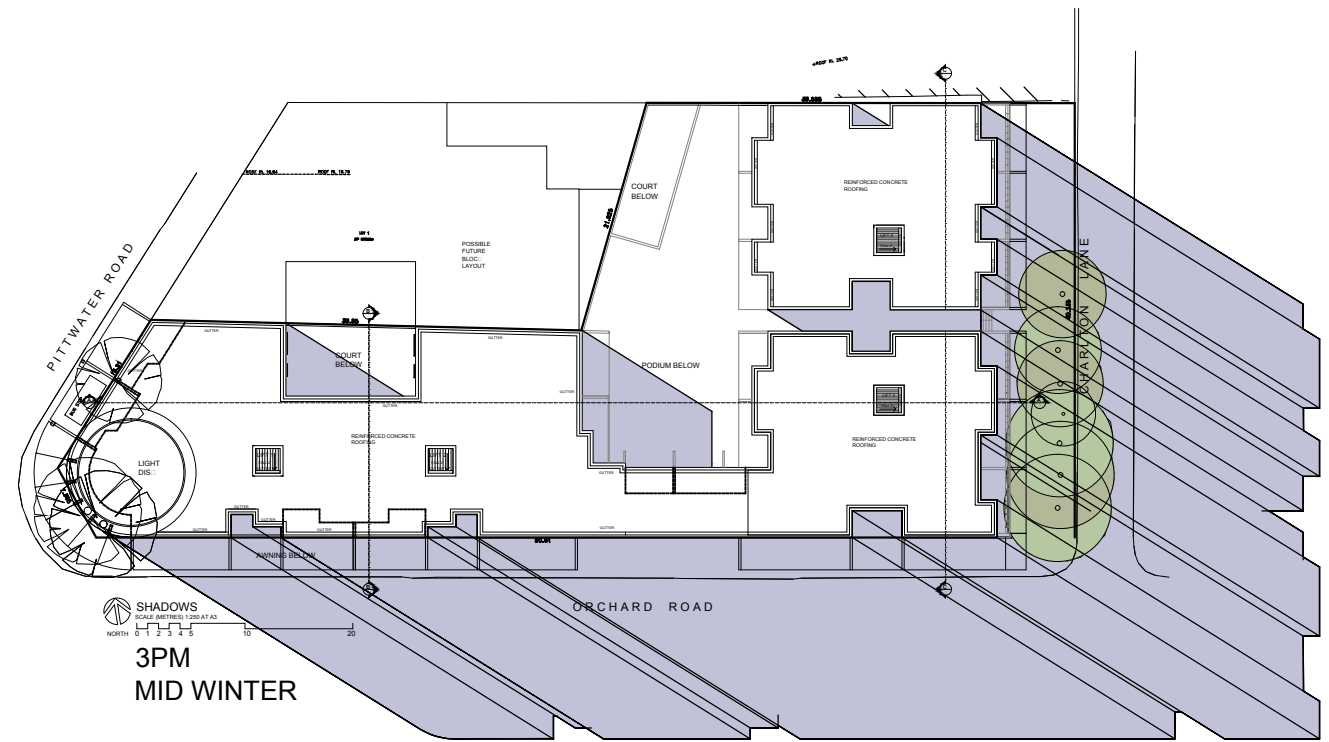
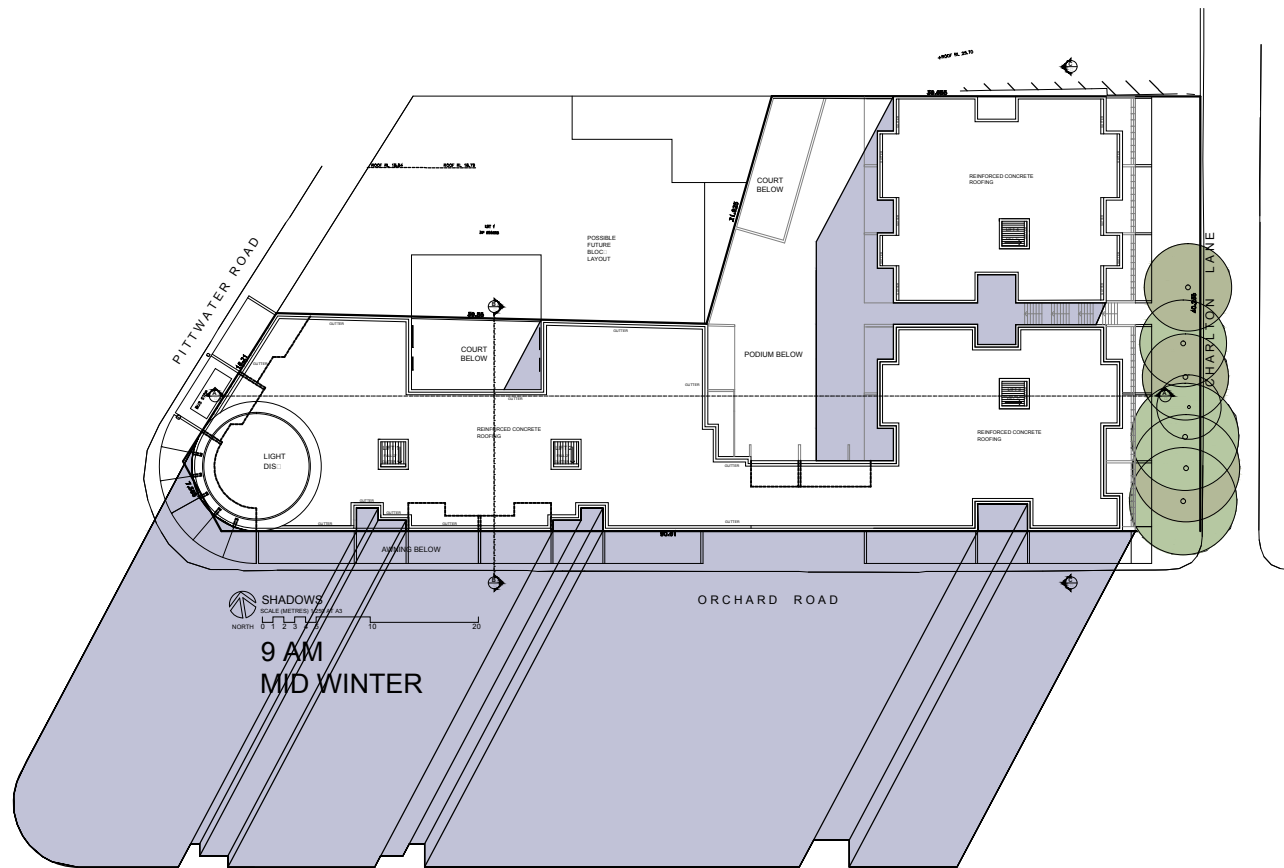
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Drawing  
**ELEVATIONS**

Scale 1:125 Drawn BR  
 File DA 638e Pittwater Rd Brookvale.DWG  
 Plotted 4/10/2019 11:22 AM  
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 Version DA Drawing No: **A10**

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APARTMENTS SCHEDULE		SOLAR ACCESS (H) JUNE 21 9am 3pm		CROSS VENTILATION	STORAGE (m3) BASEMENT	APARTMENTS SCHEDULE		SOLAR ACCESS (H) JUNE 21 9am 3pm		CROSS VENTILATION	STORAGE (m3) BASEMENT
UNIT No	TYPE	LIVING ROOM	POS			UNIT No	TYPE	LIVING ROOM	POS		
1	2 BED	2	2	YES	8	21	2 BED	2	2	YES	8
2	1 BED S	2	2	YES	8	22	1 BED S	2	2	YES	8
3	2 BED	2	2	YES	8	23	2 BED	2	2	YES	8
4	2 BED	2	2	YES	8	24	2 BED	2	2	YES	8
5	2 BED	2	2	YES	8	25	2 BED	2	2	YES	8
6	3 BED	2	1	YES	8	26	3 BED	2	2	YES	8
7	STUDIO	2	2	YES	8	27	1 BED	2	2	YES	8
8	3 BED	2	2	YES	8	28	3 BED	2	2	YES	8
9	2 BED O	2	2	YES	8	29	2 BED	2	2	YES	8
10	1 BED O	1	1	YES	8	30	1 BED	2	2	YES	8
11	1 BED O	2	2	YES	8	31	1 BED	2	2	YES	8
12	1 BED O	1	1	YES	8	32	1 BED	2	1	YES	8
13	1 BED O	2	2	YES	8	33	1 BED	2	2	YES	8
14	1 BED O	2	2	YES	8	34	1 BED	2	2	YES	8
15	1 BED O	2	2	YES	8	35	1 BED	2	2	YES	8
16	1 BED O	1	1	YES	8	36	1 BED	2	1	YES	8
17	1 BED O	2	2	YES	8	37	1 BED	2	2	YES	8
18	1 BED	1	1	NO	8	38	1 BED	2	1	YES	8
19	1 BED O	2	2	YES	8	39	1 BED	2	2	YES	8
20	1 BED	2	2	YES	8	40	1 BED	2	2	YES	8

A 01/2019 SCHEDULE REVISED  
 ISSUE DATE AMENDMENTS



**Barry Rush & Associates Pty Ltd**  
 Architects  
 Suite 25A, 2 Beattie Street, Balmain,  
 NSW, Australia, 2041  
 Phone: (612) 9555 8028 Fax: (612) 9810 0161  
 Email: info@barryrush.com.au  
 www.barryrush.com.au

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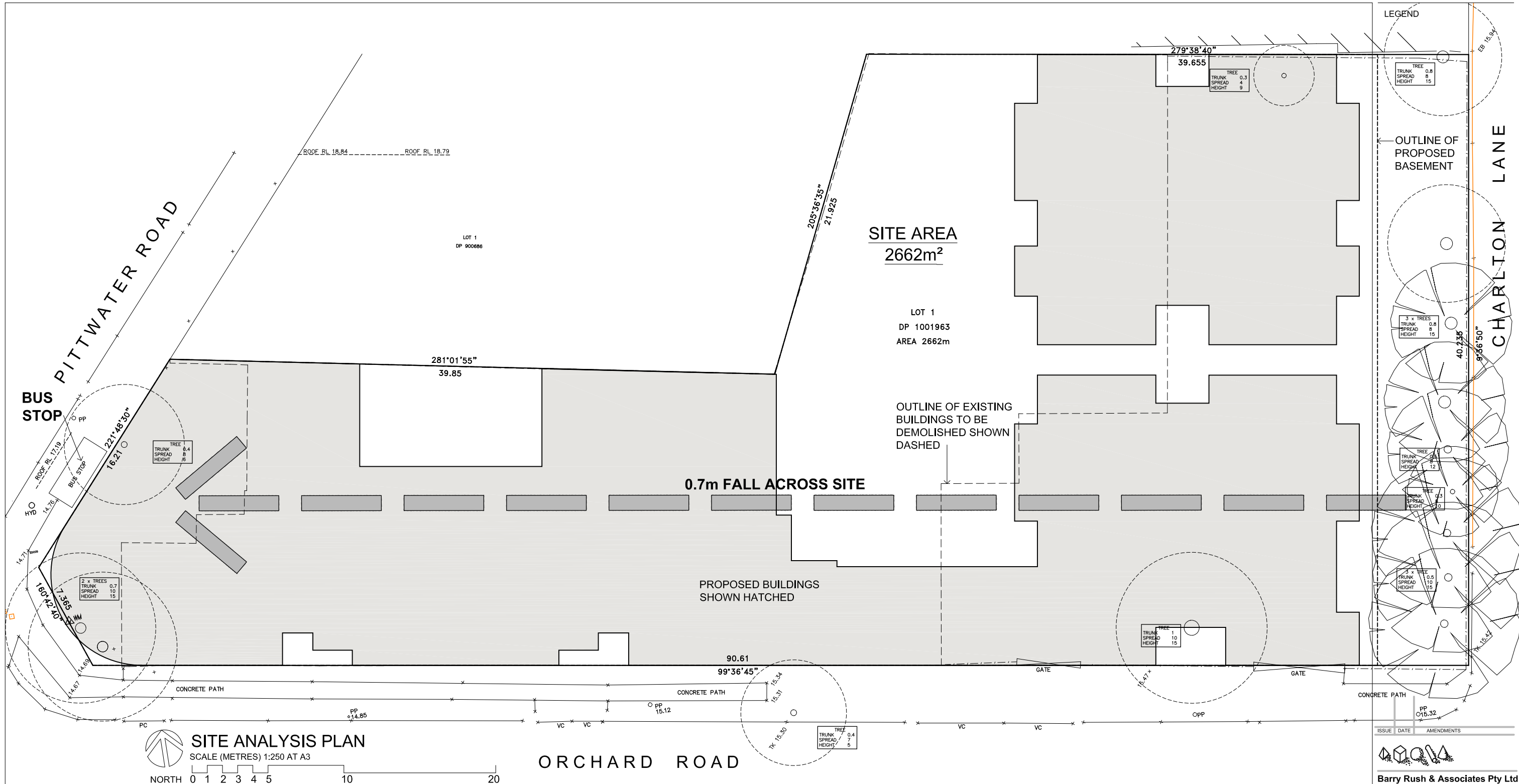
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Project  
**638 PITTWATER RD  
 BROOKVALE**

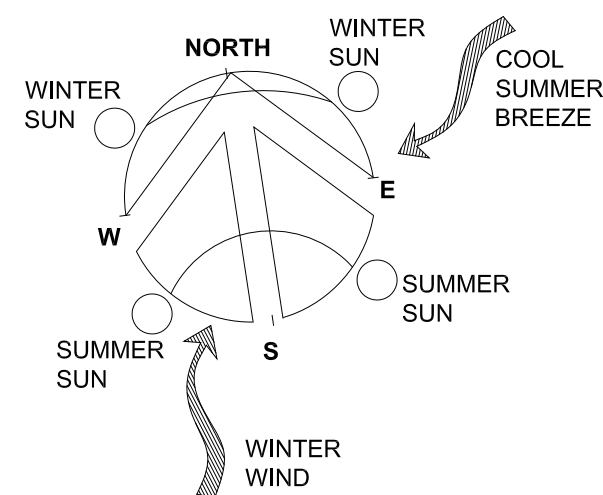
Lot 1 in DP 1001963

Drawing  
**SHADOW DIAGRAMS  
 MID WINTER  
 9am, NOON, 3pm**

Scale 1:350 Drawn BR  
 File DA 638c Pittwater Rd Brookvale.dwg  
 Plotted 4/02/2019 1:25 PM  
 Job No 1802  
 Version DA Drawing No: **A12**



- PRIMARY SCHOOL approx. 400m
- HIGH SCHOOL, BROOKVALE OVAL approx. 600m
- MAJOR SHOPPING CENTRE, POST OFFICE approx. 550m
- BEACH approx. 2.9 km



**Barry Rush & Associates Pty Ltd**  
Architects  
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Email: Info@barryrush.com.au www.barryrush.com.au

**Client:** BROOKVALE PROPERTY INVESTMENT TRUST

**Project:** 638 PITTWATER RD BROOKVALE

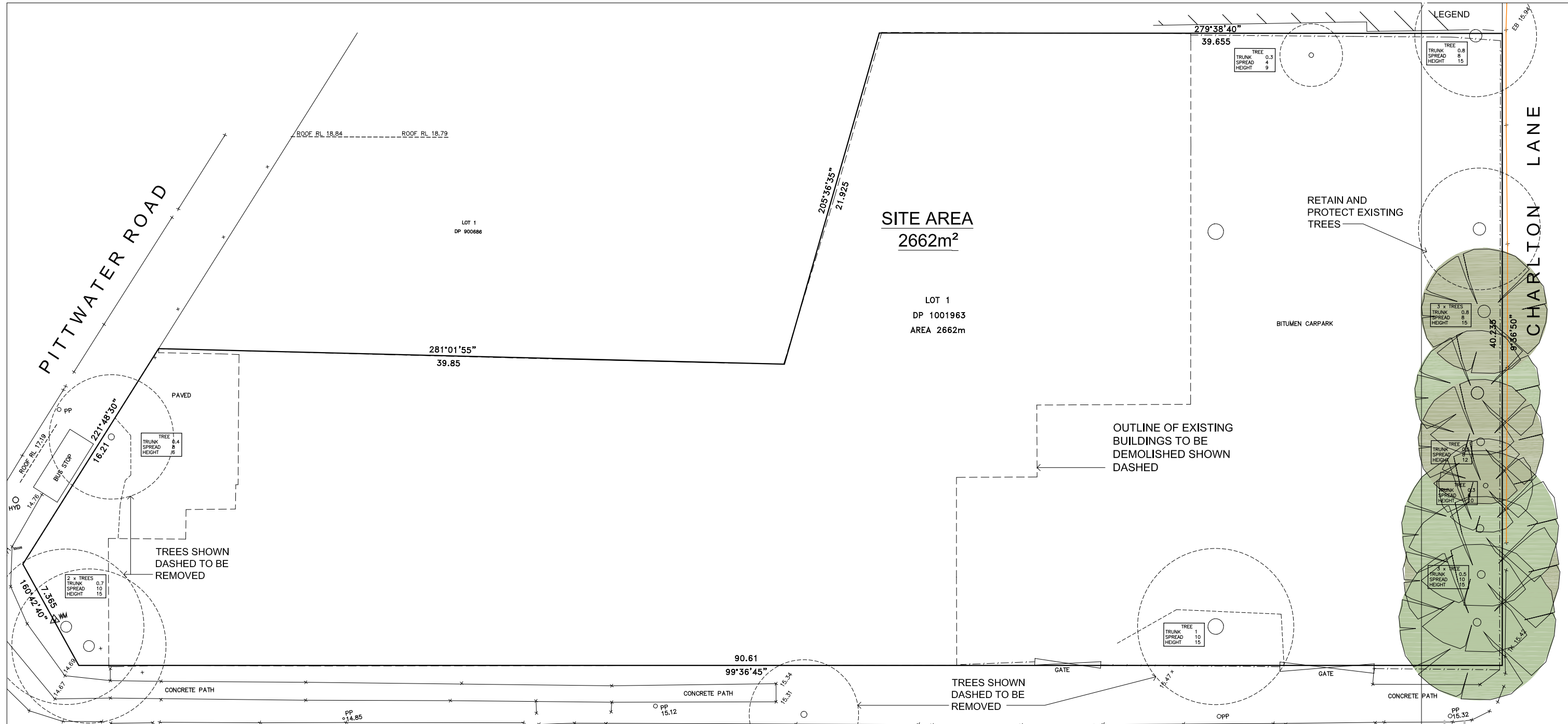
Lot 1 in DP 1001963

**Drawing:** SITE ANALYSIS PLAN

Scale	1:125	Drawn	BR
File	DA 638e Pittwater Rd Brookvale.dwg		
Plotted	4/10/2019 11:22 AM		
Job No	1802		
Version	DA	Drawing No:	A13

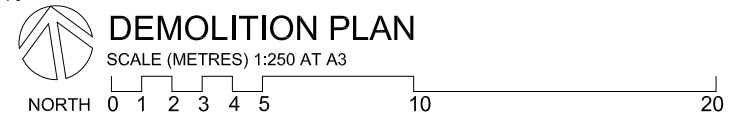
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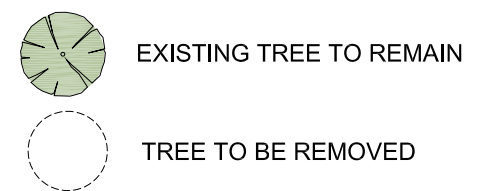
LEGEND

TREE	TRUNK	0.3
	SPREAD	4
	HEIGHT	9



**DEMOLITION PLAN**

ORCHARD ROAD



- DEMOLITION NOTES:**
1. ALL DEMOLITION TO AUSTRALIAN STANDARD AS2601-2001 DEMOLITION OF STRUCTURES.
  2. DEMOLISH ALL EXISTING DWELLINGS, SHEDS, CARPORTS, GARAGES, STEPS, RAMPS, RETAINING WALLS, SLABS, FOOTPATHS & FOOTINGS, HARD SURFACE AREAS, FENCES, RAILINGS, PLANTER BOXES, TURF, LETTERBOXES, BBQs, CLOTHES HOISTS, AC UNITS, HOT WATER UNITS & METER BOARDS & REMOVE FROM SITE.
  3. SORT MATERIALS FOR POTENTIAL TO RECYCLE OR RE-USE ON-SITE.
  4. DISCONNECT AND REMOVE EXISTING SERVICE LINES AS REQUIRED.
  5. REMOVE EXISTING TREES & SHRUBS ON SITE INCLUDING STUMP GRINDING & GRUBBING (SHOWN DASHED).
  6. ASBESTOS IS TO BE REMOVED FROM EXISTING DWELLINGS PRIOR TO DEMOLITION COMMENCEMENT. A CERTIFICATE IS TO BE SUBMITTED BY A HYGIENIST CONFIRMING THAT ALL ASBESTOS HAS BEEN REMOVED PRIOR TO DEMOLITION. ANOTHER CERTIFICATE IS TO BE SUBMITTED ON COMPLETION OF DEMOLITION.
  7. REMOVE AND MAKE GOOD TO REDUNDANT DRIVEWAYS AND CROSSOVERS, REPLACE WITH KERB AND GUTTER, MAKE GOOD TO KERB AND GUTTER WHERE REQUIRED.
  8. REMOVAL OF ANY SURFACE BUILDING DEBRIS LEFT BEHIND BY DEMOLITION CONTRACTOR IS TO BE REMOVED, THIS INCLUDES CONCRETE, MASONRY AND ASBESTOS PARTICLES.

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 Architects  
 Suite 25A, 2 Beattie Street, Balmain,  
 NSW, Australia, 2041  
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 Email: info@barryrush.com.au  
 www.barryrush.com.au

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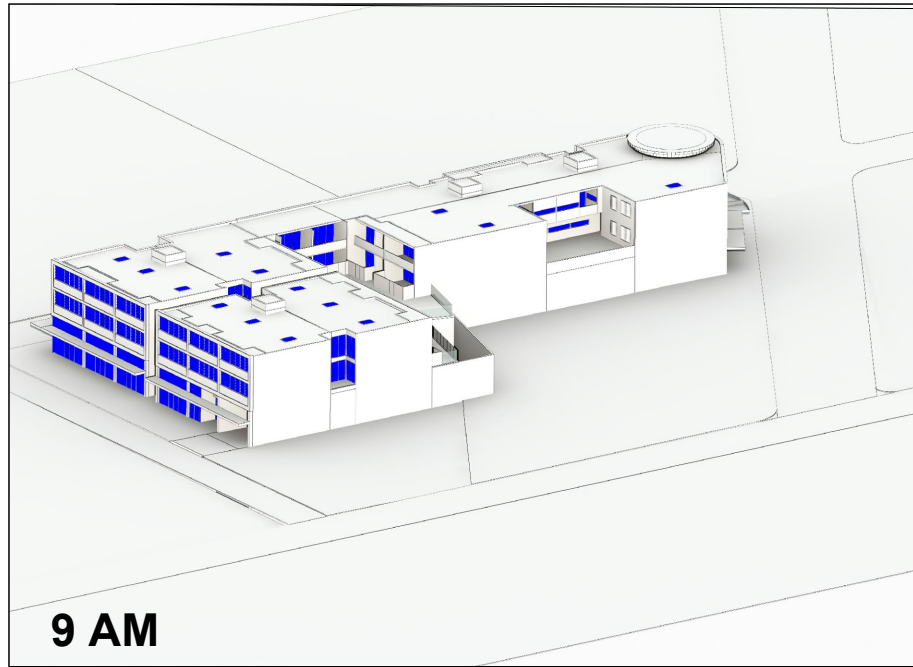
Project  
**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

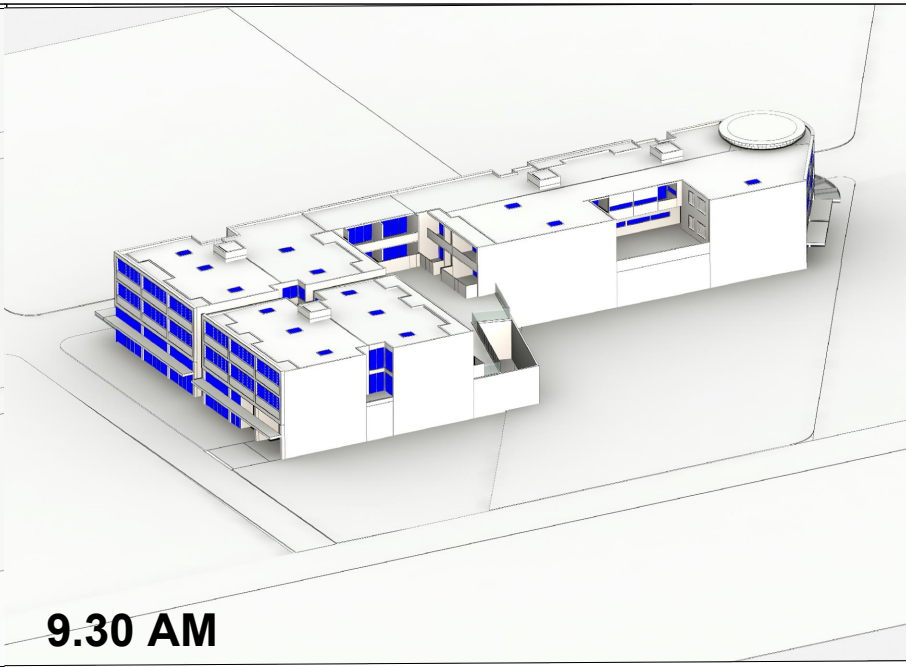
Drawing  
**DEMOLITION PLAN**

Scale	1:125	Drawn	BR
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Plotted	4/10/2019 11:22 AM		
Job No	1802		
Version	DA	Drawing No:	<b>A14</b>

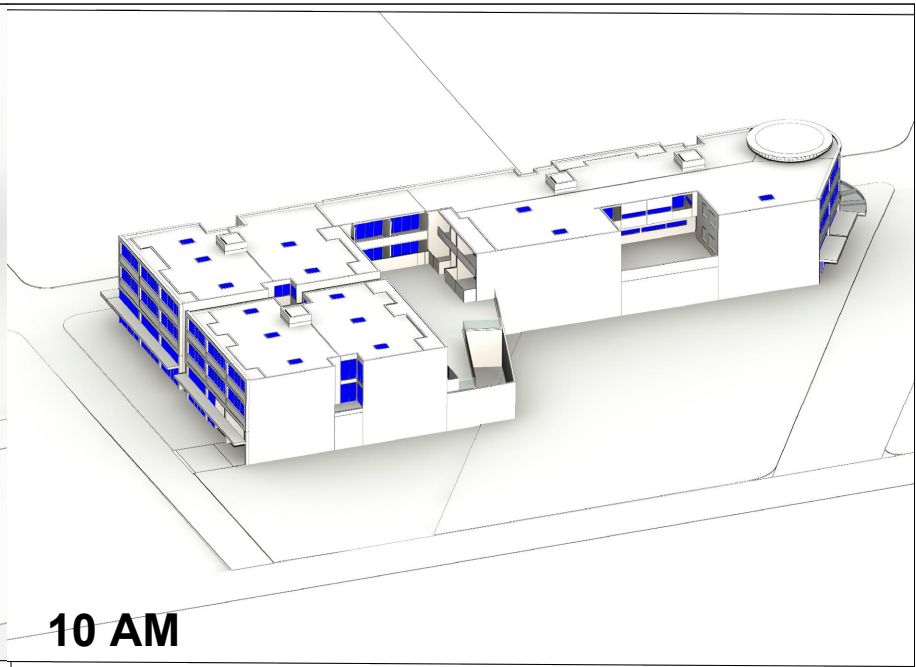
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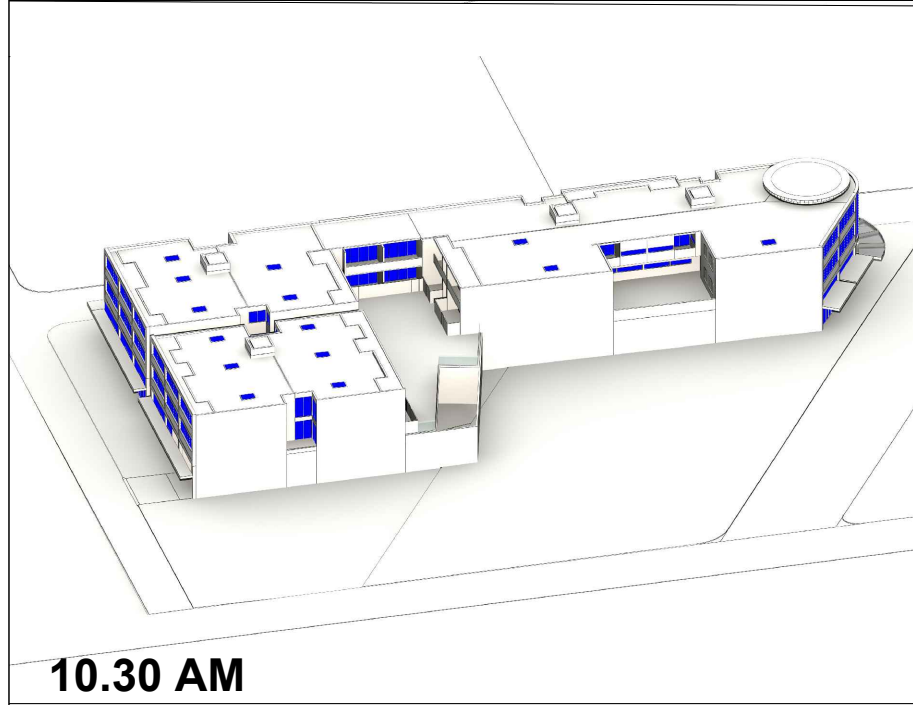
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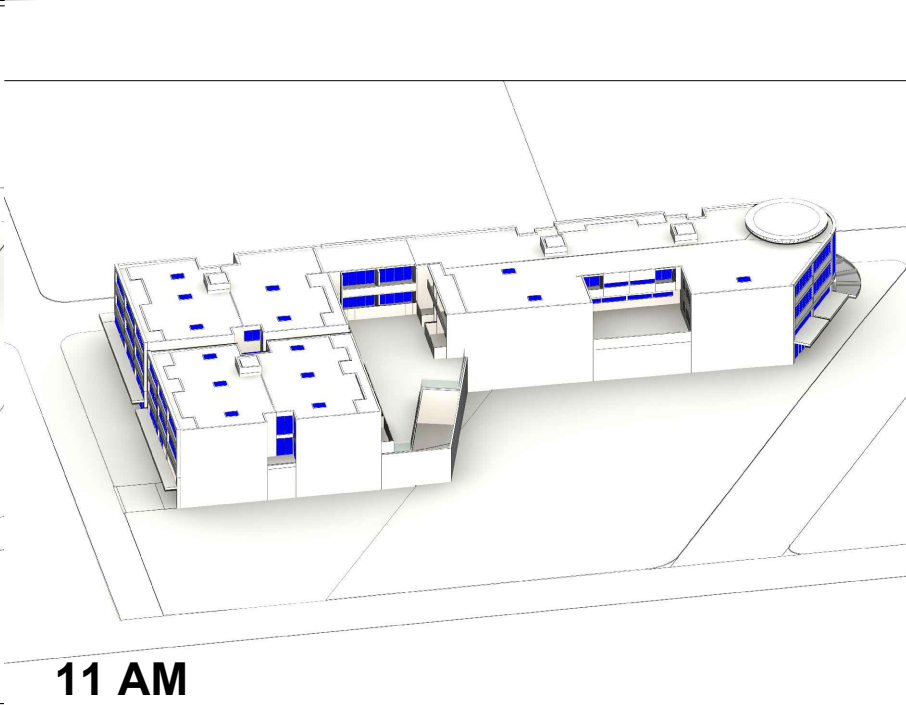
9.30 AM



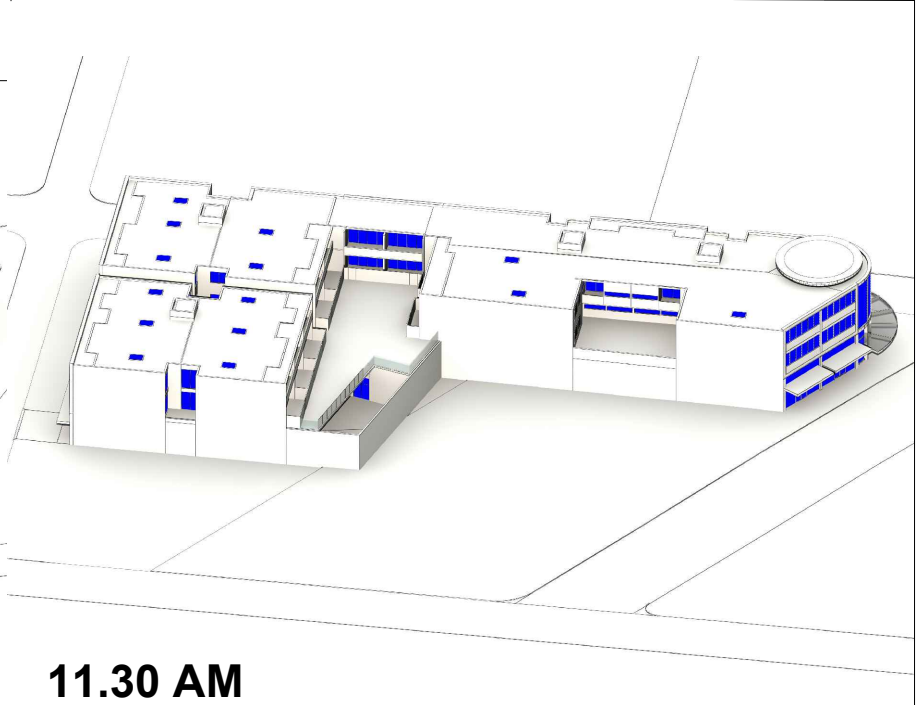
10 AM



10.30 AM



11 AM



11.30 AM

LEGEND

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 Architects  
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Project  
**638 PITTWATER RD  
 BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**VIEWS FROM THE SUN  
 MID WINTER 21st JUNE**

Scale NTS Drawn BR

File DA 638c Pittwater Rd Brookvale.dwg

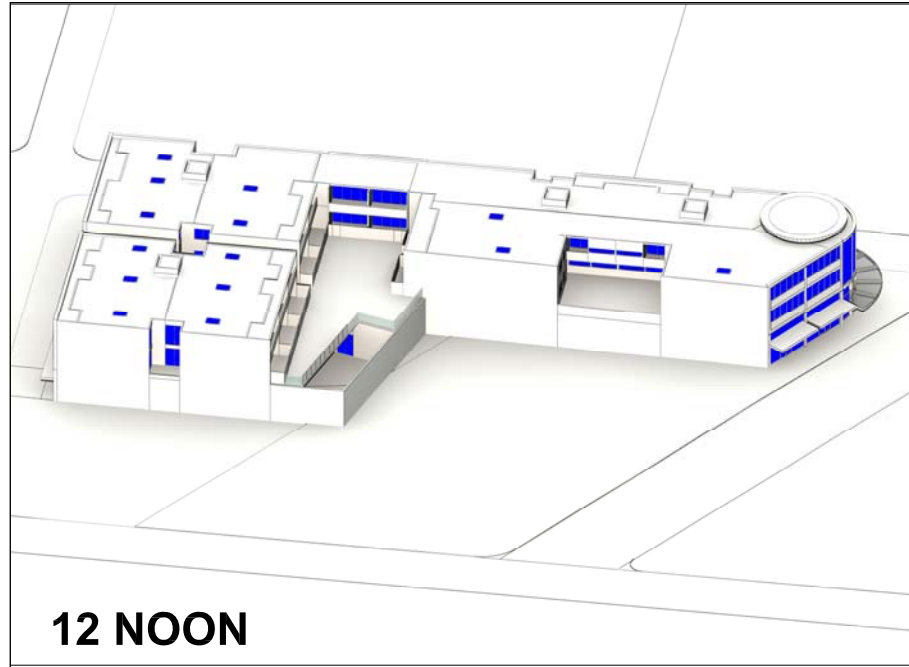
Plotted 4/02/2019 1:25 PM

Job No 1802

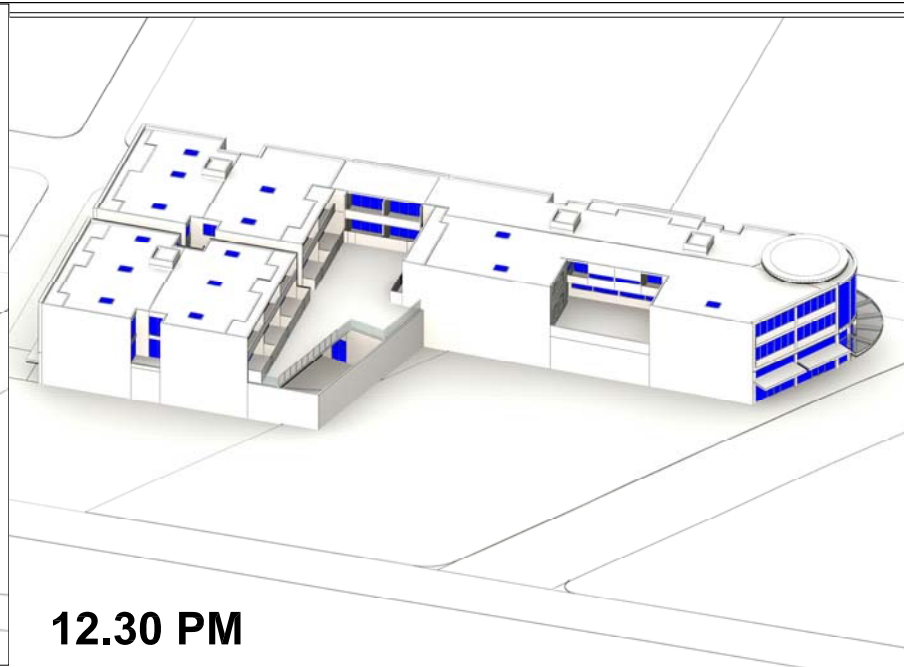
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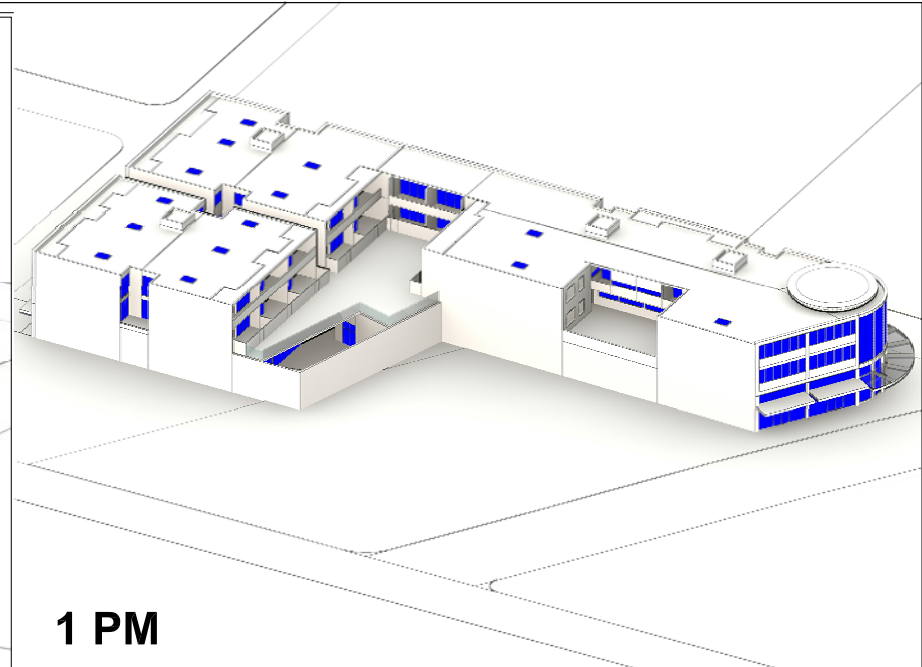




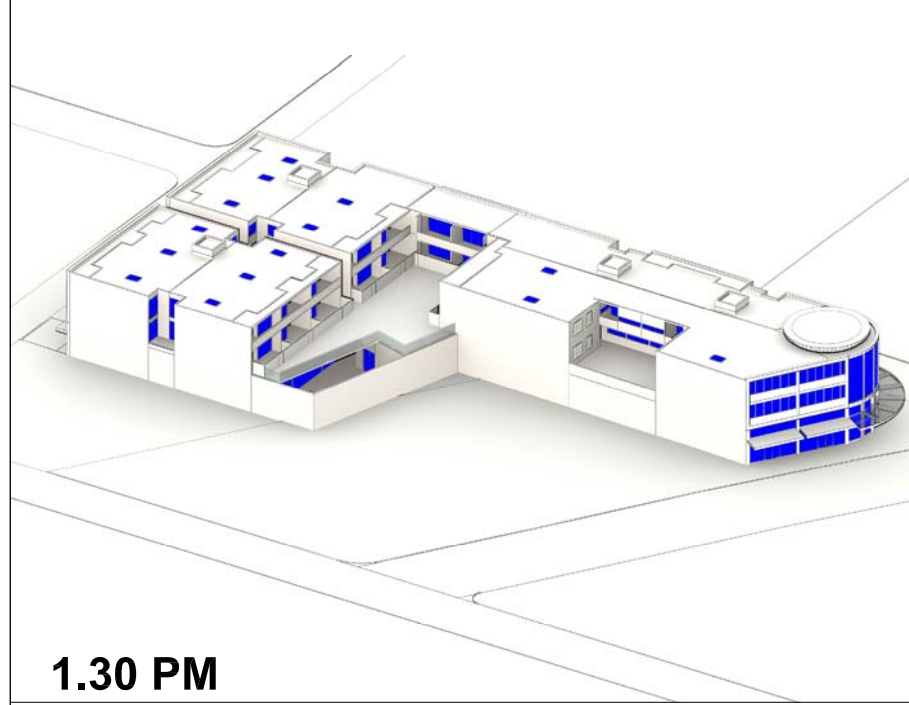
12 NOON



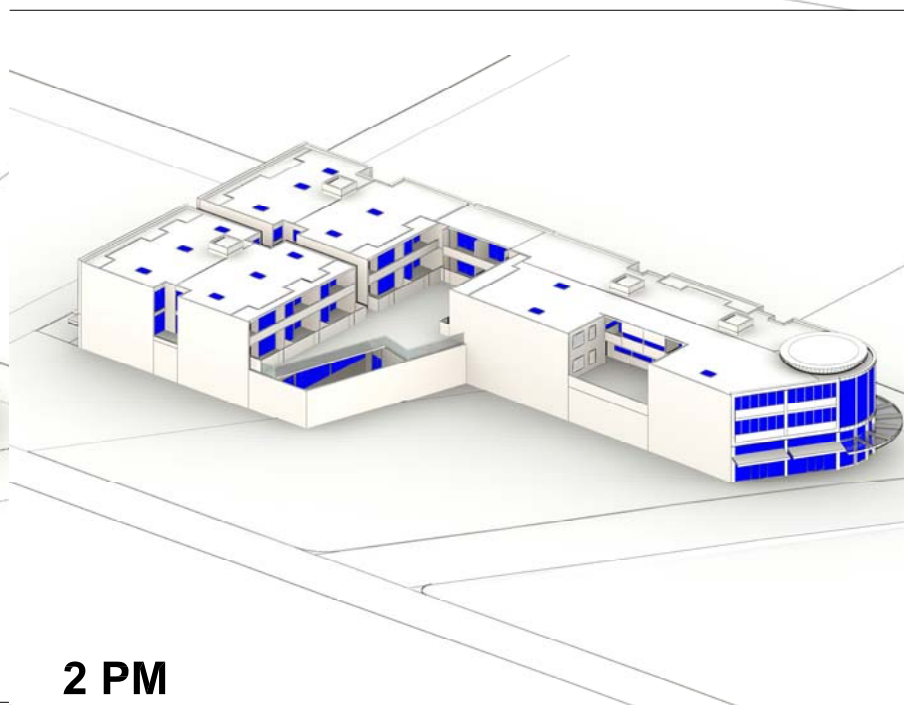
12.30 PM



1 PM



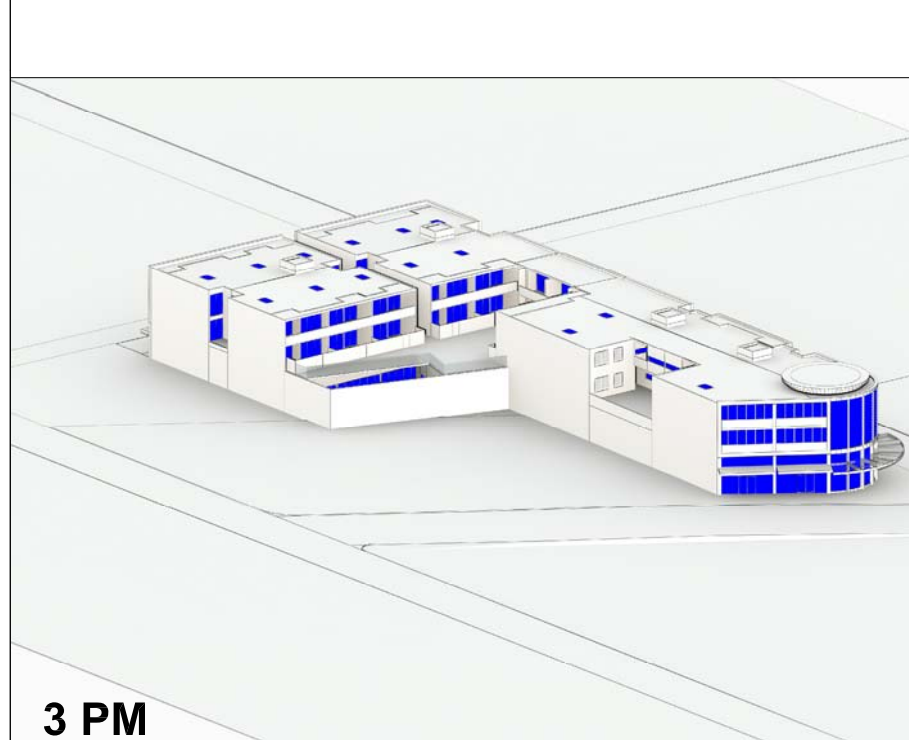
1.30 PM



2 PM



2.30 PM



3 PM

LEGEND

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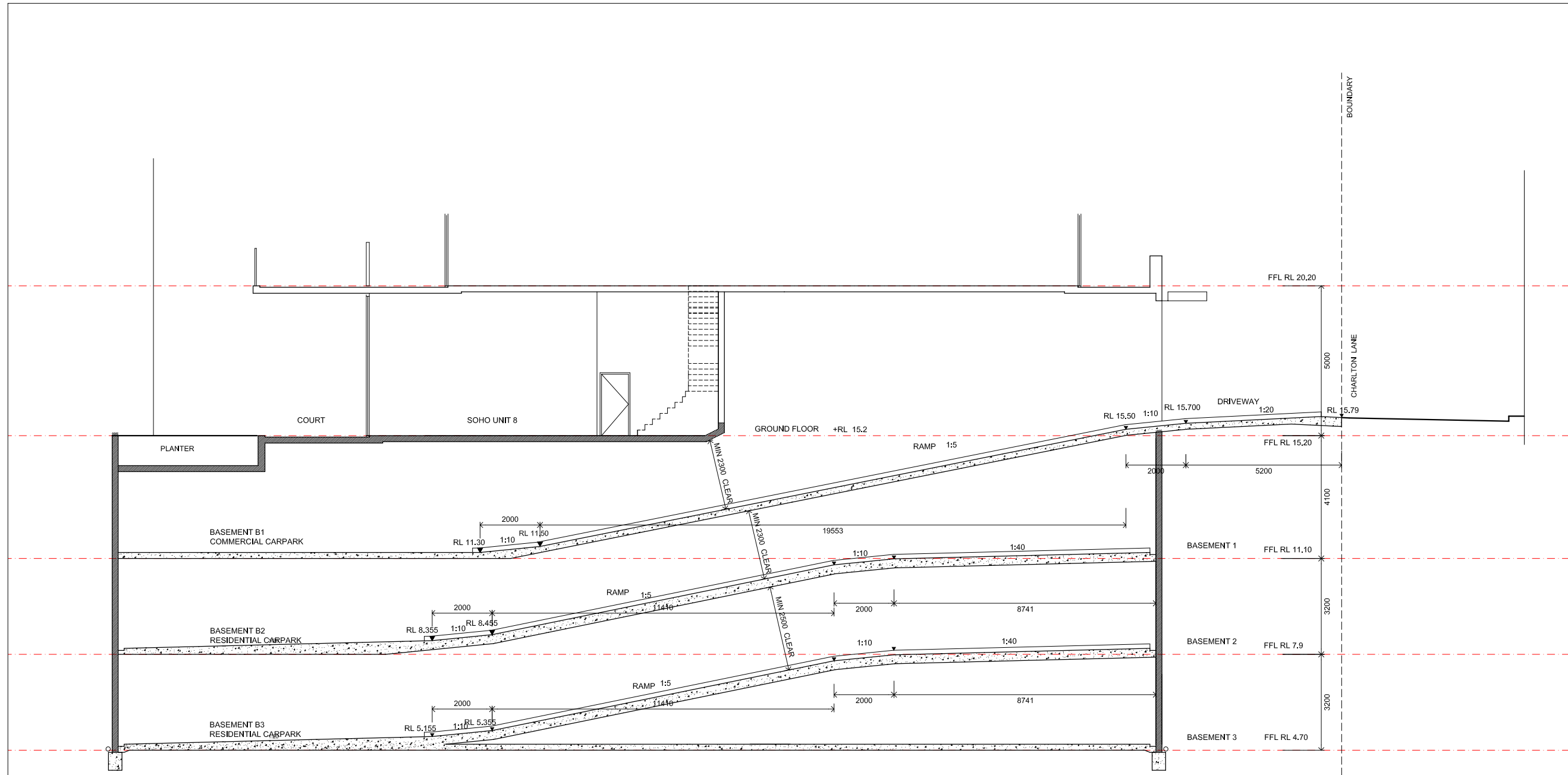
Project  
**638 PITTWATER RD  
 BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**VIEWS FROM THE SUN  
 MID WINTER 21st JUNE**

Scale NTS Drawn BR  
 File DA 638c Pittwater Rd Brookvale.dwg  
 Plotted 4/02/2019 1:25 PM  
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DRIVEWAY/RAMP SECTION 1:50

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 Architects  
 Suite 25A, 2 Beattie Street, Balmain,  
 NSW, Australia, 2041  
 Phone: (612) 9555 8028 Fax: (612) 9810 0161  
 Email: info@barryrush.com.au  
 www.barryrush.com.au

Client  
**BROOKVALE PROPERTY  
 INVESTMENT TRUST**

Project  
**638 PITTWATER RD  
 BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**DRIVEWAY SECTION**

Scale 1:50 Drawn BR

File DA 638e Pittwater Rd Brookvale.dwg

Plotted 4/10/2019 11:22 AM

Job No 1802

Version DA Drawing No: **A17**

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 Verify all dimensions on site.



SATIN SILVER GREY

SATIN SLATE GREY

LEGEND

LIGHT PANEL  
TRANSLUCENT  
GLAZED PANELS  
WITH LED  
LIGHTING  
An. Aluminium Frame  
"Satin Silver Grey"

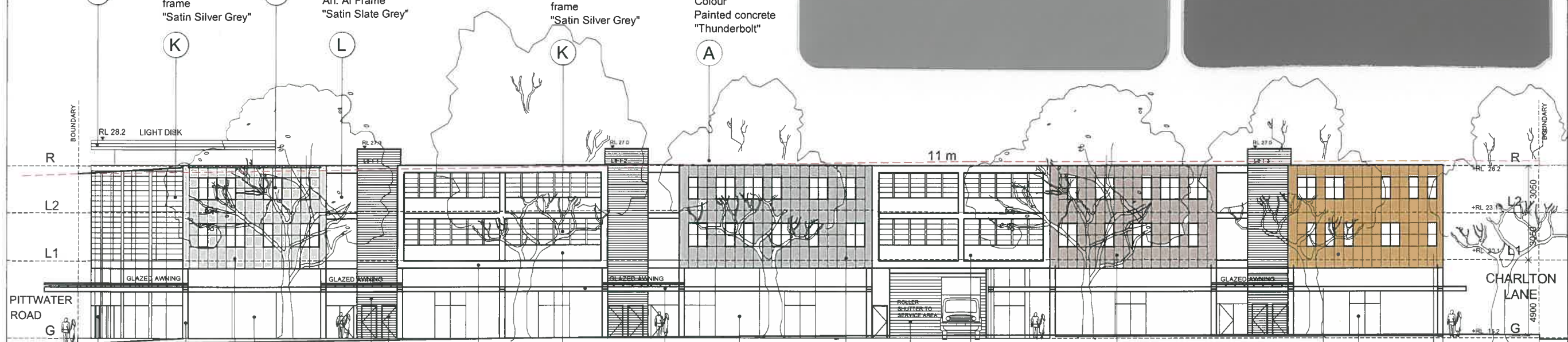
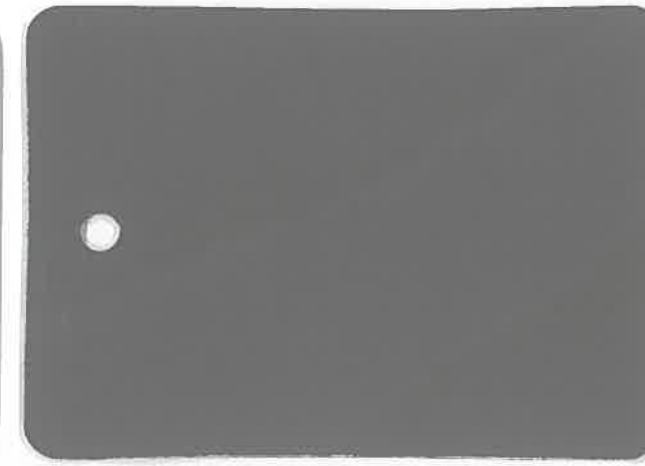
GLASS  
LOUVRES  
An. Al Frame  
Adjustable  
"Breezeway"  
frame  
"Satin Silver Grey"

CASEMENT  
WINDOWS  
with protruding  
An. Al Frames  
"Satin Slate Grey"

FIXED  
GLAZING  
An. Al Frame  
"Satin Slate Grey"

GLASS  
LOUVRES  
An. Al Frame  
Adjustable  
"Breezeway"  
frame  
"Satin Silver Grey"

ROOF  
Colour  
Painted concrete  
"Thunderbolt"



SOUTH ELEVATION (FACING ORCHARD STREET)

G  
GLAZED  
ENTRY DOORS  
Frames:  
An. Aluminium  
"Satin Silver Grey"

H  
GLAZED  
SHOPFRONT  
Frames:  
An. Aluminium  
"Satin Silver Grey"

A  
CONCRETE  
FRAME  
Painted Render  
Wattyl  
"Thunderbolt"

B  
HEBEL PANEL  
Wattyl colour  
"Purest White"

L  
GLAZED  
SHOPFRONT  
Frames:  
An. Aluminium  
"Satin Slate Grey"

E  
ROLLER  
DOOR  
Colorbond Steel  
"Basalt"

B  
HEBEL PANEL  
Wattyl colour  
"Purest White"

H  
GLAZED  
SHOPFRONT  
Frames:  
An. Aluminium  
"Satin Silver Grey"

A  
CONCRETE FRAME  
Painted Render  
Wattyl  
"Thunderbolt"

B  
HEBEL PANEL  
Wattyl colour  
"Purest White"

CD  
FACE  
BRICKWORK  
PGH Premium  
Collection  
"Black & Tan"

EXIT DOORS  
Paint Finish  
Wattyl  
"Pilbara Sand"

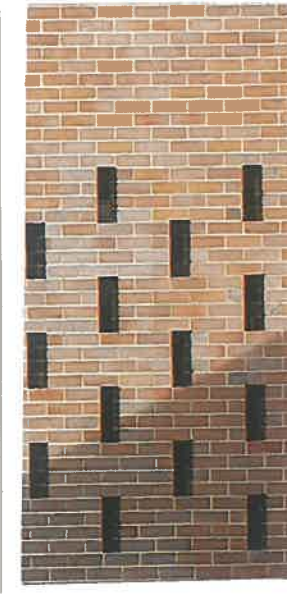
E  
GLAZED AWNING  
Steel Frame  
Colorbond  
"Basalt"

F  
HEBEL PANEL  
Colorbond colour  
"Windspray"

G  
HEBEL PANEL  
Dulux colour  
"Tomorrow's Taupe"

H  
METAL AWNING  
Steel Frame  
Colorbond  
"Surfmist"

J  
HEBEL PANEL  
Wattyl colour  
"Beehive"



THUNDERBOLT

PUREST WHITE

PGH BLACK & TAN

PILBARA SAND

BASALT

WINDSPRAY

TOMORROW'S TAUPE

SURFMIST

BEEHIVE

ISSUE DATE AMENDMENTS



Barry Rush & Associates Pty Ltd  
Architects  
Suite 25A, 2 Beattie Street, Balmain,  
NSW, Australia, 2041  
Phone: (612) 9555 8028 Fax: (612) 9810 0161  
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Client  
**BROOKVALE PROPERTY  
INVESTMENT TRUST**

Project  
**638 PITTWATER RD  
BROOKVALE**  
Lot 1 in DP 1001963

Drawing  
**EXTERNAL COLOUR  
SCHEDULE**

Scale 1:50 Drawn BR  
File DA 638e Pittwater Rd@brookvale.dwg  
Plotted 24/09/2019 2:35 PM  
Job No 1802  
Version DA Drawing No: **A18**

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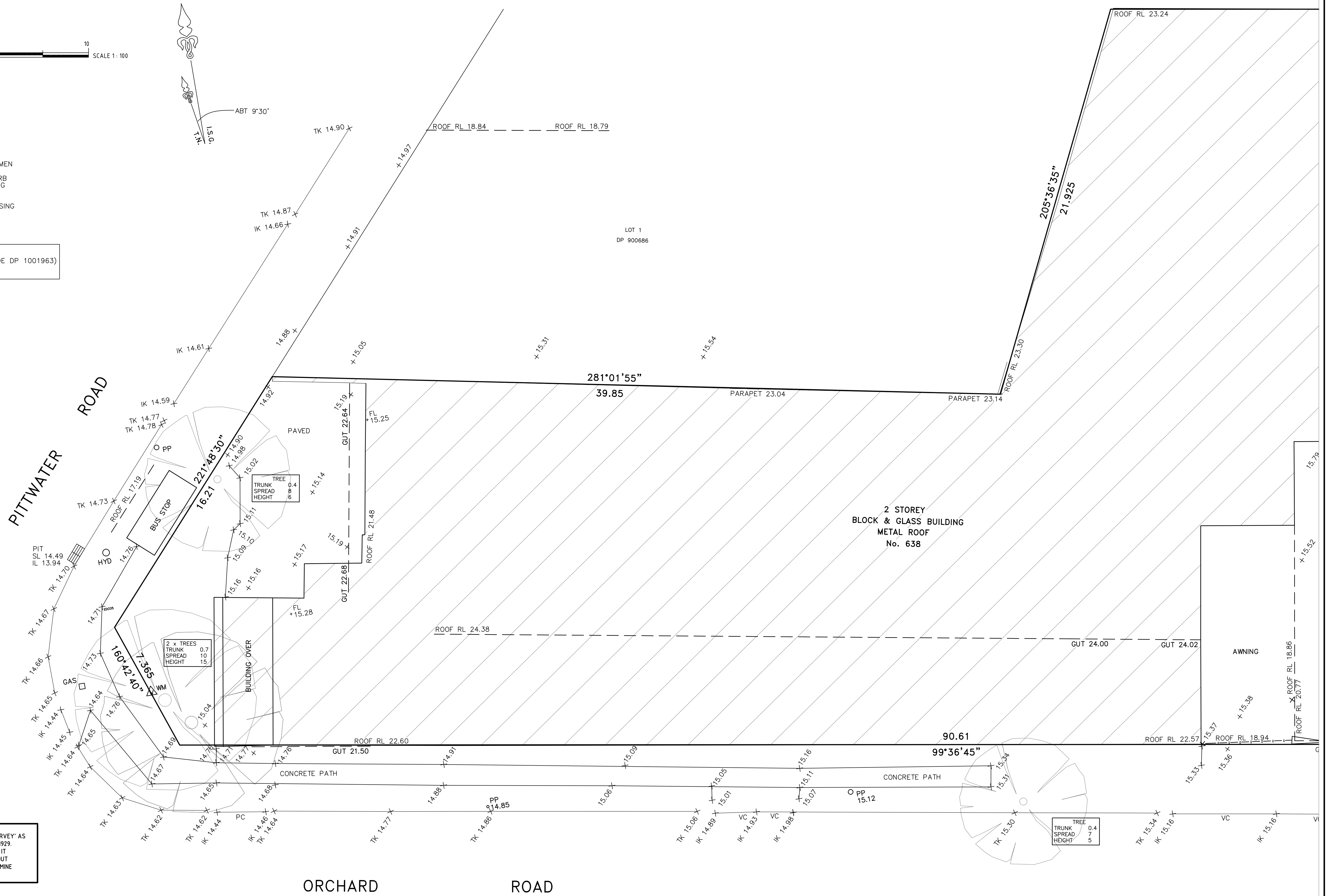
DETAIL PLAN



LEGEND

- EB EDGE OF BITUMEN
- FL FLOOR LEVEL
- IK INVERT OF KERB
- PC PRAM CROSSING
- PP POWER POLE
- TK TOP OF KERB
- VC VEHICLE CROSSING
- WM WATER METER

LAND SUBJECT TO:  
POSITIVE COVENANT (VIDE DP 1001963)  
CAVEAT (VIDE AK79135)



THIS DETAIL SURVEY IS NOT A 'SURVEY' AS DEFINED BY THE SURVEYORS ACT 1929. IF ANY CONSTRUCTION IS PLANNED IT WOULD BE ADVISABLE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

CitiSurv Pty Ltd ABN 32 122 758 276 CONSULTING SURVEYORS 35/42 SWAN AVENUE STRATHFIELD, 2135 PHONE: 9764 5880 FAX: 9764 5881 E-mail: info@citisurv.com.au	SCALE 1:100	SHEET 1 OF 2	ISSUE A	AMENDMENTS INITIAL ISSUE	DATED 11-1-16	CLIENT PMC CONSTRUCTIONS PTY LTD	DATUM AHD ORIGIN OF LEVELS: PM 1498 RL 14.42 DATED: 7-JAN-2016	PLAN DETAIL & LEVEL SURVEY	L.G.A. WARRINGAH	TITLE LOT 1 DP 1001963	NOTES 1. BOUNDARIES NOT SURVEYED. 2. AREAS & DIMENSIONS COMPILED FROM PLANS OBTAINED FROM THE LAND TITLES OFFICE. 3. TREE SYMBOLS ARE TO APPROXIMATE SCALE FOR TRUNK & CANOPY SPREAD 4. ALL OTHER SYMBOLS ARE NOT TO SCALE AND ARE DIAGRAMMATIC ONLY. 5. NO SERVICES SEARCH HAS BEEN UNDERTAKEN. 6. ONLY VISIBLE ABOVE GROUND SERVICES HAVE BEEN LOCATED. 7. ALL KERB LEVELS ARE ON THE TOP OF KERB UNLESS OTHERWISE STATED. 8. PLAN IS ACCURATE TO PLOT SCALE ONLY. 9. PLAN IS TO BE USED FOR DETAIL PURPOSES ONLY. 10. CONTOUR INTERVAL: 0.5m
	DATE OF SURVEY 7-1-2016	PLOT FILE 9998-DET	DRAWN JC					SITE 638 PITTWATER ROAD BROOKVALE	PARISH MANLY COVE	COUNTY CUMBERLAND	



A1

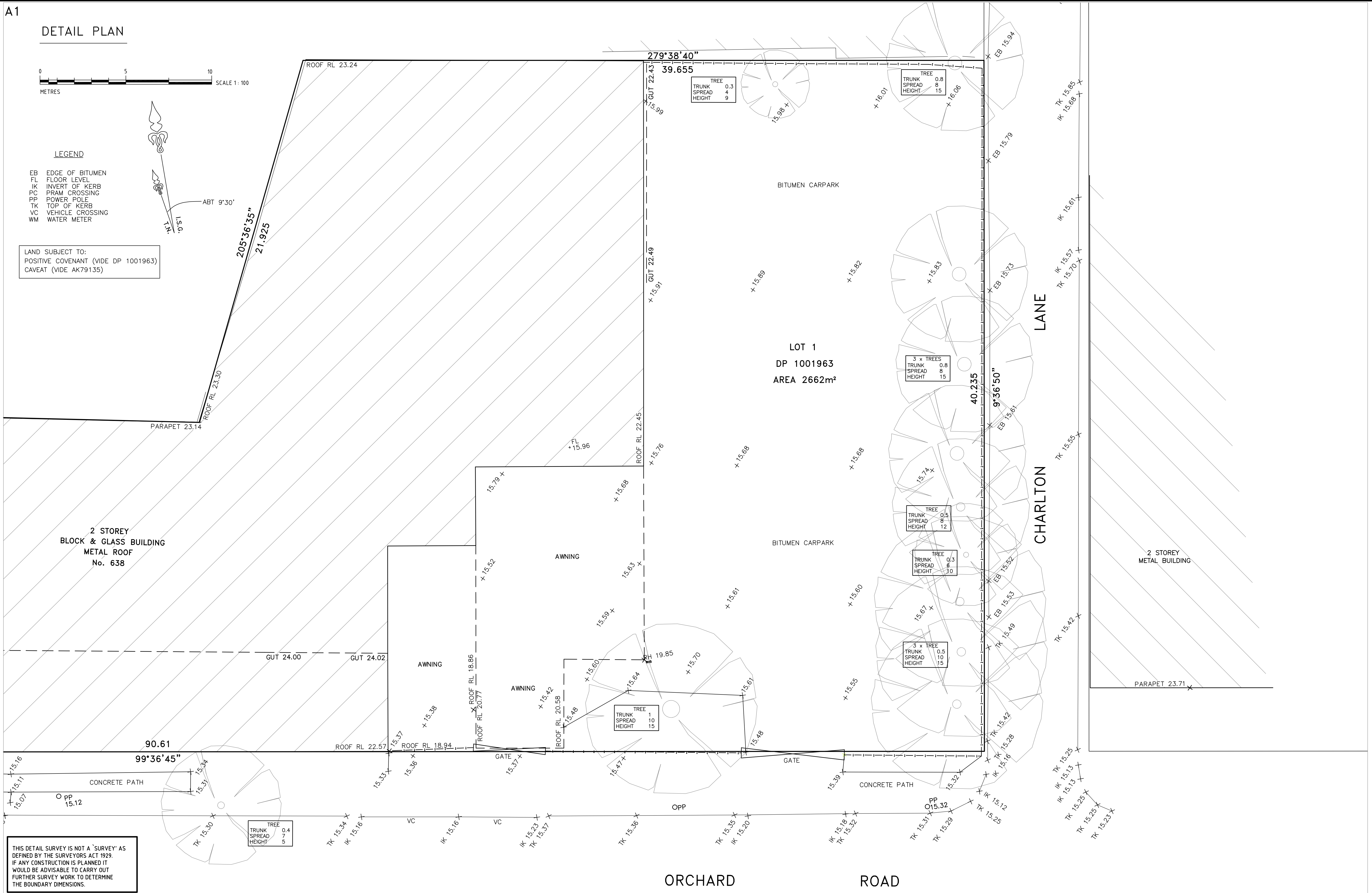
DETAIL PLAN



LEGEND

- EB EDGE OF BITUMEN
- FL FLOOR LEVEL
- IK INVERT OF KERB
- PC PRAM CROSSING
- PP POWER POLE
- TK TOP OF KERB
- VC VEHICLE CROSSING
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LAND SUBJECT TO:  
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CitiSurv Pty Ltd ABN 32 122 758 276 CONSULTING SURVEYORS 35/42 SWAN AVENUE STRATHFIELD, 2135 PHONE: 9764 5880 FAX: 9764 5881 E-mail: info@citisurv.com.au	SCALE 1:100	SHEET 2 OF 2	ISSUE A	AMENDMENTS INITIAL ISSUE	DATED 11-1-16	CLIENT PMC CONSTRUCTIONS PTY LTD	DATUM AHD ORIGIN OF LEVELS: PM 1498 RL 14.42 DATED: 7-JAN-2016	PLAN DETAIL & LEVEL SURVEY SITE 638 PITTWATER ROAD BROOKVALE	L.G.A. WARRINGAH PARISH MANLY COVE COUNTY CUMBERLAND	TITLE LOT 1 DP 1001963	NOTES 1. BOUNDARIES NOT SURVEYED. 2. AREAS & DIMENSIONS COMPILED FROM PLANS OBTAINED FROM THE LAND TITLES OFFICE 3. TREE SYMBOLS ARE TO APPROXIMATE SCALE FOR TRUNK & CANOPY SPREAD 4. ALL OTHER SYMBOLS ARE NOT TO SCALE AND ARE DIAGRAMMATIC ONLY. 5. NO SERVICES SEARCH HAS BEEN UNDERTAKEN. 6. ONLY VISIBLE ABOVE GROUND SERVICES HAVE BEEN LOCATED. 7. ALL KERB LEVELS ARE ON THE TOP OF KERB UNLESS OTHERWISE STATED. 8. PLAN IS ACCURATE TO PLOT SCALE ONLY. 9. PLAN IS TO BE USED FOR DETAIL PURPOSES ONLY. 10. CONTOUR INTERVAL: 0.5m
	DATE OF SURVEY 7-1-2016	PLOT FILE 9998-DET	DRAWN JC								