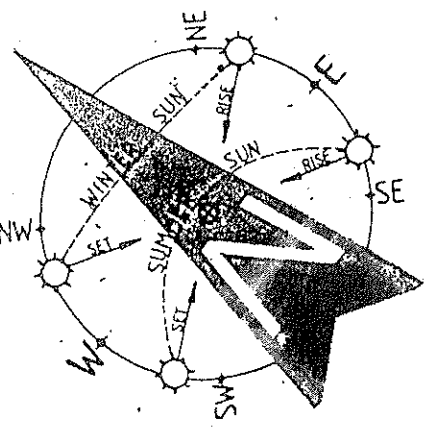
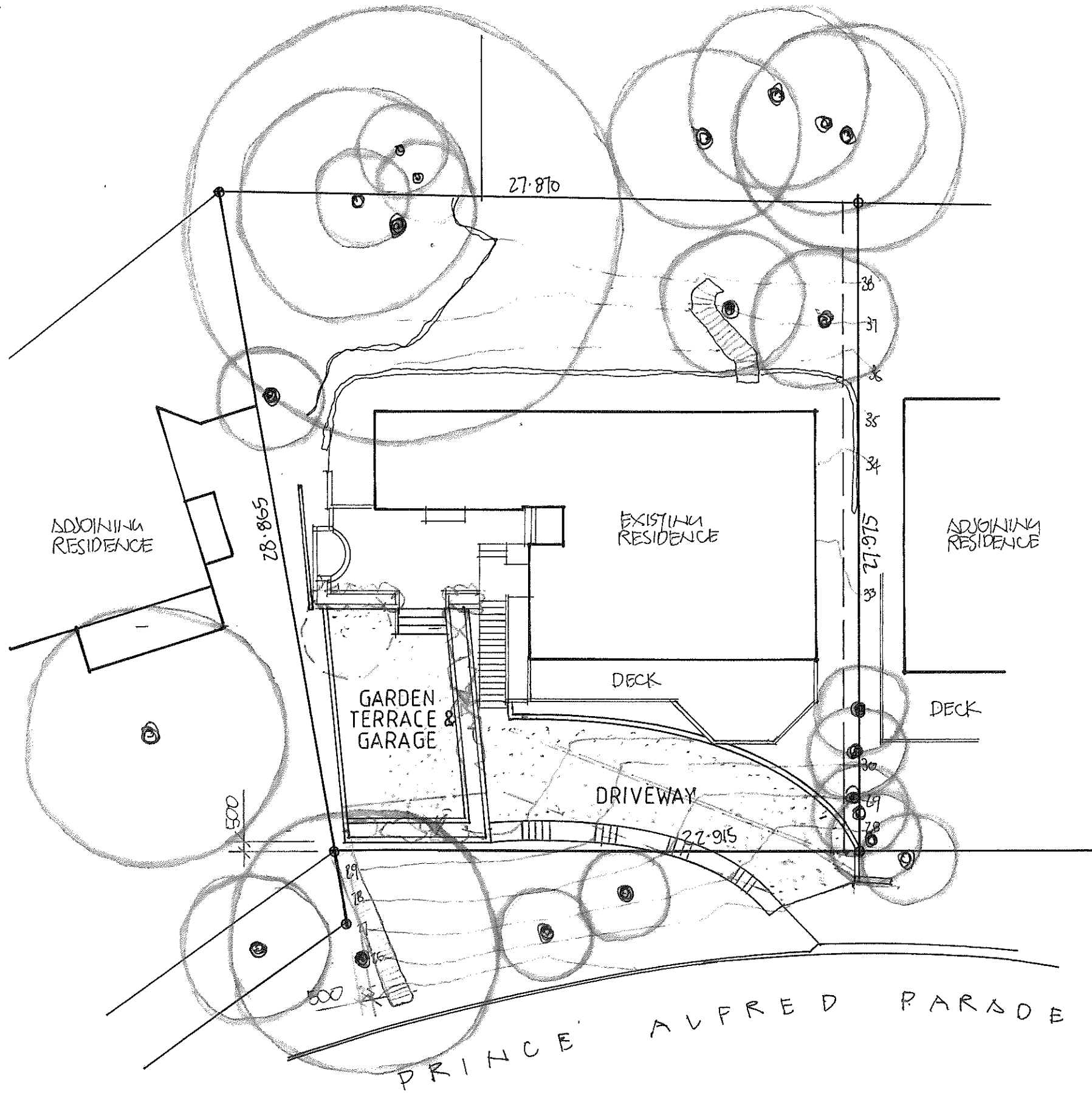


DEVELOPMENT CALCULATIONS		
SITE AREA	715.60 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
RESIDENCE ROOF	165.96	165.96
DRIVEWAY	32.20	51.60
TERRACE & STAIRS	47.00	47.00
DECK	31.68	31.68
CARPORT	44.80	
TOTAL HARD SURFACE	320.64 (61.20%)	296.24 (41.40%)
INCLUDING THE 6% VARIATION (42.94SQM)		
(FOR UNCOVERED DECK & PAVING OUTDOOR RECREATIONAL SPACE)		
TOTAL LANDSCAPING	437.90 (61.20%)	462.30 (64.60%)



- NOTES:
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
  2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

**SITE PLAN**  
LOT 6 IN D.P. 30521

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.  
 2. All dimensions that relate to site boundaries and assessments are subject to verification by a site survey.  
 3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.  
 4. All timber construction to be in accordance with the "TIMBER FRAMING" code.  
 5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.  
 6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.  
 7. All electrical power & light outlets to be determined by owner.  
 8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

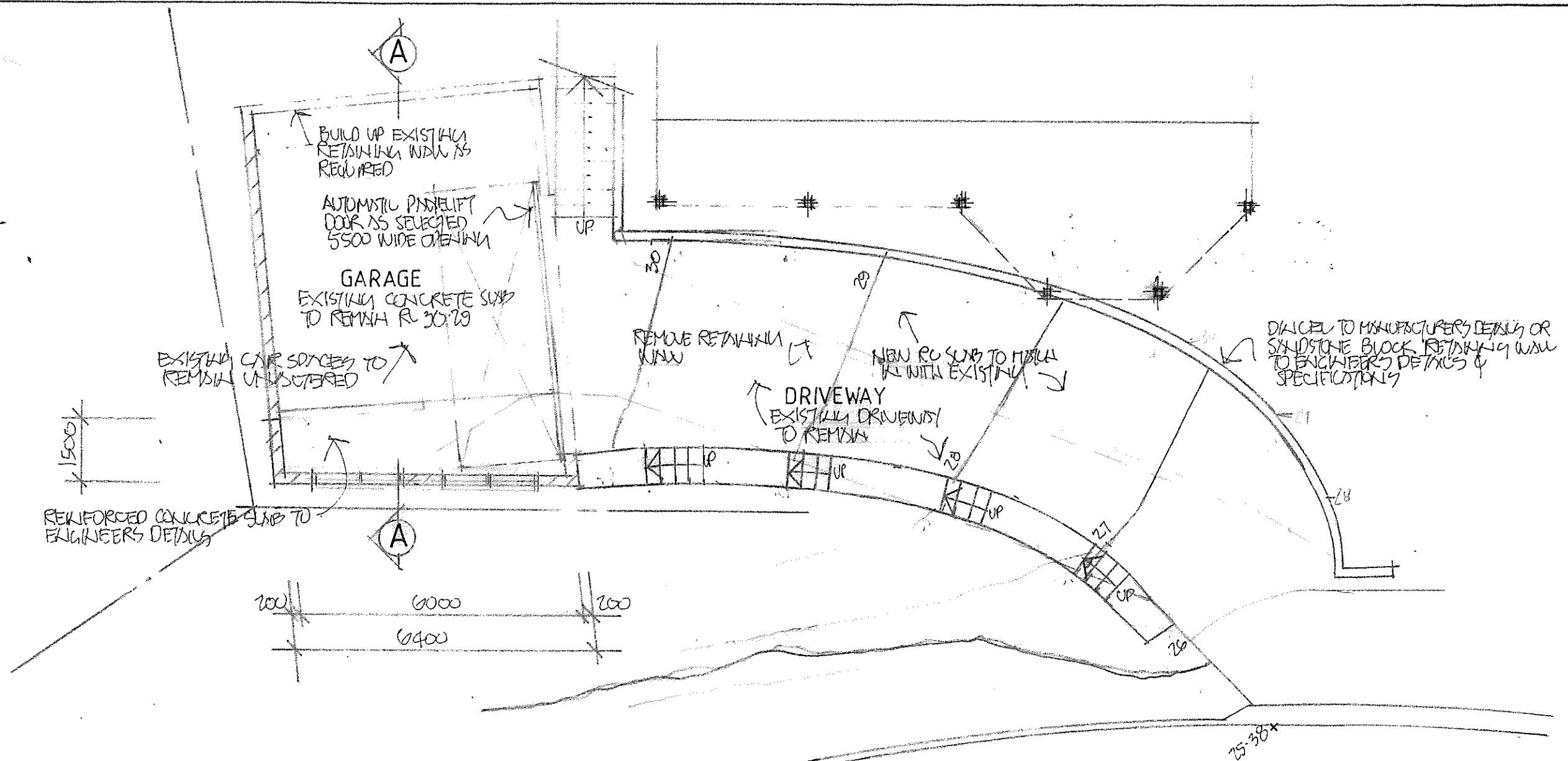
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 J.D. EVANS and COMPANY PTY. LTD.  
 BUILDING DESIGN CONSULTANTS  
 14 AVONDALE AVE. AVALON BEACH, NSW

No.	AMENDMENT	DATE
1	DRIVEWAY PATH ALTERED	8-9

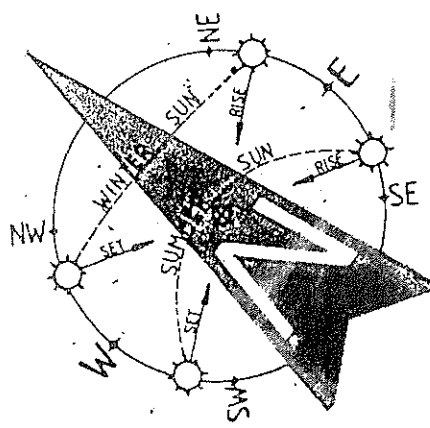
**J.D. EVANS and COMPANY**  
 DESIGN AND BUILDING CONSULTANTS  
 NO. 5 ELAINE AVENUE, AVALON BEACH 2107  
 EMAIL: JDECO.AVALON@GMAIL.COM  
 MOBILE: 0418 976 552

PROJECT  
**PROPOSED TERRACE & GARAGE**  
 No. 35 PRINCE ALFRED PARADE  
 NEWPORT N. S. W. 21067  
 CLIENT  
 JOHN, KATY, JAMIE & DAMIEN MARASOVIC

DATE: 12/9/2016	SCALE: 1:200
DRAWN: JDE	CHECKED:
DRAWING No. 1844-1	ISSUE:



# GARAGE & DRIVEWAY FLOOR PLAN



- NOTES:**
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
  2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.  
 2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.  
 3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.  
 4. All timber construction to be in accordance with the "TASER FRAMEWORK" code.  
 5. Any detailing in addition to what is specified shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.  
 6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.  
 7. All electrical power & light outlets to be determined by owner.  
 8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

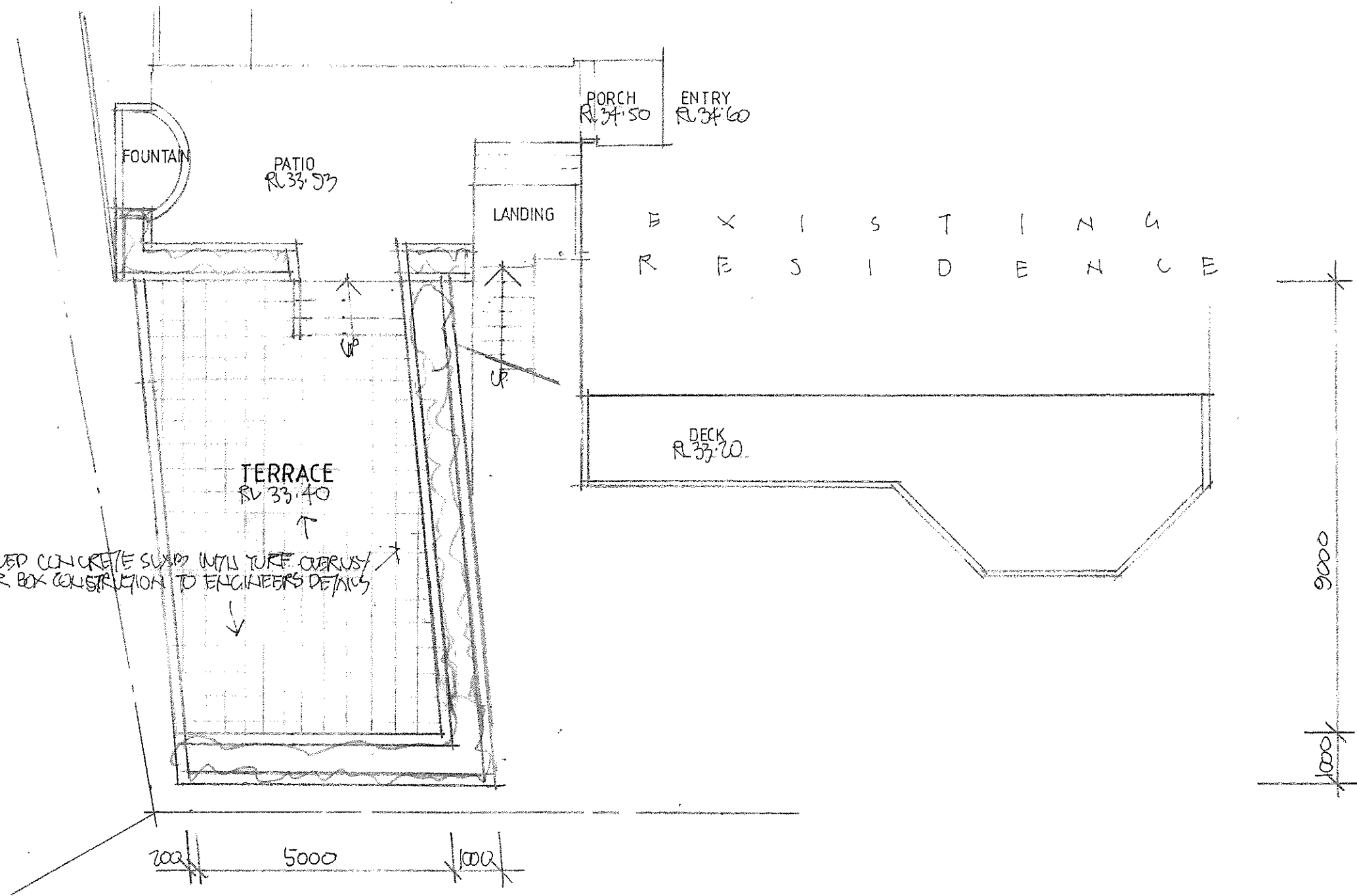
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 J.D. EVANS and COMPANY PTY. LTD.  
 BUILDING DESIGN CONSULTANTS  
 24 RIVERINA AVE, AVALON BEACH, NSW

No.	AMENDMENT	DATE
1	DRIVEWAY PATH ALTERED	8-9

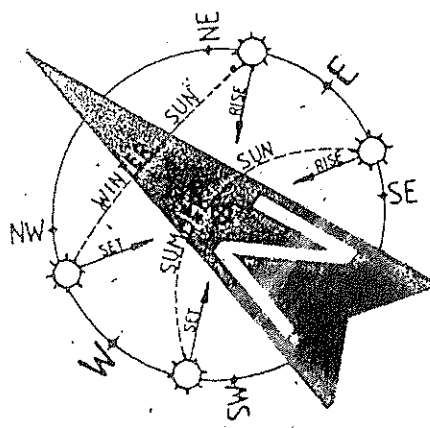
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 NO. 3 ELAINE AVENUE, AVALON BEACH 2107  
 EMAIL: JDECO.AVALON@GMAIL.COM  
 MOBILE: 0415 976 596

**PROJECT**  
 PROPOSED TERRACE & GARAGE  
 No. 35 PRINCE ALFRED PARADE  
 NEWPORT N. S. W. 21067  
 CLIENT  
 JOHN, KATY, JAMIE & DAMIEN MARASOVIC

DATE	12/19/2016	SCALE	1:100
DRAWN	JDE	CHECKED	
DRAWING No.	1844-2		



# TERRACE FLOOR PLAN



- NOTES:**
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
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 5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.  
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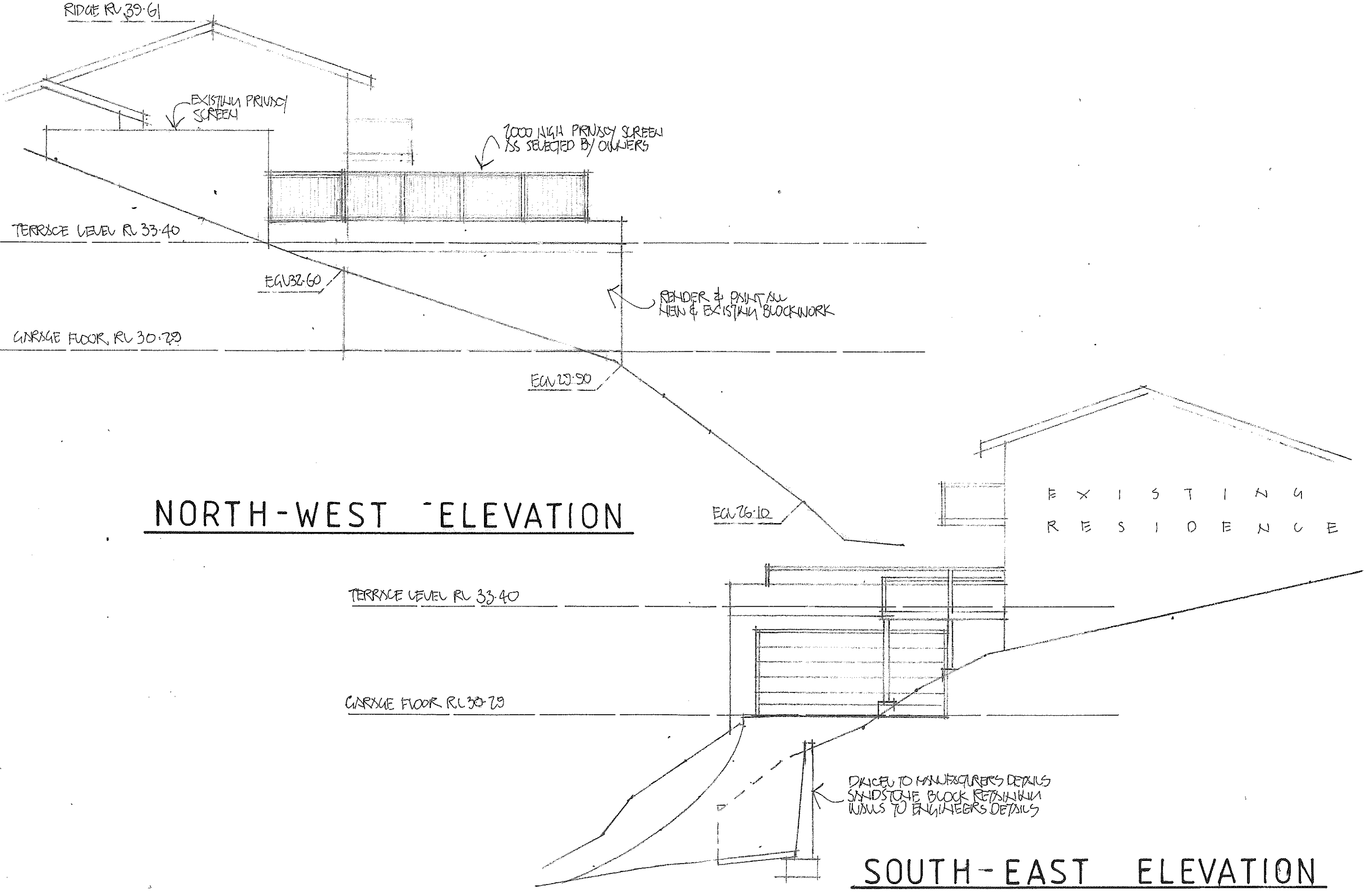
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 BUILDING DESIGN CONSULTANTS  
 14 RIVERINA AVE, AVALON BEACH, NSW

No.	AMENDMENT	DATE
1	AS PER PLAN	8-5

**J.D. EVANS and COMPANY**  
 DESIGN AND BUILDING CONSULTANTS  
 NO. 5 ELAINE AVENUE, AVALON BEACH 2107  
 EMAIL JDECO.AVALON@GMAIL.COM  
 MOBILE 0418 976 596

**PROJECT**  
 PROPOSED TERRACE & GARAGE  
 No. 35 PRINCE ALFRED PARADE  
 NEWPORT N. S. W. 21067  
 CLIENT  
 JOHN, KATY, JAMIE & DAMIEN MARASOVIC

DATE 12/9/2016	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1844-3	IS/UP



**NORTH-WEST ELEVATION**

E X I S T I N G  
R E S I D E N C E

**SOUTH-EAST ELEVATION**

- 1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
- 2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
- 3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
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- 7. All electrical power & light outlets to be determined by owner.
- 8. Make good and repair of existing finishes damaged by new work. Reuse existing materials where possible.

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BUILDING DESIGN CONSULTANTS  
14 BIVIERA AVE, AVALON BEACH, 2107

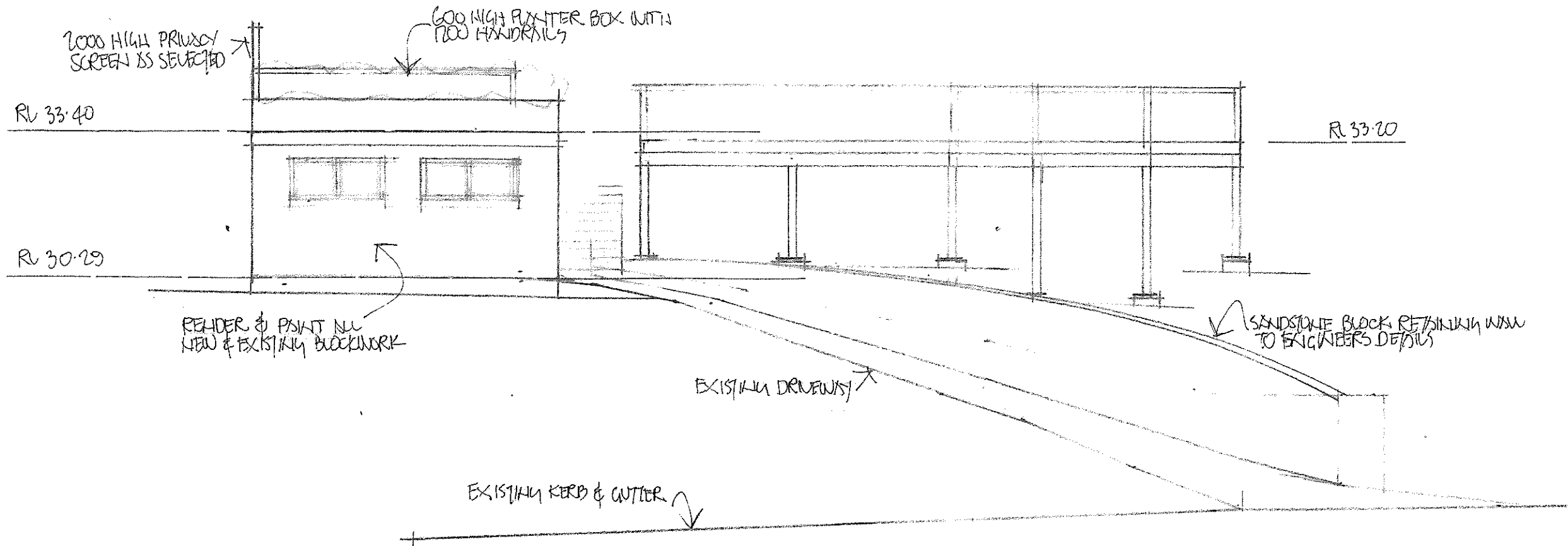
NO.	AMENDMENT	DATE
1	REVISED/REDESIGNED	8-9



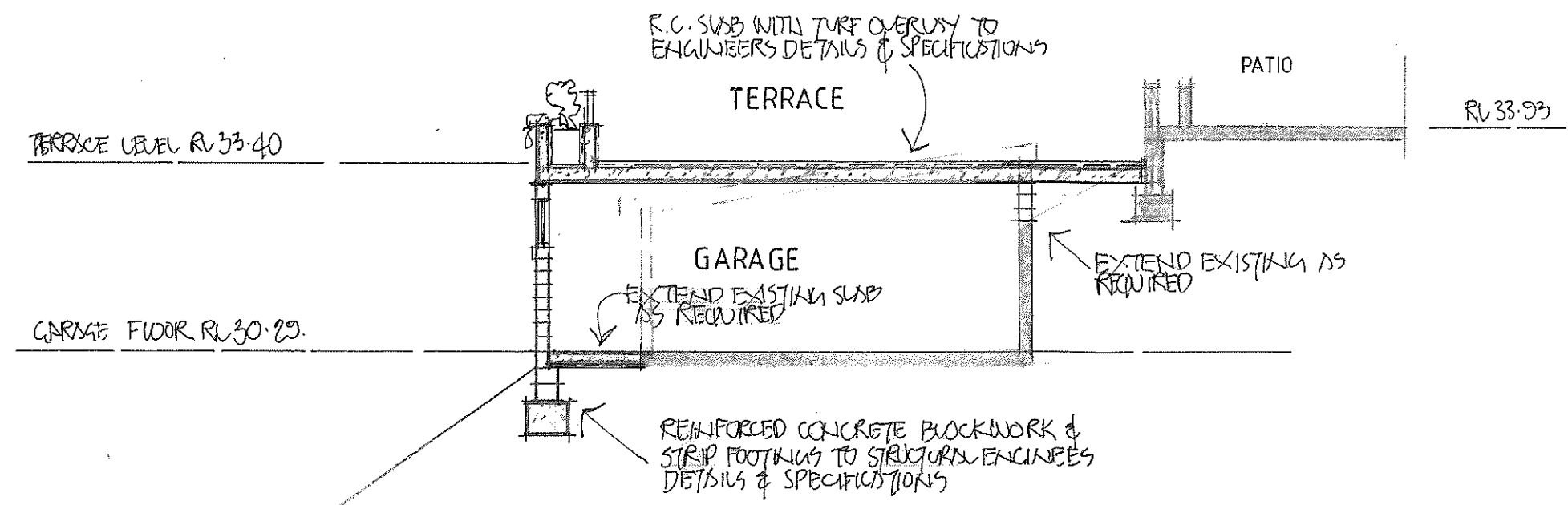
**J.D. EVANS and COMPANY**  
DESIGN AND BUILDING CONSULTANTS  
NO. 5 ELAINE AVENUE, AVALON BEACH 2107  
EMAIL JDECO.AVALON@GMAIL.COM  
MOBILE 0418 976 596

**PROJECT**  
PROPOSED TERRACE & GARAGE  
NO. 35 PRINCE ALFRED PARADE  
NEWPORT N. S. W. 21067  
CLIENT  
JOHN, KATY, JAMIE & DAMIEN MARASOVIC

DATE 12/9/2016	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1844-4	ISSUED



## SOUTH-WEST ELEVATION



## SECTION A - A

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
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 J.D. EVANS and COMPANY PTY. LTD.  
 BUILDING DESIGN CONSULTANTS  
 11 BIVIERA AVZ, AVALON BEACH, QLD

No.	AMENDMENT
1	DATE

**J.D. EVANS and COMPANY**  
 DESIGN AND BUILDING CONSULTANTS  
 NO. 5 ELAINE AVENUE, AVALON BEACH 2107  
 EMAIL JDECC.AVALON@GMAIL.COM  
 MOBILE 0418 976 596

**PROJECT**  
 PROPOSED TERRACE & GARAGE  
 No. 35 PRINCE ALFRED PARADE  
 NEWPORT N. S. W. 21067  
 CLIENT  
 JOHN, KATY, JAMIE & DAMIEN MARASOVIC

DATE 12/9/2016	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1844-5	
ISSUED	