

1102 BARRENJOEY ROAD, PALM BEACH

DA APPLICATION - PALM BEACH APARTMENTS

ARCHITECTURAL DRAWING LIST			
Sheet No.	Sheet Name	Current Rev.	Current Revision Date
DA.00	COVER PAGE	C	08.03.23
DA.01	SITE PLAN ANALYSIS	C	08.03.23
DA.02a	MASSING HEIGHT CONTROL	C	08.03.23
DA.02b	MASSING DCP CONTROL	C	08.03.23
DA.02c	MASSING EXISTING HEIGHT CONTROL	B	08.03.23
DA.03	DEMOLITION PLAN	C	08.03.23
DA.04	PROPOSED NEW SUBSTATION LOCATION	B	08.03.23
DA.04.1	PROPOSED SITE PLAN / ROOF PLAN	C	08.03.23
DA.05	PROPOSED BASEMENT PLAN	C	08.03.23

ARCHITECTURAL DRAWING LIST			
Sheet No.	Sheet Name	Current Rev.	Current Revision Date
DA.06	PROPOSED GROUND FLOOR PLAN	D	08.03.23
DA.07	PROPOSED FIRST FLOOR PLAN	C	08.03.23
DA.08	PROPOSED SECOND FLOOR PLAN	C	08.03.23
DA.10	PROPOSED WEST ELEVATION	C	08.03.23
DA.11	PROPOSED ELEVATION - NORTH, SOUTH & EAST	C	08.03.23
DA.15	SECTIONS	C	08.03.23
DA.16	SECTIONS	C	08.03.23
DA.50	SHADOW STUDIES_ 9AM 21ST JUNE	C	08.03.23
DA.50.B	SHADOW STUDIES_ 9AM 21ST JUNE	C	08.03.23

ARCHITECTURAL DRAWING LIST			
Sheet No.	Sheet Name	Current Rev.	Current Revision Date
DA.51	SHADOW STUDIES_ 12PM 21ST JUNE	C	08.03.23
DA.51.B	SHADOW STUDIES_ 12PM 21ST JUNE	C	08.03.23
DA.52	SHADOW STUDIES_ 3PM 21ST JUNE	C	08.03.23
DA.52.B	SHADOW STUDIES_ 3PM 21ST JUNE	C	08.03.23
DA.60	MATERIALS AND FINISHES	C	08.03.23
DA.70	GFA & LANDSCAPE CALCULATIONS	C	08.03.23
DA.72	SOLAR ACCESS ANALYSIS - PROPOSED	C	08.03.23
DA.73	OVERLOOKING ANALYSIS	C	08.03.23
DA.74	NATURAL VENTILATION DIAGRAMS & ADAPTABLE HOUSING	C	08.03.23



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REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22
C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

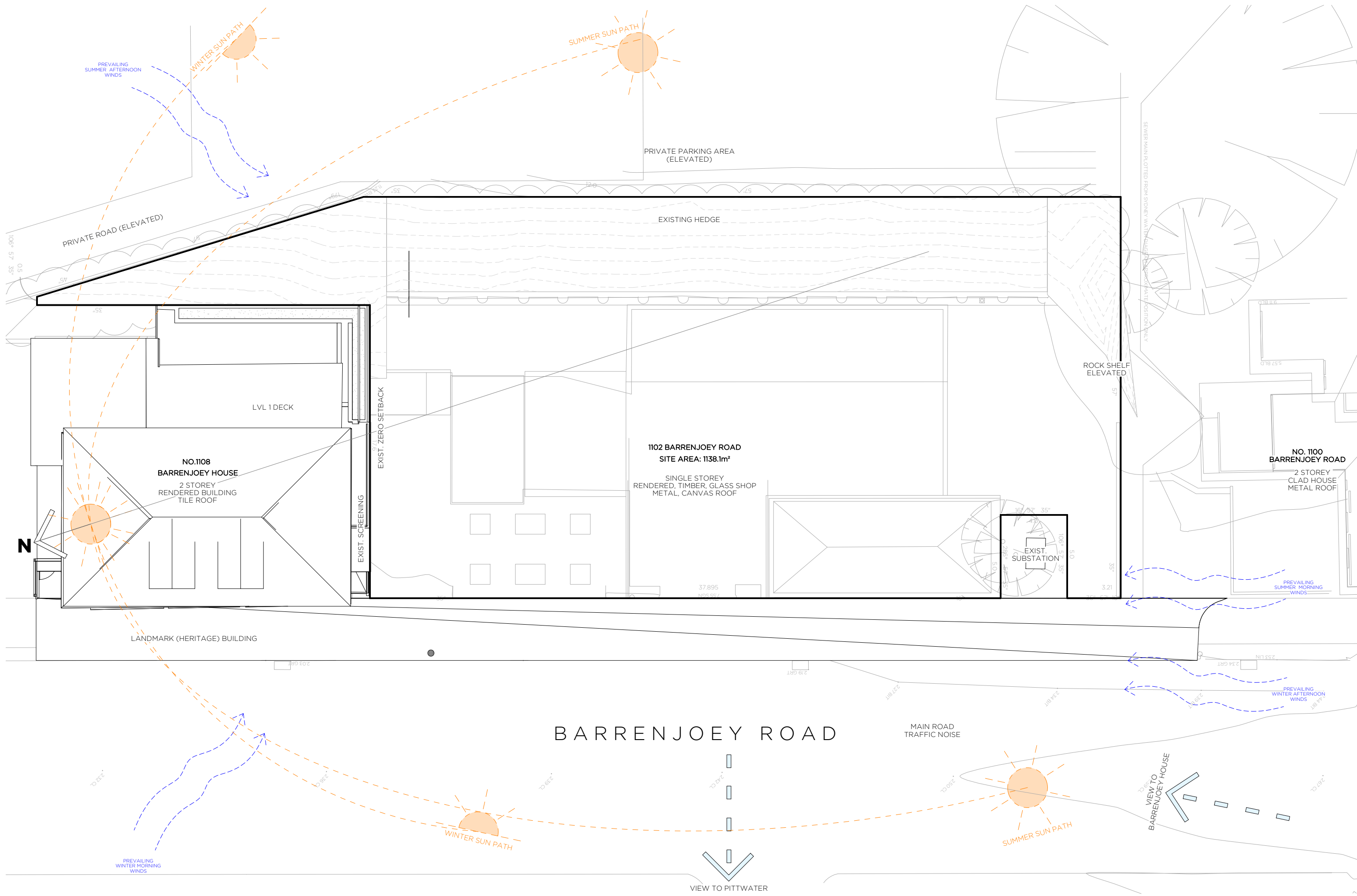
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PROJECT OVERVIEW			
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Job No.	2006	Scale.	@ A1
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 1/10 Grattan Street
 Prahran VIC 3181
 +613 9525 2406

Sydney Office.
 3/34 Kellett Street
 Potts Point NSW 2011
 +612 9188 7851



BARRENJOEY ROAD

VIEW TO PITTPATER

VIEW TO BARRENJOEY HOUSE

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PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SITE PLAN ANALYSIS
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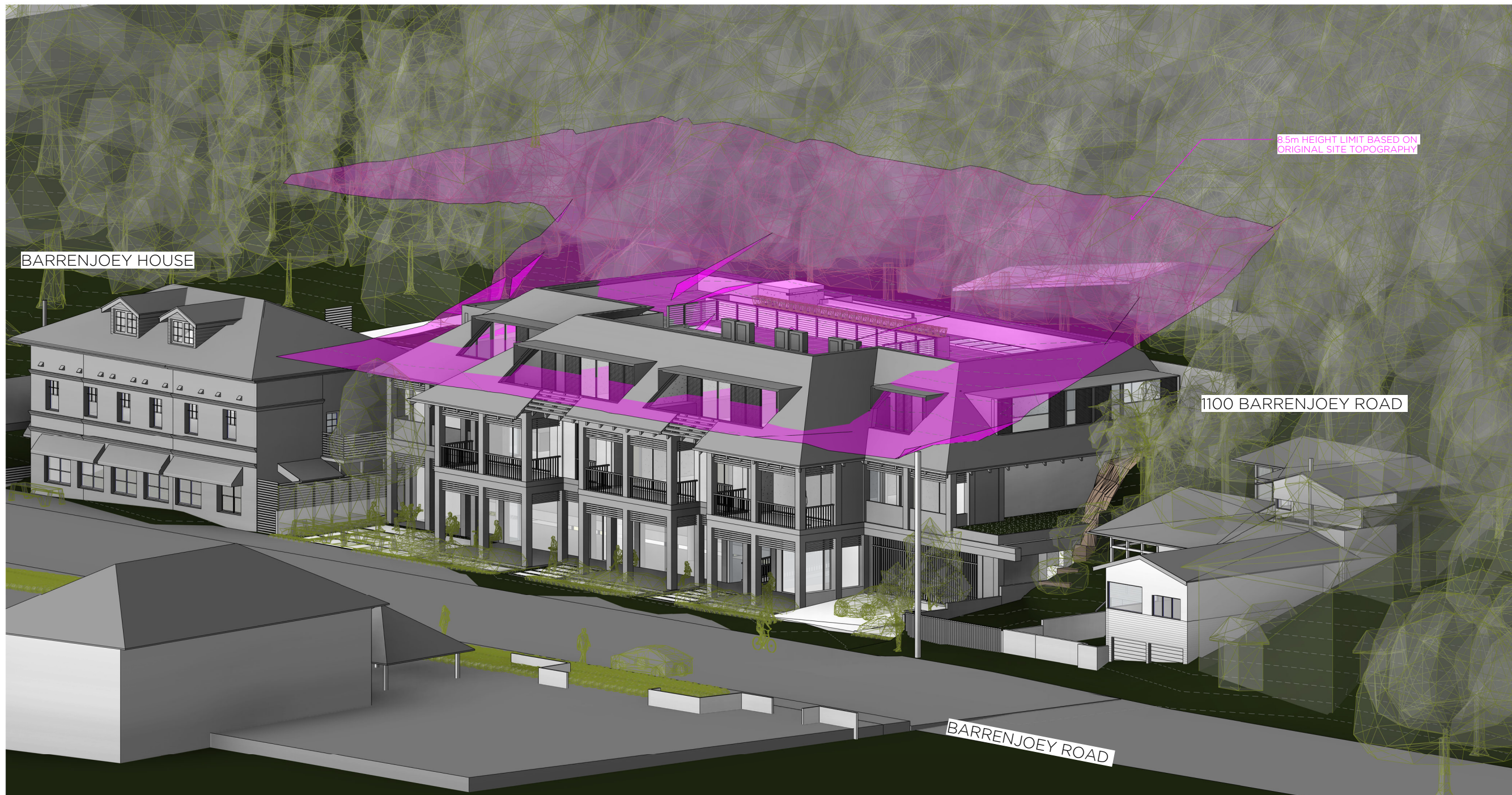
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Melbourne Office.
 1/10 Grattan Street
 Prahran VIC 3181
 +613 9525 2406

Sydney Office.
 3/34 Kellett Street
 Potts Point NSW 2011
 +612 9188 7851



3.5m HEIGHT LIMIT BASED ON ORIGINAL SITE TOPOGRAPHY

BARRENJOEY HOUSE

1100 BARRENJOEY ROAD

BARRENJOEY ROAD

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PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
MASSING HEIGHT CONTROL

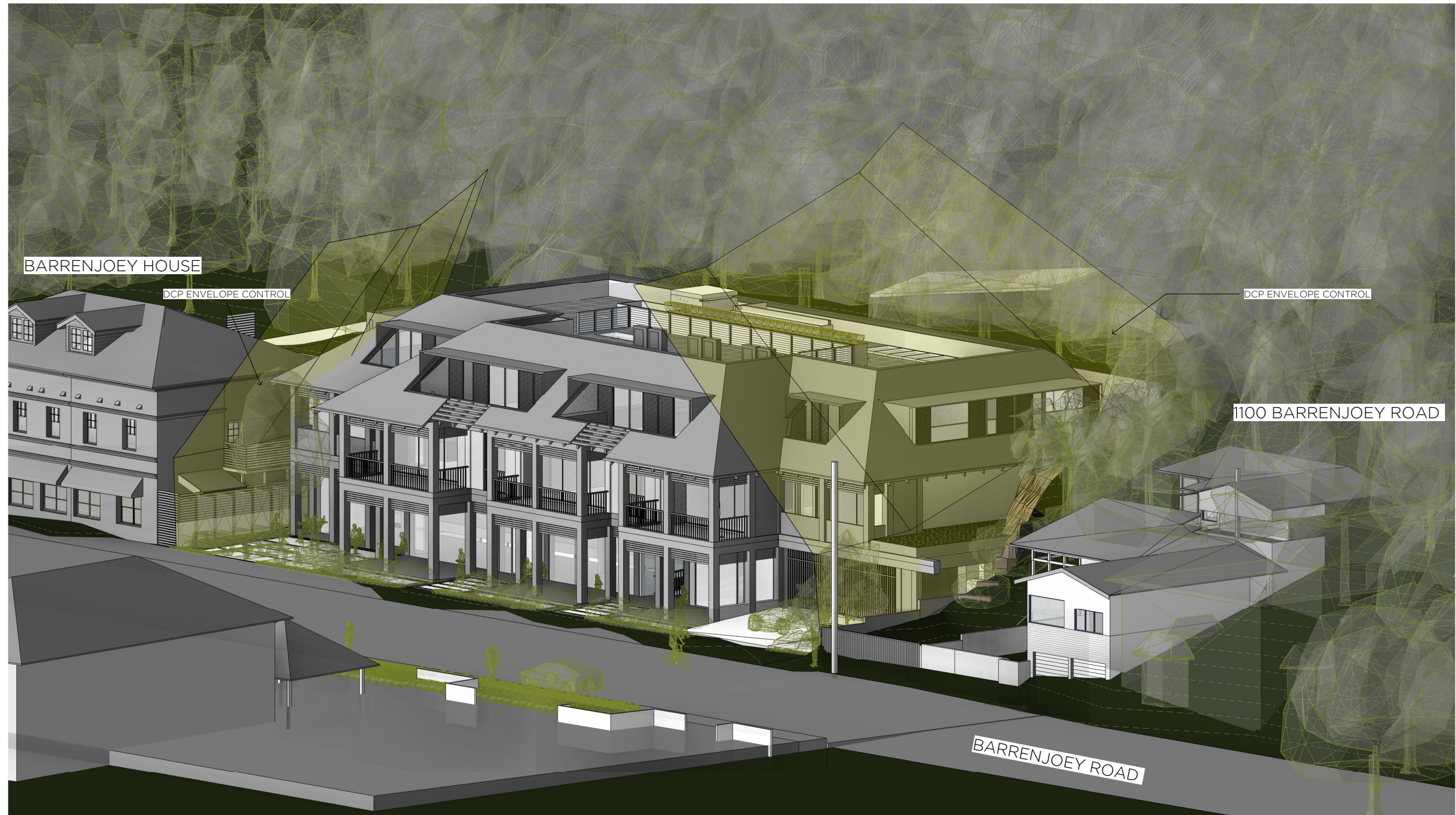
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 1/10 Grattan Street
 Prahran VIC 3181
 +613 9525 2406

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 3/34 Kellest Street
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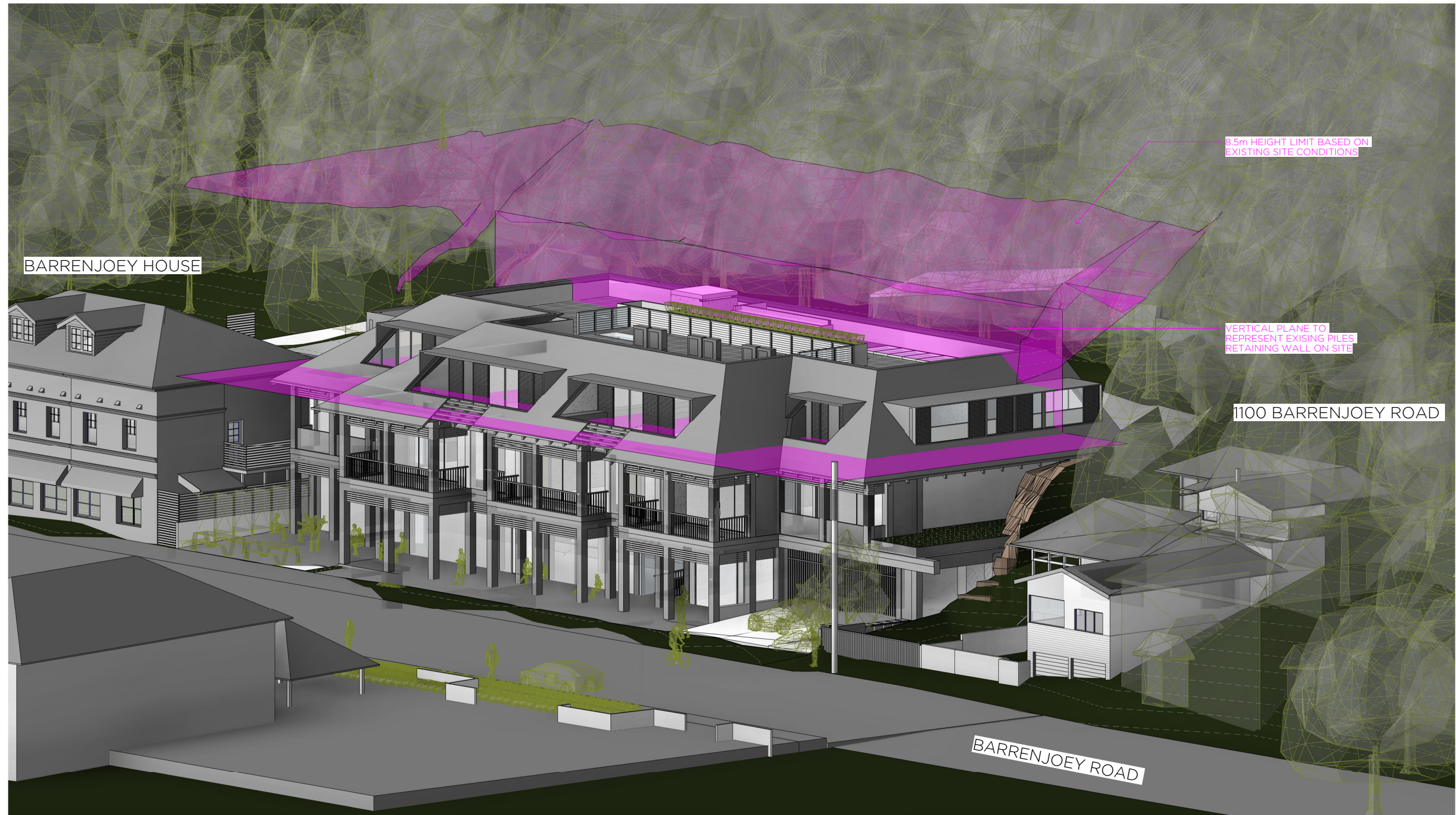
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MASSING DCP CONTROL

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
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 Prahran VIC 3181
 +613 9525 2406

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 3/34 Kellest Street
 Potts Point NSW 2011
 +612 9188 7851



BARRENJOEY HOUSE

8.5m HEIGHT LIMIT BASED ON EXISTING SITE CONDITIONS

VERTICAL PLANE TO REPRESENT EXISING PILES RETAINING WALL ON SITE

1100 BARRENJOEY ROAD

BARRENJOEY ROAD

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PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
MASSING EXISTING HEIGHT CONTROL

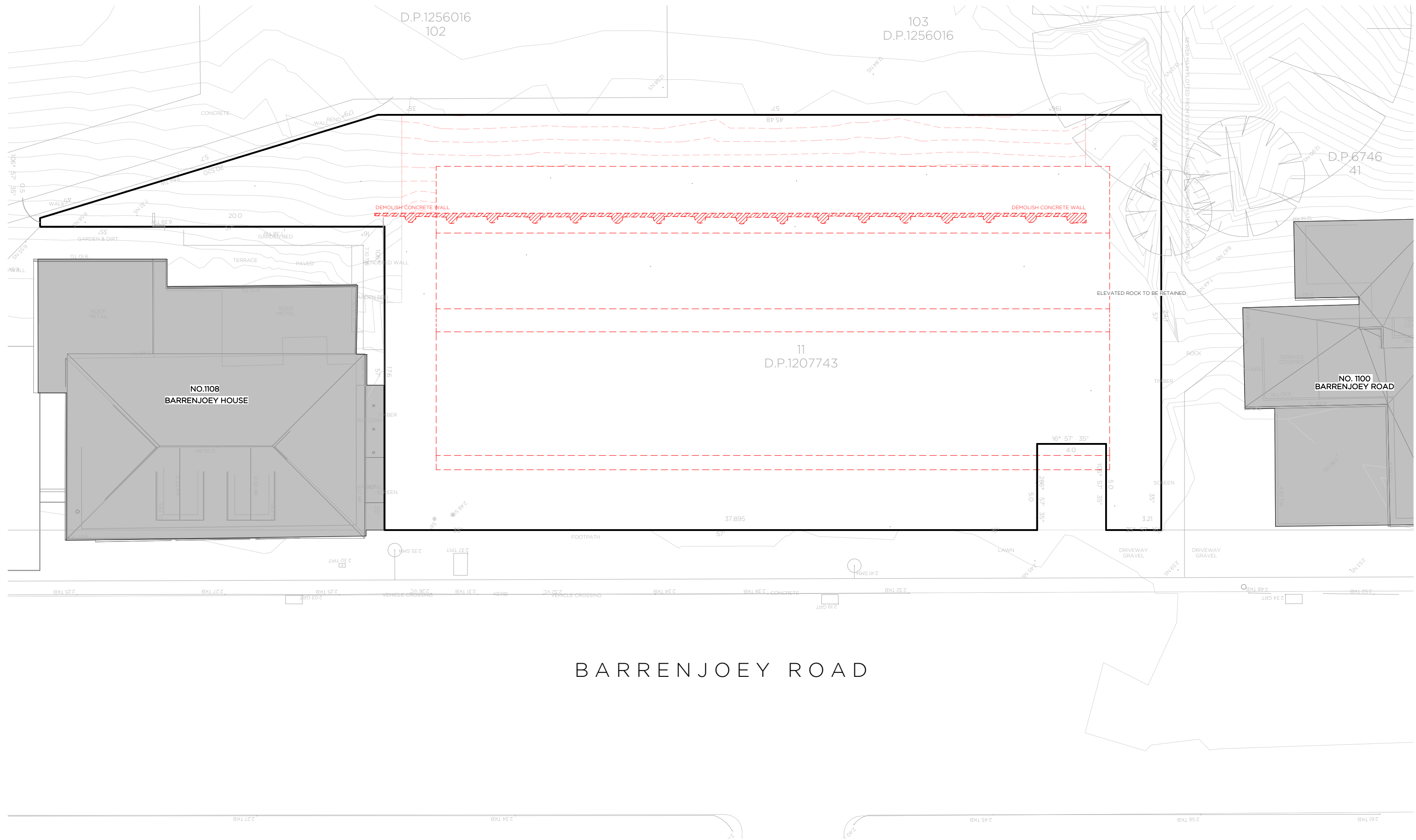
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S4.55(2) MODIFICATION APPLICATION
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 1/10 Grattan Street
 Prahran VIC 3181
 +613 9525 2406

Sydney Office.
 3/34 Kellest Street
 Potts Point NSW 2011
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BARRENJOEY ROAD

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PALM BEACH APARTMENTS
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 1102 BARRENJOEY ROAD, PALM BEACH

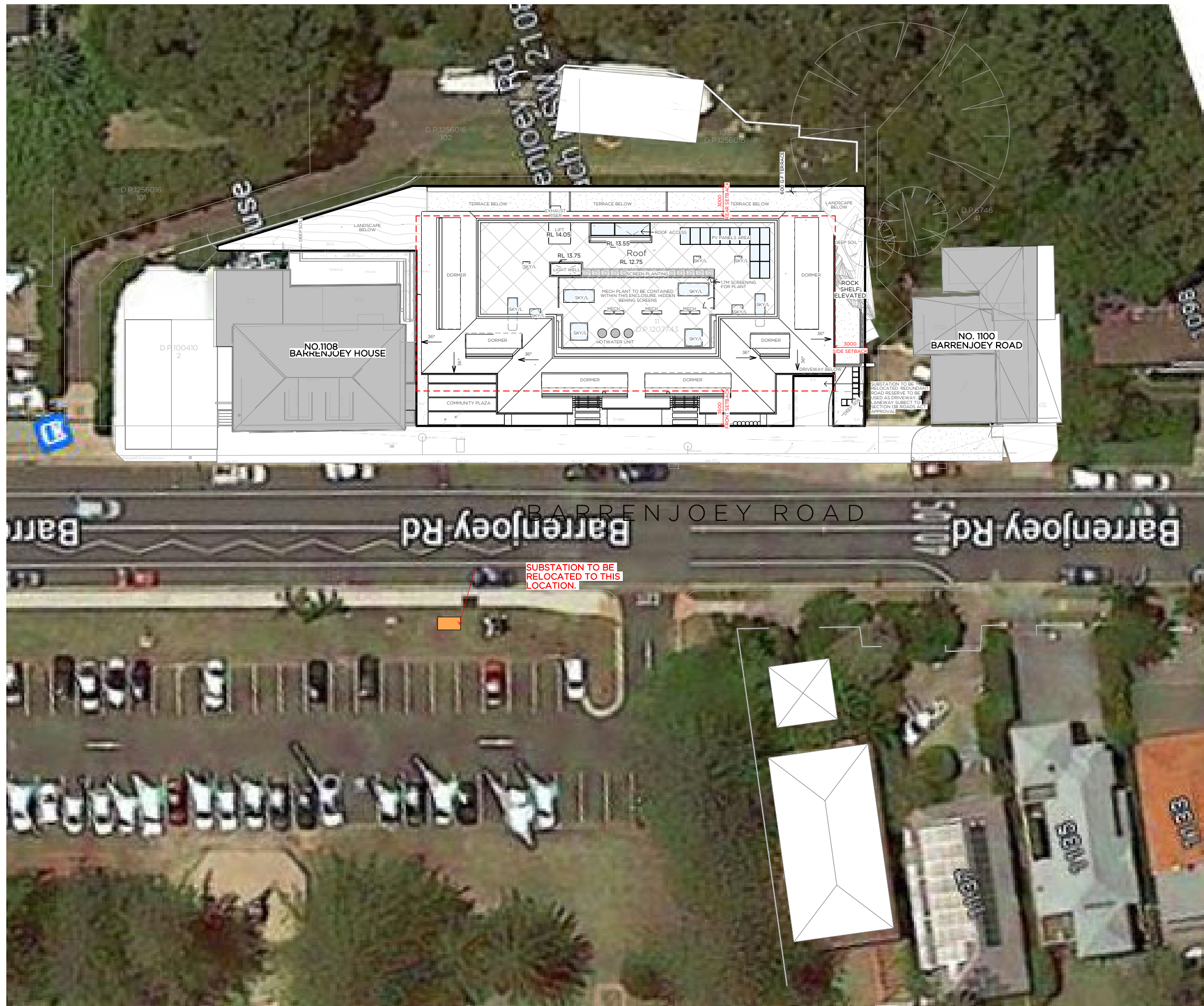


PROJECT OVERVIEW
DEVELOPMENT APPLICATION
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 Prahran VIC 3181
 +613 9525 2406

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 3/34 Kellest Street
 Potts Point NSW 2011
 +612 9188 7851



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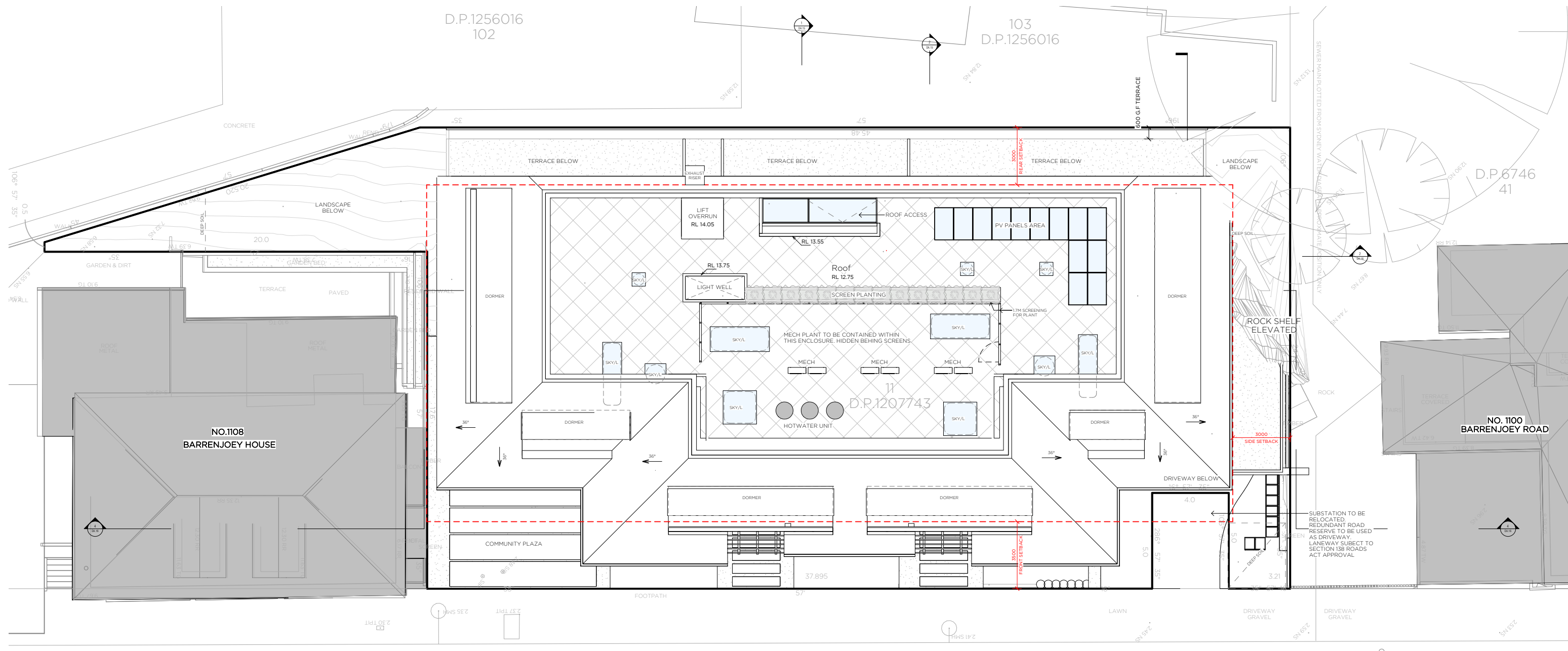
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PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED NEW SUBSTATION LOCATION

PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
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Job No.	2006	Scale.	1: 200 @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	08.03.23	DA.04	C



BARRENJOEY ROAD

BASIC COMMITMENTS

THERMAL COMFORT

Element	Requirement	Comment
External walls	Concrete Block, R-Value 0.15	See Table 1
Internal walls	Plasterboard	See Table 1
Floor slabs	Concrete Block, R-Value 0.15	See Table 1
Roof	Concrete Block, R-Value 0.15	See Table 1
Windows	6 Star Performance Rating	See Table 1
Doors	4 Star Performance Rating	See Table 1
Lighting	LED lighting	See Table 1
Roof	Concrete Block, R-Value 0.15	See Table 1
Internal walls	Plasterboard	See Table 1
Floor slabs	Concrete Block, R-Value 0.15	See Table 1
Roof	Concrete Block, R-Value 0.15	See Table 1

ENERGY COMMITMENTS

System	Requirement	Comment
Hot Water System	Individual MHR below	See Table 1
Lifts	All lifts to use GreenStar traction with VVVF motor servicing all levels	See Table 1
Garage	Car park Ventilation (supply & exhaust) with a CO monitor & VCO fan	See Table 1
Plant/Service Rooms	Plant/Service Rooms: Ventilation (supply & exhaust) with thermostatically controlled fans	See Table 1
Lighting	LED lighting	See Table 1
Alternative Power Sources	See Table 1	See Table 1
Hot Water System	Individual Hot Water System with 5 Stars Rating	See Table 1
Roof	Concrete Block, R-Value 0.15	See Table 1
Internal walls	Plasterboard	See Table 1
Floor slabs	Concrete Block, R-Value 0.15	See Table 1
Roof	Concrete Block, R-Value 0.15	See Table 1

WATER COMMITMENTS

Area of Indication or Control Systems	Requirement	Comment
Area of Indication or Control Systems	See Table 1	See Table 1
Rainwater collection	4,000L rainwater tank	See Table 1
Fire Sprinklers	4 Star (Water Rating) Inlets	See Table 1
Fire Extinguishers	See Table 1	See Table 1
Fire Alarms	See Table 1	See Table 1
Fire Staircases	See Table 1	See Table 1
Fire Lifts	See Table 1	See Table 1
Fire Escapes	See Table 1	See Table 1
Fire Staircases	See Table 1	See Table 1
Fire Lifts	See Table 1	See Table 1
Fire Escapes	See Table 1	See Table 1

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REV	NOTES	DATE
A <td>Development Application</td> <td>24.02.22</td>	Development Application	24.02.22
B <td>Revision 2</td> <td>12.09.22</td>	Revision 2	12.09.22
C <td>Panel meeting comment</td> <td>08.03.23</td>	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED SITE PLAN / ROOF PLAN

Scale: 1:100 @ A1

0 1 5m

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes

Job No. 2006
Scale. 1:100 @ A1

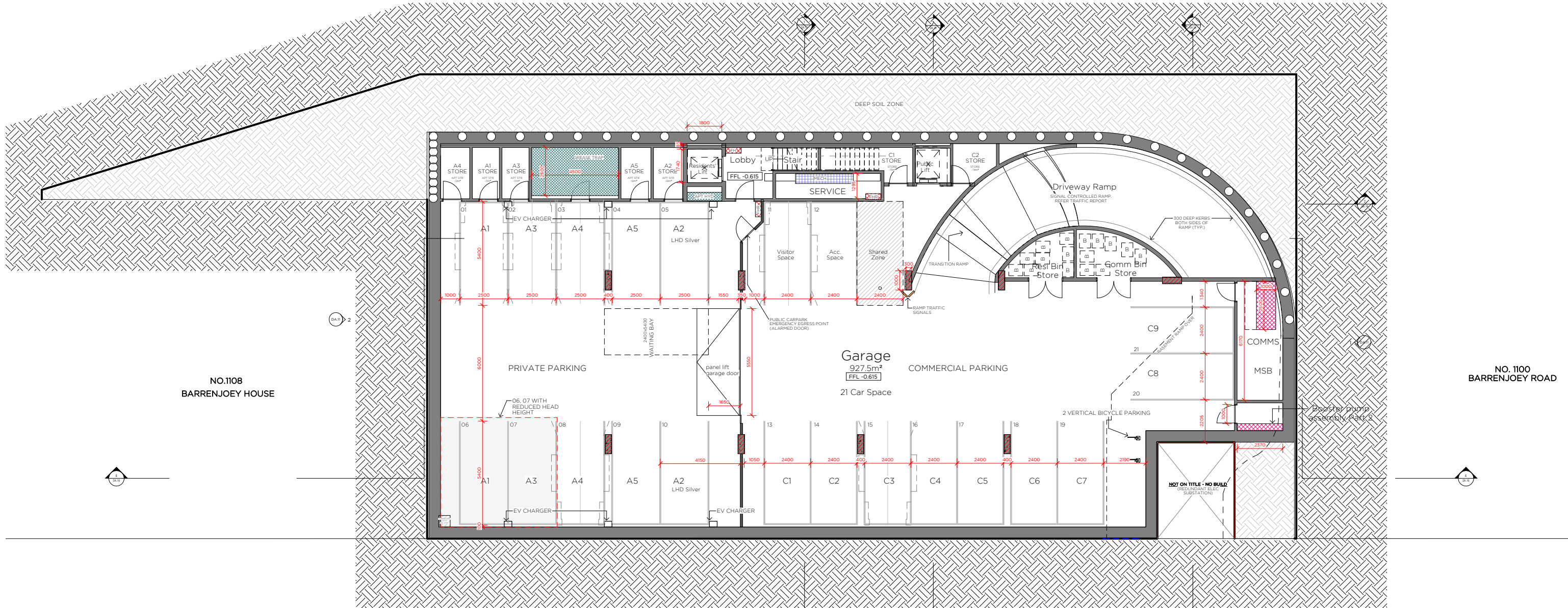
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Rob Mills Architecture & Interiors

Melbourne Office.
1/10 Grattan Street
Prahran VIC 3181
+612 9525 2406

Sydney Office.
3/34 Kelleet Street
Potts Point NSW 2011
+612 9188 7851



BASIC COMMITMENTS

THERMAL COMFORT

Element	Requirement	Design	Compliance
External walls	Concrete Block, R=0.15	Lightweight concrete blockwork R=0.15	Compliant
Internal walls	Plasterboard	Plasterboard	Compliant
External roofs	Concrete Block, R=0.15	Concrete Block, R=0.15	Compliant
Internal roofs	Concrete Block, R=0.15	Concrete Block, R=0.15	Compliant
Windows	U=1.8 Performance glazing	U=1.8 Performance glazing	Compliant
Doors	U=1.8 Performance glazing	U=1.8 Performance glazing	Compliant
Floors	Concrete	Concrete	Compliant

ENERGY COMMITMENTS

System	Requirement	Design	Compliance
Hot Water System	Individual MHR below	Individual MHR below	Compliant
Lifts	All lifts to use Gearless traction with VVVF motor servicing all levels	All lifts to use Gearless traction with VVVF motor servicing all levels	Compliant
Lighting	U=1.8 Performance glazing	U=1.8 Performance glazing	Compliant
Alternative Energy	U=1.8 Performance glazing	U=1.8 Performance glazing	Compliant
Hot Water System	Individual MHR below	Individual MHR below	Compliant
Lighting	U=1.8 Performance glazing	U=1.8 Performance glazing	Compliant
Hot Water System	Individual MHR below	Individual MHR below	Compliant
Lighting	U=1.8 Performance glazing	U=1.8 Performance glazing	Compliant

WATER COMMITMENTS

System	Requirement	Design	Compliance
Area of Indigence or low water supply	Please refer to Appendix B	Please refer to Appendix B	Compliant
Rainwater collection	4,000L rainwater tank	4,000L rainwater tank	Compliant
Fire Sprinkler	Test water to be diverted to a closed system	Test water to be diverted to a closed system	Compliant
Private Dwellings	4-star (Water Rating) hotwater	4-star (Water Rating) hotwater	Compliant
Fixtures for apartments	4-star (Water Rating) hotwater	4-star (Water Rating) hotwater	Compliant

BARRENJOEY ROAD

REV	NOTES	DATE
A	Development Application	24.02.22
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C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED BASEMENT PLAN

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
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Job No.	2006	Scale.	1:100 @ A1
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Rev Date.	08.03.23	DA.05	C

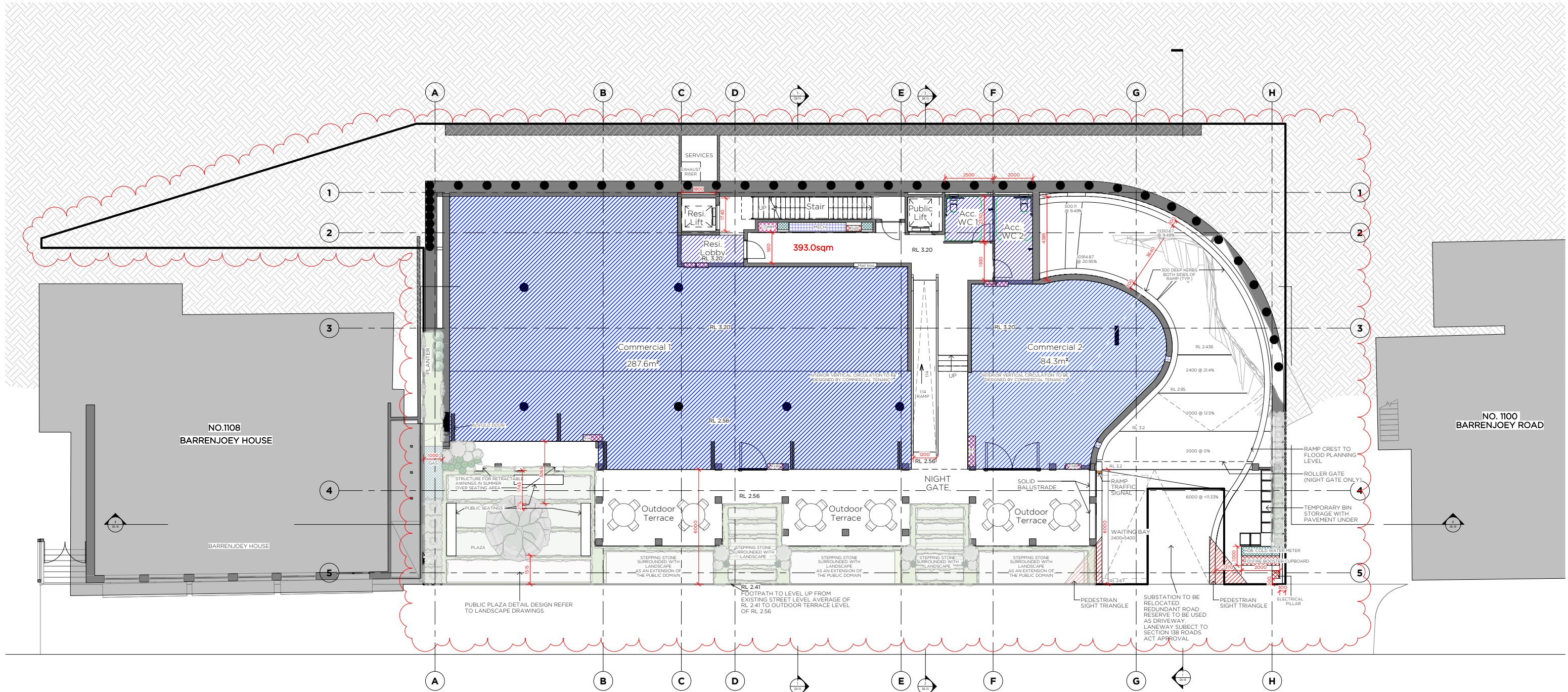


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BASIC COMMITMENTS

THERMAL COMFORT

Element	Requirement	Design	Compliance
External walls	Concrete Block, 200mm	See Table 2	Compliance
Internal walls	Plasterboard	See Table 2	Compliance
Floor slabs	Concrete Block, 100mm	See Table 2	Compliance
Roof	Concrete Slab, 120mm	See Table 2	Compliance
Windows	6 Star Performance Rating	See Table 2	Compliance
Doors	4 Star Performance Rating	See Table 2	Compliance
Lighting	LED lighting with manual on/off switch	See Table 2	Compliance
Plumbing	Water saving devices	See Table 2	Compliance
Electrical	Energy efficient appliances	See Table 2	Compliance

ENERGY COMMITMENTS

System	Requirement	Design	Compliance
Hot Water System	Individual Unit System	See Table 2	Compliance
Ventilation	Mechanical Ventilation with Heat Recovery	See Table 2	Compliance
Lighting	LED lighting with manual on/off switch	See Table 2	Compliance
Plumbing	Water saving devices	See Table 2	Compliance
Electrical	Energy efficient appliances	See Table 2	Compliance

WATER COMMITMENTS

Area of Indication or Control System	Requirement	Design	Compliance
Area of Indication or Control System	Water saving devices	See Table 2	Compliance
Rainwater collection	Water saving devices	See Table 2	Compliance
Water saving devices	Water saving devices	See Table 2	Compliance
Water saving devices	Water saving devices	See Table 2	Compliance

BARRENJOEY ROAD

REV	NOTES	DATE
A <td>Development Application</td> <td>24.02.22</td>	Development Application	24.02.22
B <td>Revision 1</td> <td>27.04.22</td>	Revision 1	27.04.22
C <td>Panel meeting comment</td> <td>08.03.23</td>	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED GROUND FLOOR PLAN

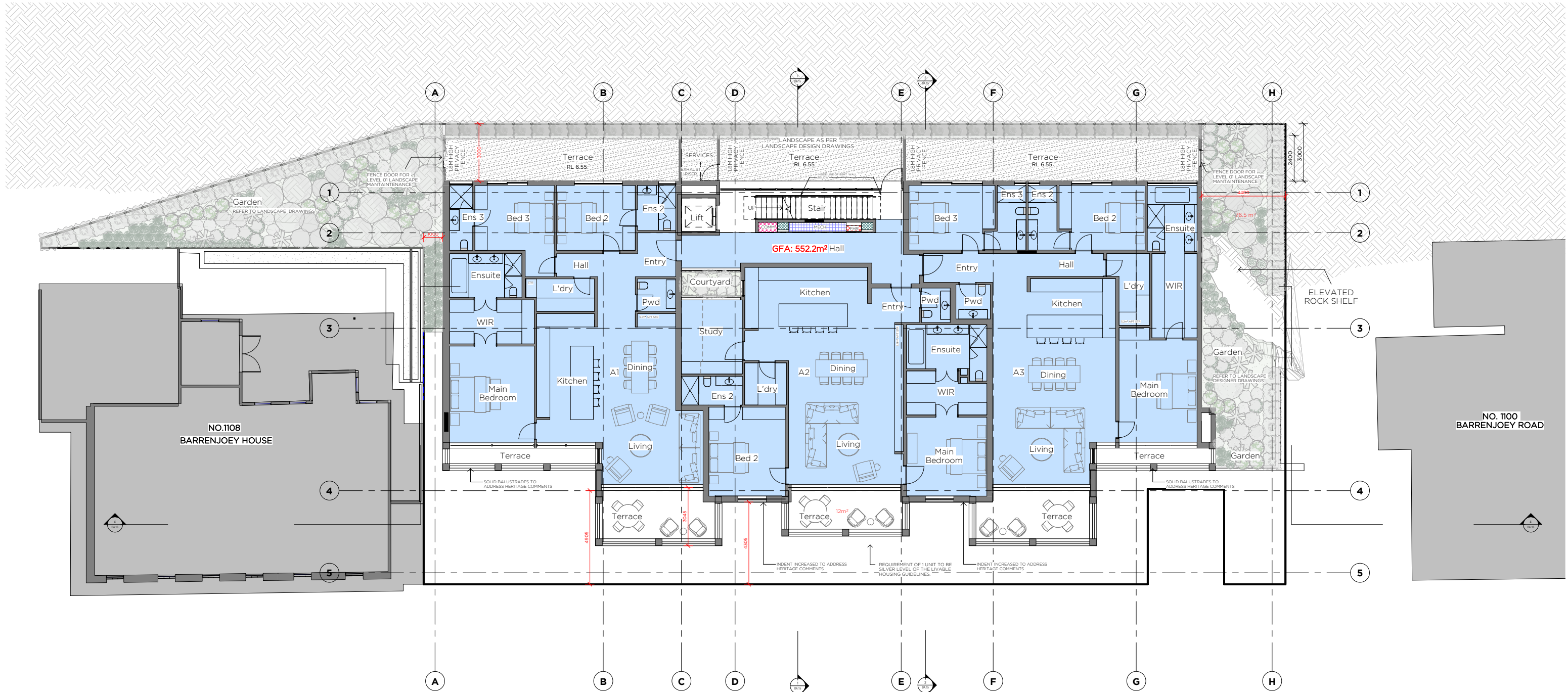
PROJECT OVERVIEW			
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Prahran VIC 3181
+613 9525 2406

Sydney Office:
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BASIC COMMITMENTS

Element	Requirement	Design
External walls	Concrete Block, 200mm	See Table 3
Internal walls	Plasterboard	See Table 3
Floor slabs	Concrete Block, 100mm	See Table 3
Roof	Asph/Flt	See Table 3
Windows	Double Glazed, Low E, 6mm air gap	See Table 3
Doors	Timber or Fibreglass	See Table 3
Stairs	Timber or Fibreglass	See Table 3
Lift	Timber or Fibreglass	See Table 3
Columns	Concrete	See Table 3
Beams	Concrete	See Table 3
Concrete slabs	Concrete	See Table 3
Reinforcement	Steel	See Table 3
Notes:	Only a 40% SHGC reference in the table shall apply & a value can be greater than or equal to the table values.	

ENERGY COMMITMENTS

System	Requirement	Design
Hot Water Systems	Individual HWB below	See Table 3
Lifts	All lifts to use Gearless traction with VVVF motor servicing all floors	See Table 3
Ventilation	Car park: Ventilation (supply & exhaust) with a CO monitor & VSD fan	See Table 3
Lighting	LED Cans LED lighting connected to lift call button	See Table 3
Alternative Energy Supply	Photovoltaic system of minimum rated electrical output of 8.2kW peak	See Table 3
Risk Water Systems	Individual Hotwaterless Gas Hot Water System with 5 Stars Rating	See Table 3
Heating & Cooling	Heating: Living & Beds to have individual 3 star (average zone) 5 phase air conditioning	See Table 3
Cooling	Cooling: Living & Beds to have individual 3 star (average zone) 5 phase air conditioning	See Table 3
Lighting	At least 80% of light fittings (including the main light fitting) in all bedrooms, bathrooms, balconies, bedrooms and living areas to use Fluorescent or LED lights with dual-bulb fittings. Must be daylight dimmed	See Table 3
Other	Gas cook top and electric oven	See Table 3
	Well ventilated ridge space	See Table 3
	Install 4 star (energy rating) dishwasher	See Table 3
	Install 3 star (energy rating) dryer	See Table 3

WATER COMMITMENTS

System	Requirement	Design
Area of Indisturbance of Box water supply	Please refer to Appendix B	See Table 3
Rainwater collection	4,000L rainwater tank	See Table 3
Fair Sprinklers	Test water to be diverted to a closed system	See Table 3
Fixtures for apartments	4 star (Water Rating) toilets	See Table 3
	4 star (Water Rating) taps	See Table 3
	4 star (Water Rating) showerheads with a flow rate of 6.0L/min & < 7.5L/min	See Table 3
	4 star (Water Rating) bidets	See Table 3
	5 star (Water Rating) kitchen taps	See Table 3
	4 star (Water Rating) bathroom taps	See Table 3
	4 star (Water Rating) washing machines	See Table 3
	4 star (Water Rating) dishwashers	See Table 3

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REV	NOTES	DATE
A <td>Development Application</td> <td>24.02.22</td>	Development Application	24.02.22
B <td>Revision 2</td> <td>12.09.22</td>	Revision 2	12.09.22
C <td>Panel meeting comment</td> <td>08.03.23</td>	Panel meeting comment	08.03.23

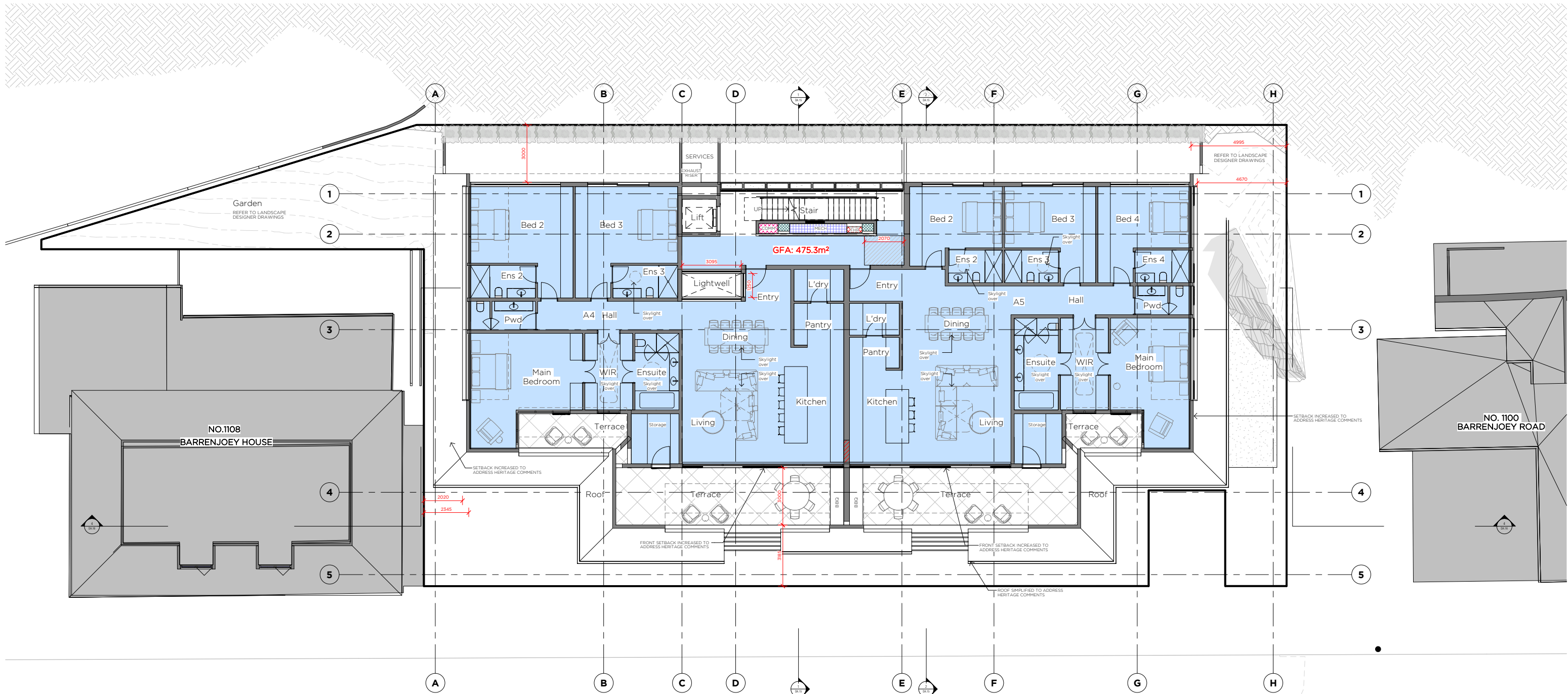
PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED FIRST FLOOR PLAN

PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale:	1:100 @ A1
Drawn by:	Author	Drawing No.	Rev
Rev Date:	08.03.23	DA.07	C

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+612 9525 2406

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BASIC COMMITMENTS

THERMAL COMFORT

Item No.	Item	Value	Unit	Pass/Fail
A1	Internal walls	0.25	U-value	Pass
A2	Internal walls	0.25	U-value	Pass
A3	Roof	0.15	U-value	Pass
A4	Roof	0.15	U-value	Pass
A5	Roof	0.15	U-value	Pass

ENERGY COMMITMENTS

Item No.	Item	Value	Unit	Pass/Fail
A1	Lighting	0.05	W/m²	Pass
A2	Lighting	0.05	W/m²	Pass
A3	Lighting	0.05	W/m²	Pass
A4	Lighting	0.05	W/m²	Pass
A5	Lighting	0.05	W/m²	Pass

WATER COMMITMENTS

Item No.	Item	Value	Unit	Pass/Fail
A1	Water consumption	120	L/day	Pass
A2	Water consumption	120	L/day	Pass
A3	Water consumption	120	L/day	Pass
A4	Water consumption	120	L/day	Pass
A5	Water consumption	120	L/day	Pass

BARRENJOEY ROAD

REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22
C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED SECOND FLOOR PLAN

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
 Not to be used for construction purposes
 Job No. 2006 Scale: 1:100 @ A1
 Drawn by: Author Drawing No. DA.08
 Rev Date: 08.03.23 Rev C

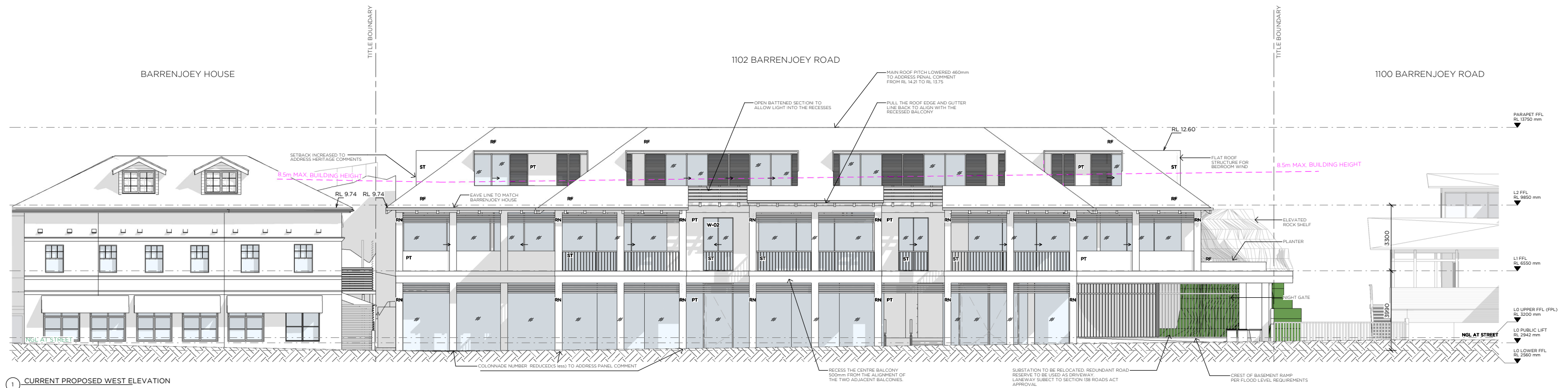


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1 CURRENT PROPOSED WEST ELEVATION
1:100

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REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22
C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
PROPOSED WEST ELEVATION

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes

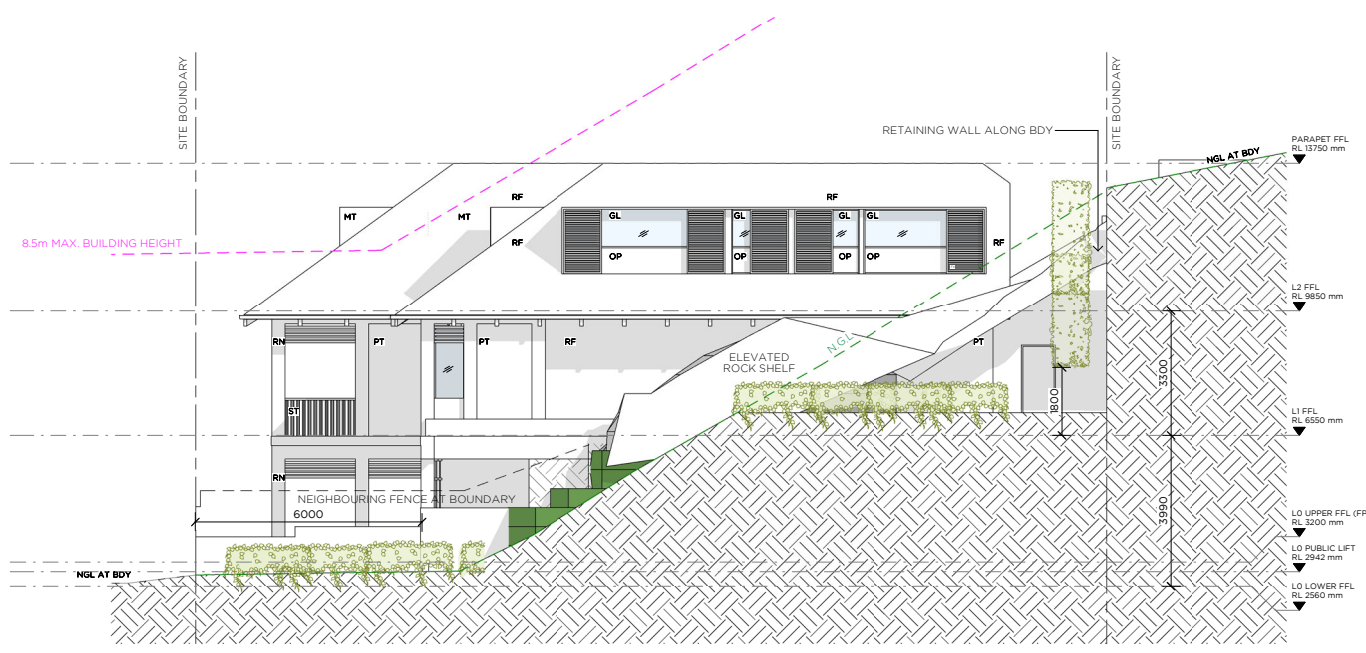
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Drawn by.	Author	Drawing No.	Rev
Rev Date.	08.03.23	DA.10	C



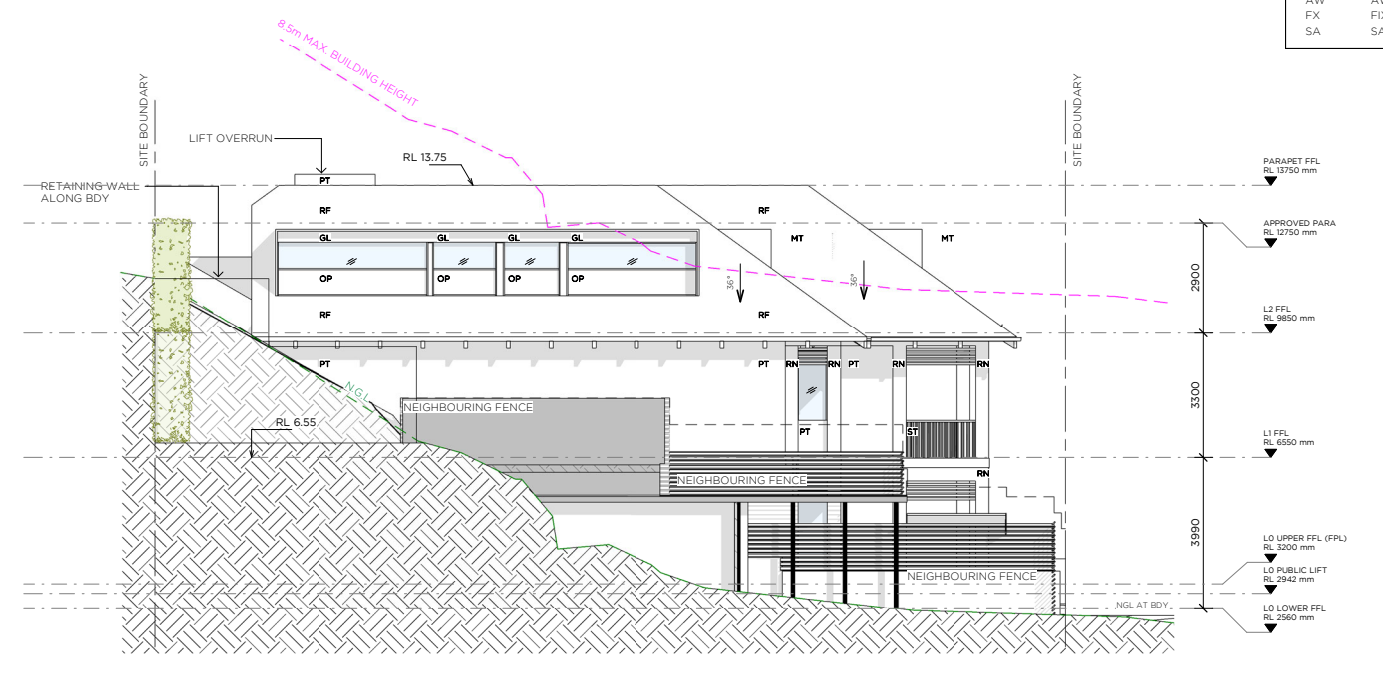
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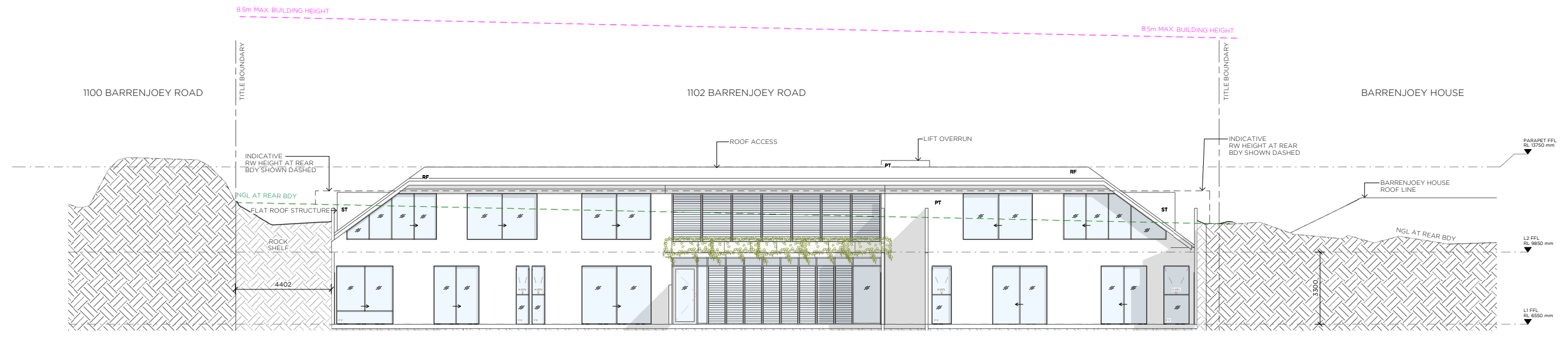
LEGEND	
RN	RENDER - LIGHT
PT	EXTERNAL PAINT - LIGHT
GL-01	CLEAR GLAZING
GL-02	OBSCURED GLAZING
GL-03	BALUSTRADE GLAZING
SLD	SLIDING WINDOW
AW	AWNING WINDOW
FX	FIXED WINDOW
SA	SASHLESS WINDOW



1 SOUTH ELEVATION
1:100



2 NORTH ELEVATION
1:100



3 EAST ELEVATION
1:100

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C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

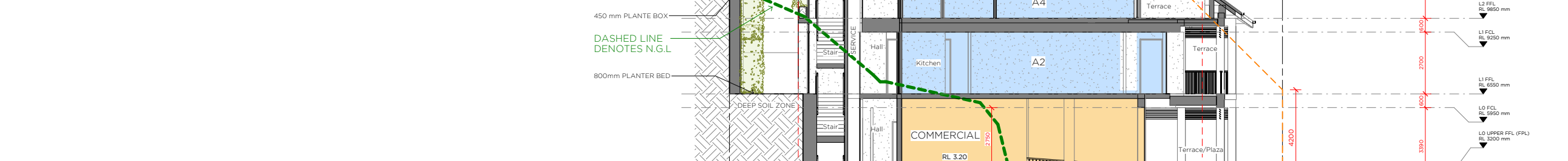
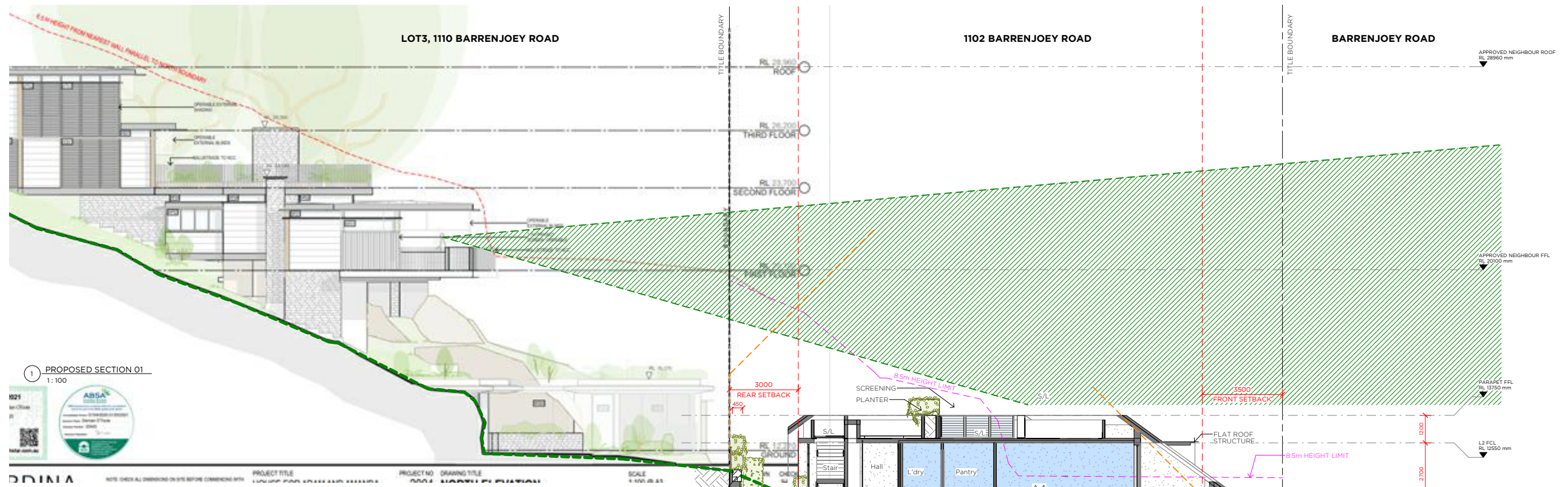
TITLE
PROPOSED ELEVATION - NORTH, SOUTH & EAST

PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Job No.	2006	Scale:	1:100 @ A1
Drawn by:	Author	Drawing No.	Rev
Rev Date:	08.03.23	DA.11	C

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2 PROPOSED SECTION 02
1:100

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REV	NOTES	DATE
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B	Revision 2	12.09.22
C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

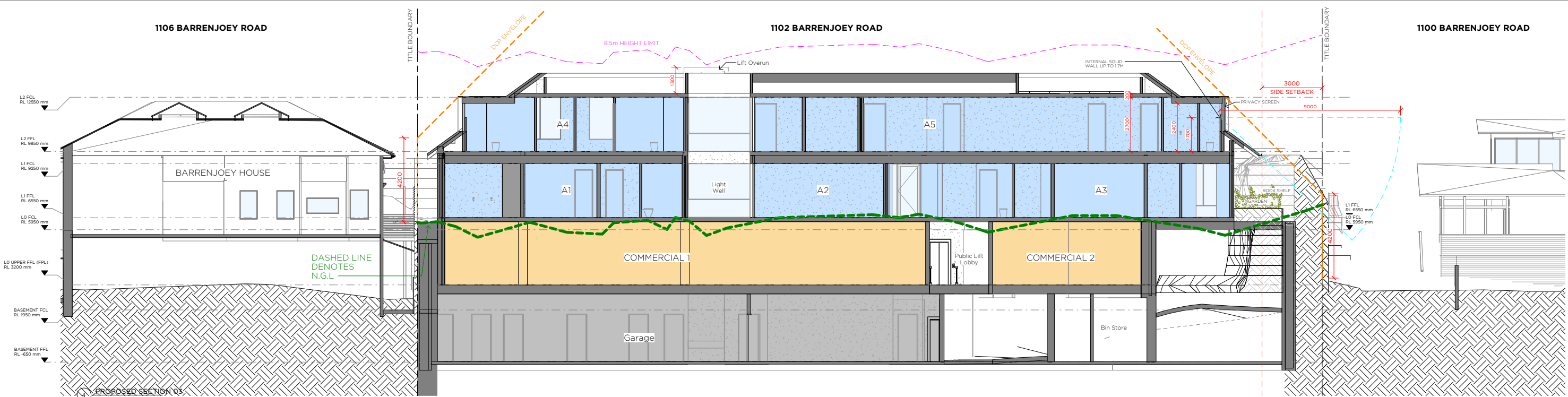
TITLE
SECTIONS
0 1 5m

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes
Job No. 2006
Scale. 1:100 @ A1
Drawn by. Author
Rev Date. 08.03.23
Drawing No. DA.15
Rev C

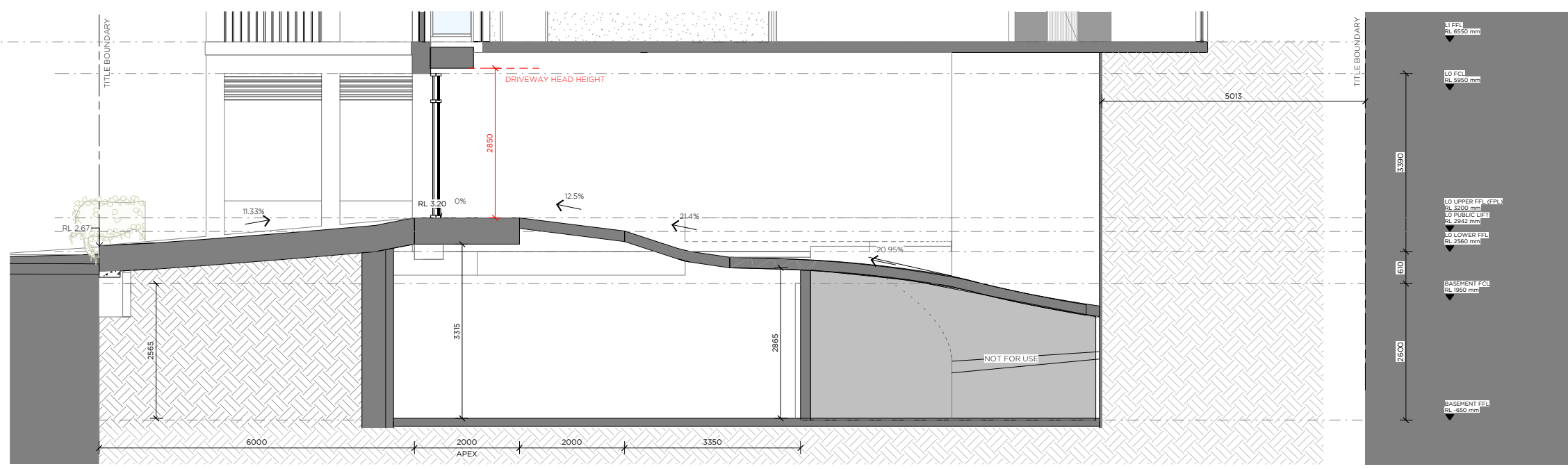


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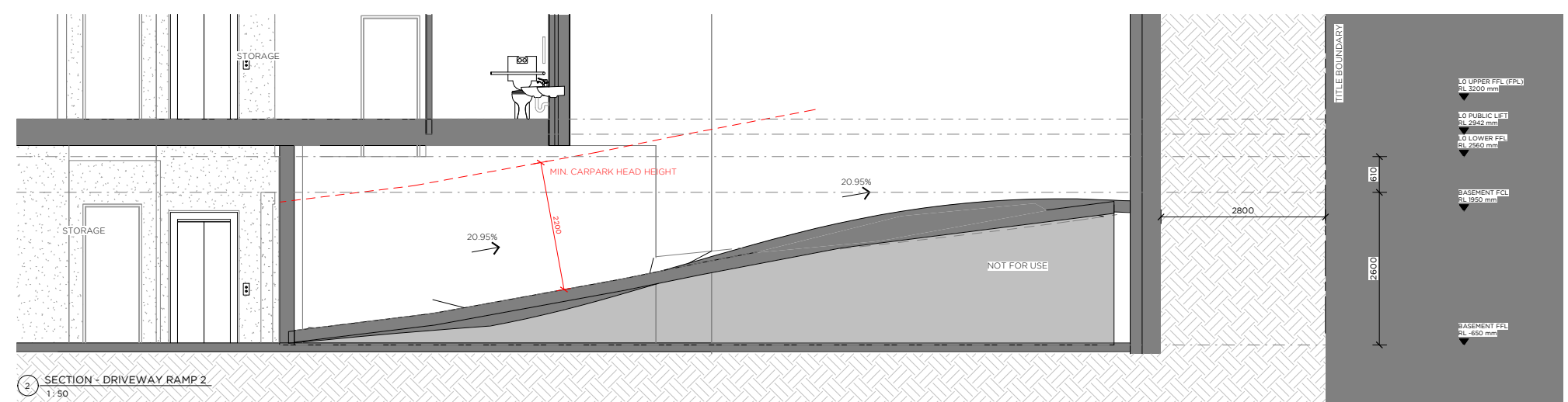
Sydney Office.
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Potts Point NSW 2011
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PROPOSED SECTION 03
1:100



SECTION - DRIVEWAY RAMP 1
1:50



SECTION - DRIVEWAY RAMP 2
1:50

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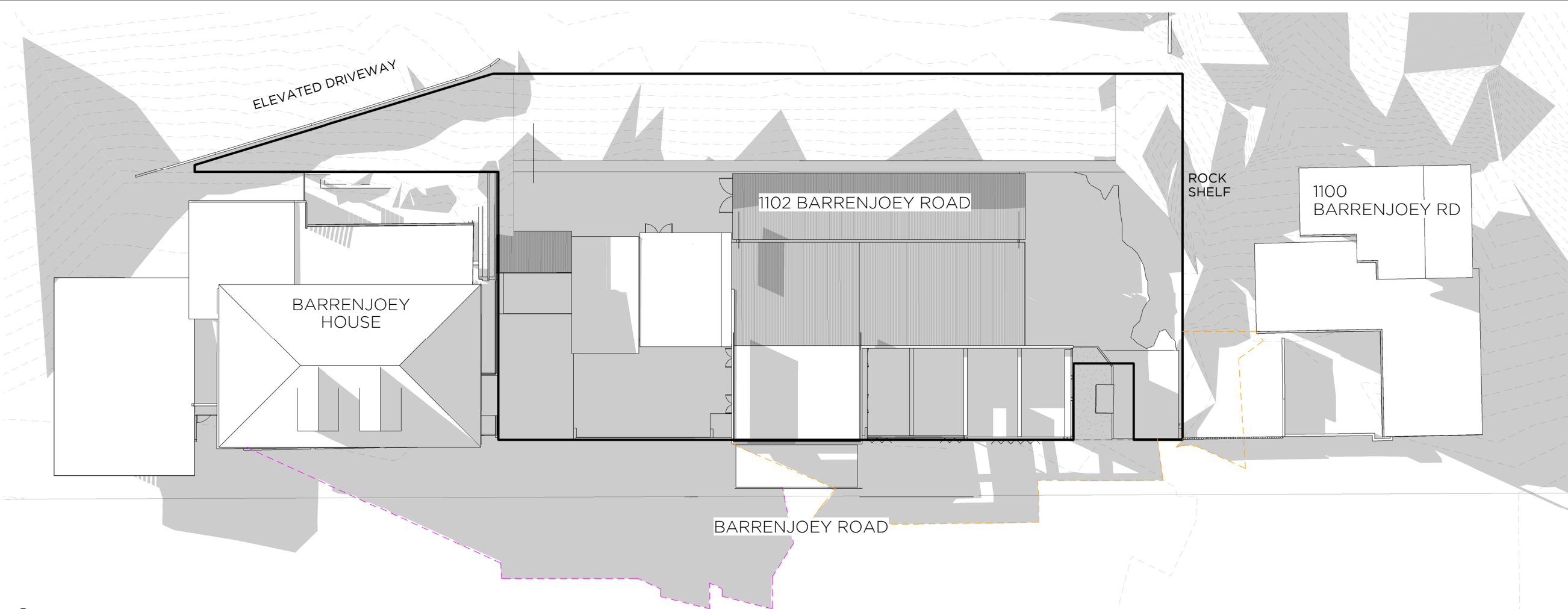
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REV	NOTES	DATE
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C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SECTIONS
0 1 2.5m

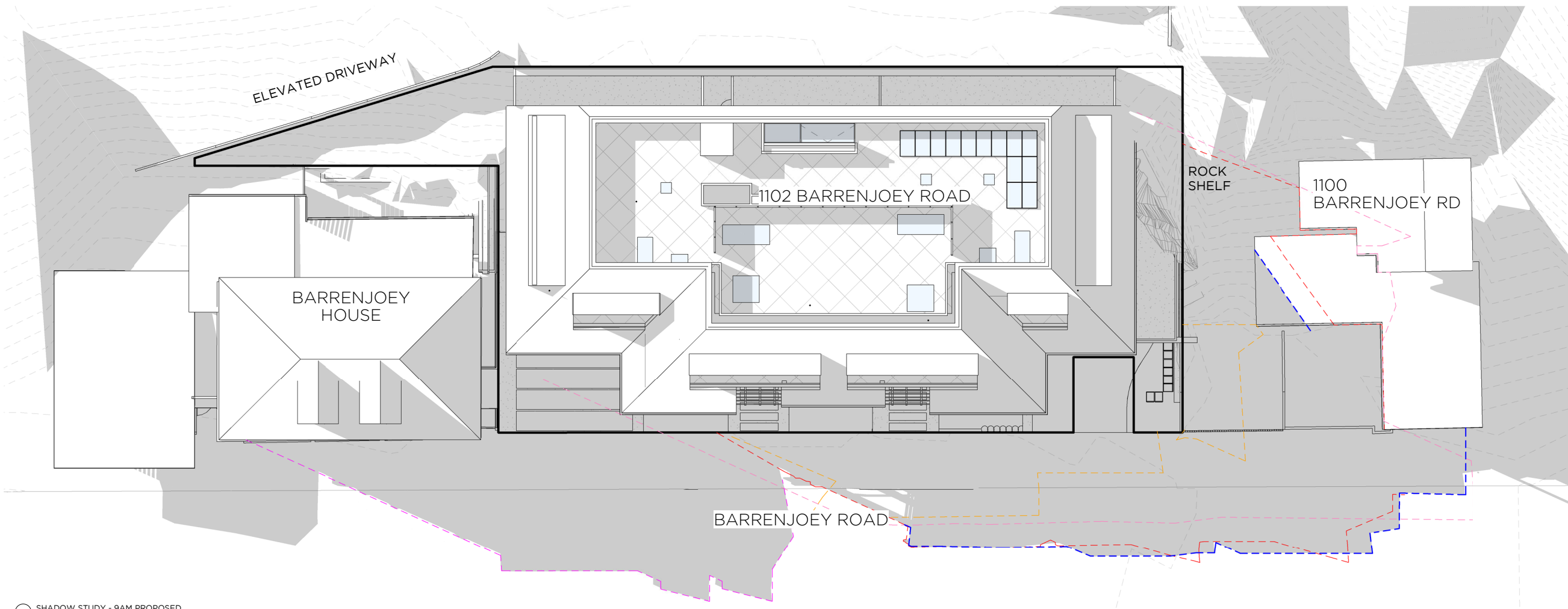
PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Job No.	2006	Scale.	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	08.03.23	DA.16	C



SHADOW DIAGARM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

1 SHADOW STUDY - 9AM EXISTING
1:150



2 SHADOW STUDY - 9AM PROPOSED
1:150

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REV	NOTES	DATE
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C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SHADOW STUDIES_9AM 21ST JUNE

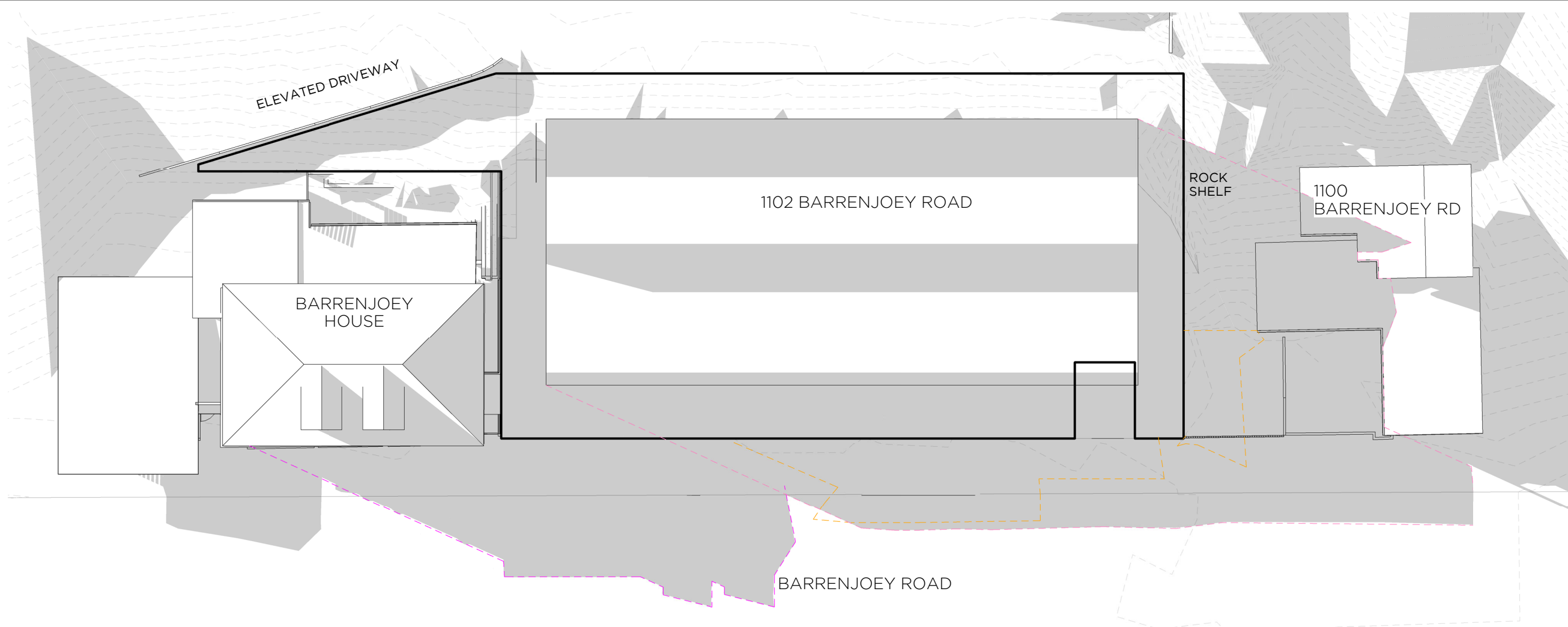
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PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Not to be used for construction purposes			
Job No.	2006	Scale.	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	08.03.23	DA.50	C

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Prahran VIC 3181
+613 9525 2406

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SHADOW DIAGARM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

① SHADOW STUDY - 9AM COMPLIANT MASSING
1:150

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REV	NOTES	DATE
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C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

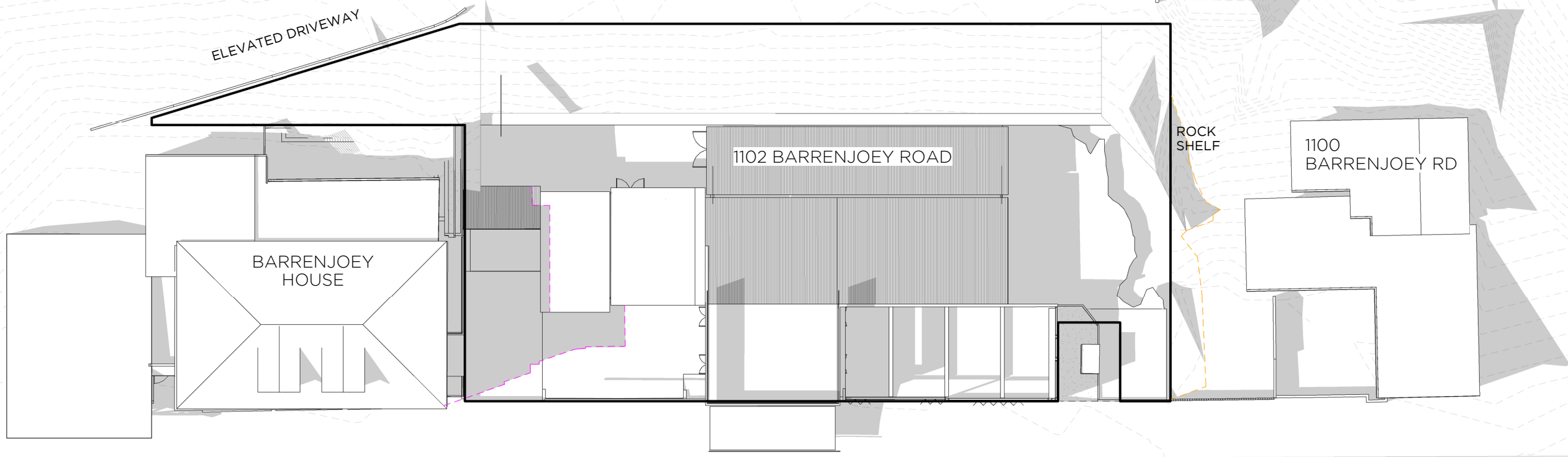
TITLE
SHADOW STUDIES_9AM 21ST JUNE

PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale.	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	08.03.23	DA.50.B	C



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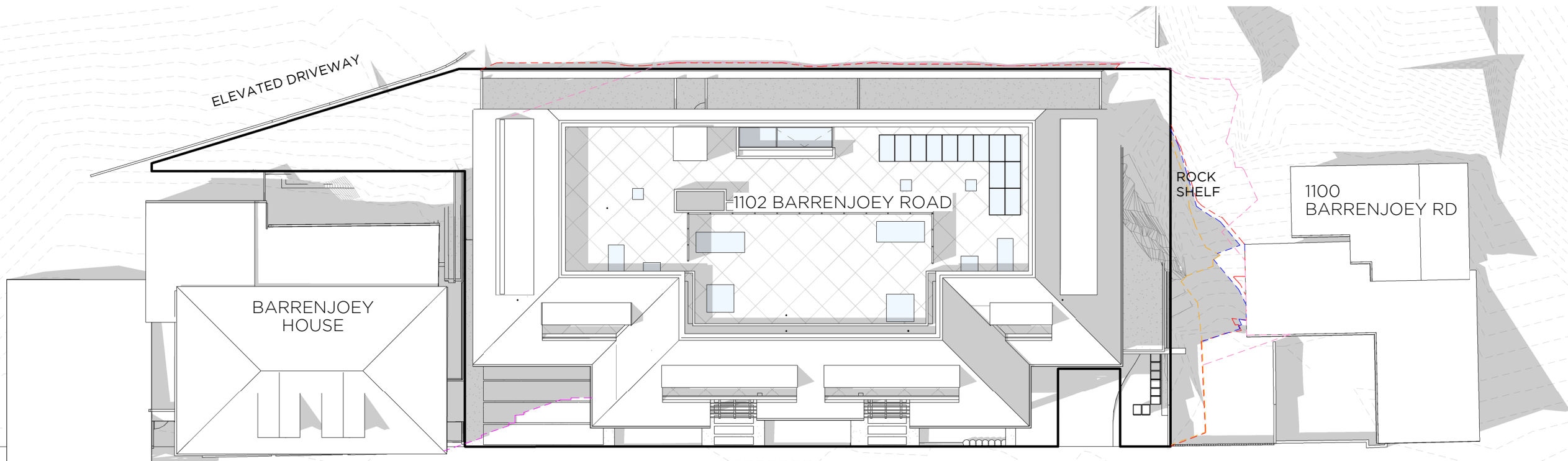


SHADOW DIAGRAM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

BARRENJOEY ROAD

1 SHADOW STUDY - 12PM EXISTING
1:150



BARRENJOEY ROAD

2 SHADOW STUDY - 12PM PROPOSED
1:150

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C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

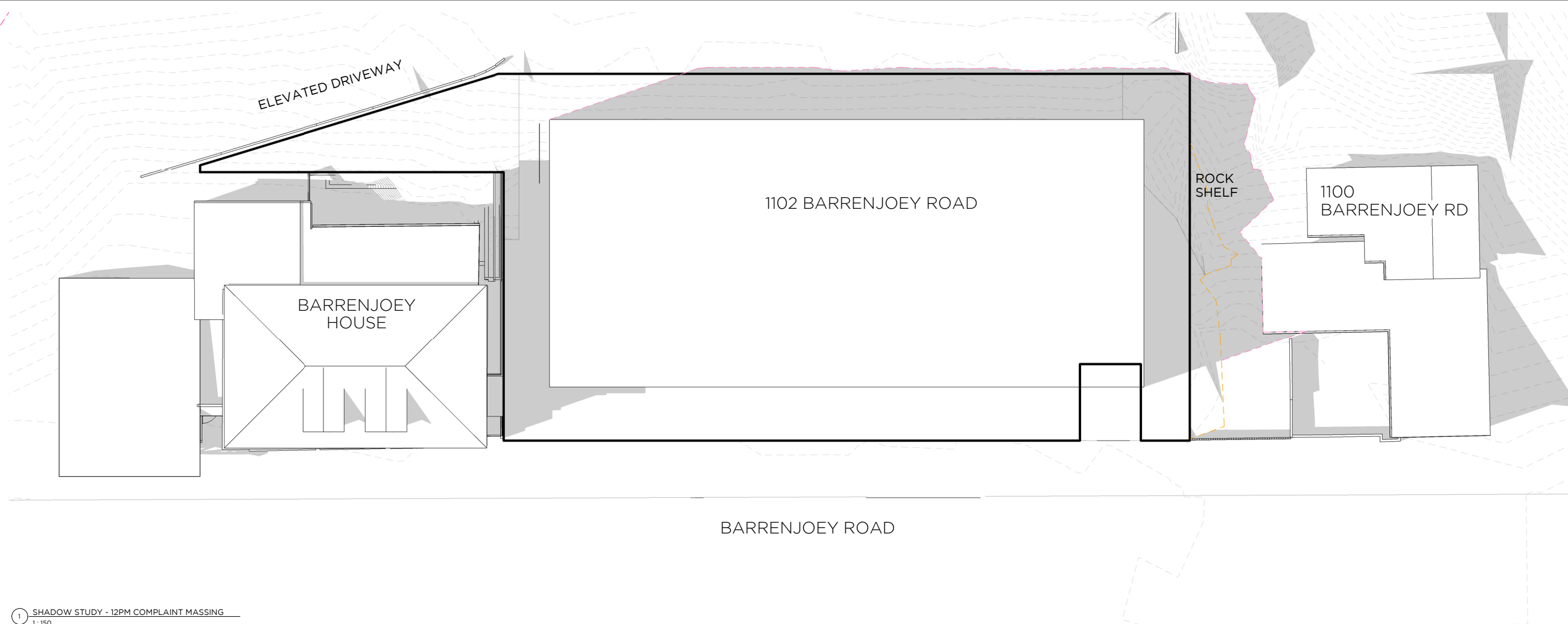
TITLE
SHADOW STUDIES_12PM 21ST JUNE

0 1 5m

PROJECT OVERVIEW		DEVELOPMENT APPLICATION	
Not to be used for construction purposes			
Job No.	2006	Scale.	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	08.03.23	DA.51	C

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SHADOW DIAGARM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

1 SHADOW STUDY - 12PM COMPLAINT MASSING
1:150

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REV	NOTES	DATE
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C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SHADOW STUDIES_12PM 21ST JUNE

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes

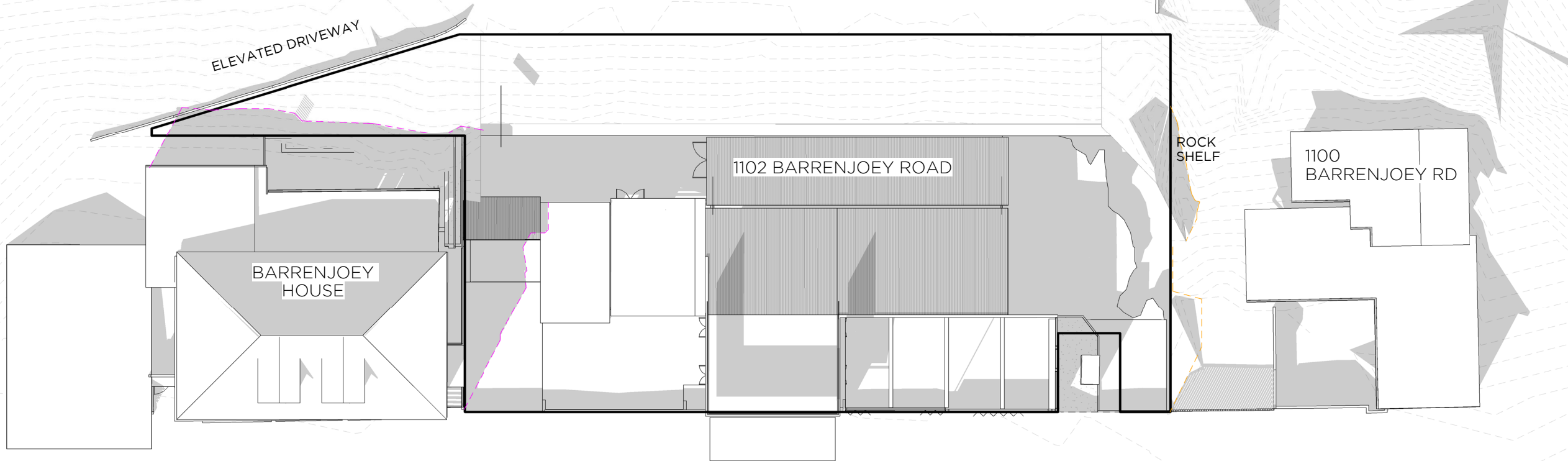
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Drawn by.	Author	Drawing No.	Rev
Rev Date.	08.03.23	DA.51.B	C



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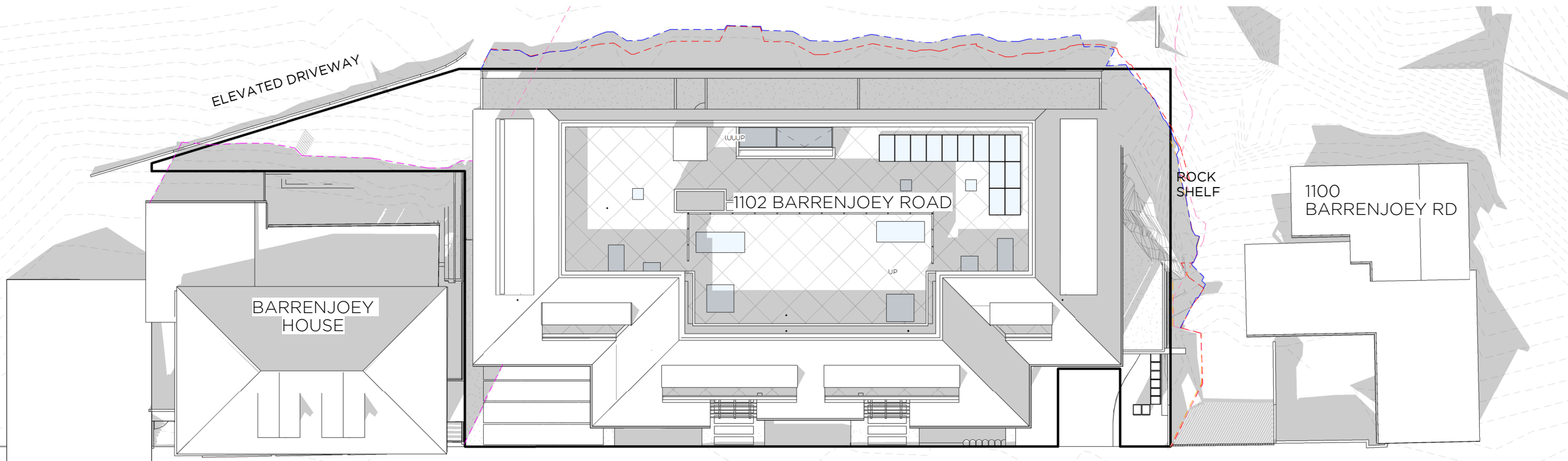
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& Interiors



- SHADOW DIAGARM LEGEND**
- EXISTING BUILDING & FENCE SHADOW LINE
 - BARRENJOEY HOUSE SHADOW LINE
 - SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
 - REVISED DA(Rev.B) SHADOW LINE
 - COMPLIANT MASSING SHADOW LINE

BARRENJOEY ROAD

2 SHADOW STUDY - 3PM EXISITNG
1:150



BARRENJOEY ROAD

1 SHADOW STUDY - 3PM PROPOSED
1:150

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C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

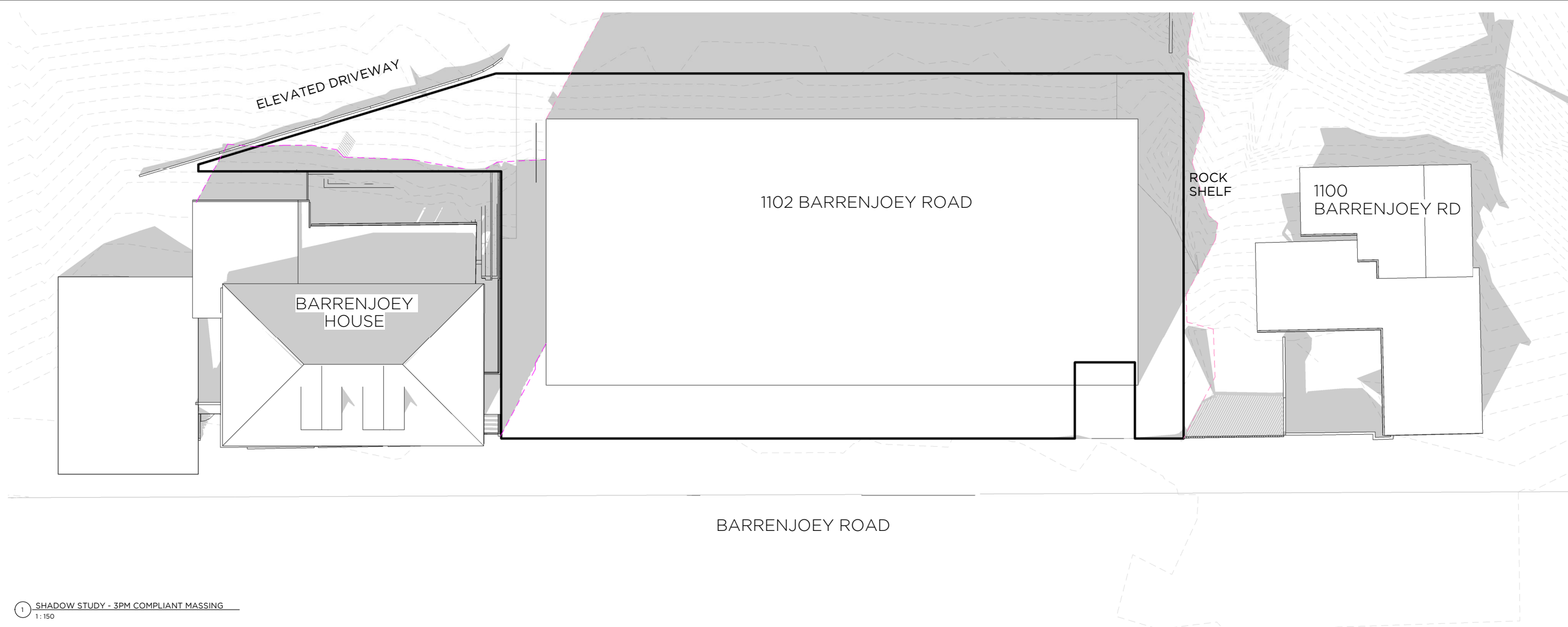
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SHADOW STUDIES_3PM 21ST JUNE
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PROJECT OVERVIEW			
DEVELOPMENT APPLICATION			
Not to be used for construction purposes			
Job No.	2006	Scale.	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	08.03.23	DA.52	C

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SHADOW DIAGARM LEGEND

- EXISTING BUILDING & FENCE SHADOW LINE
- BARRENJOEY HOUSE SHADOW LINE
- SUBMITTED DA(Rev.A) PROPOSED BUILDING SHADOW LINE
- REVISED DA(Rev.B) SHADOW LINE
- COMPLIANT MASSING SHADOW LINE

1 SHADOW STUDY - 3PM COMPLIANT MASSING
1:150

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PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

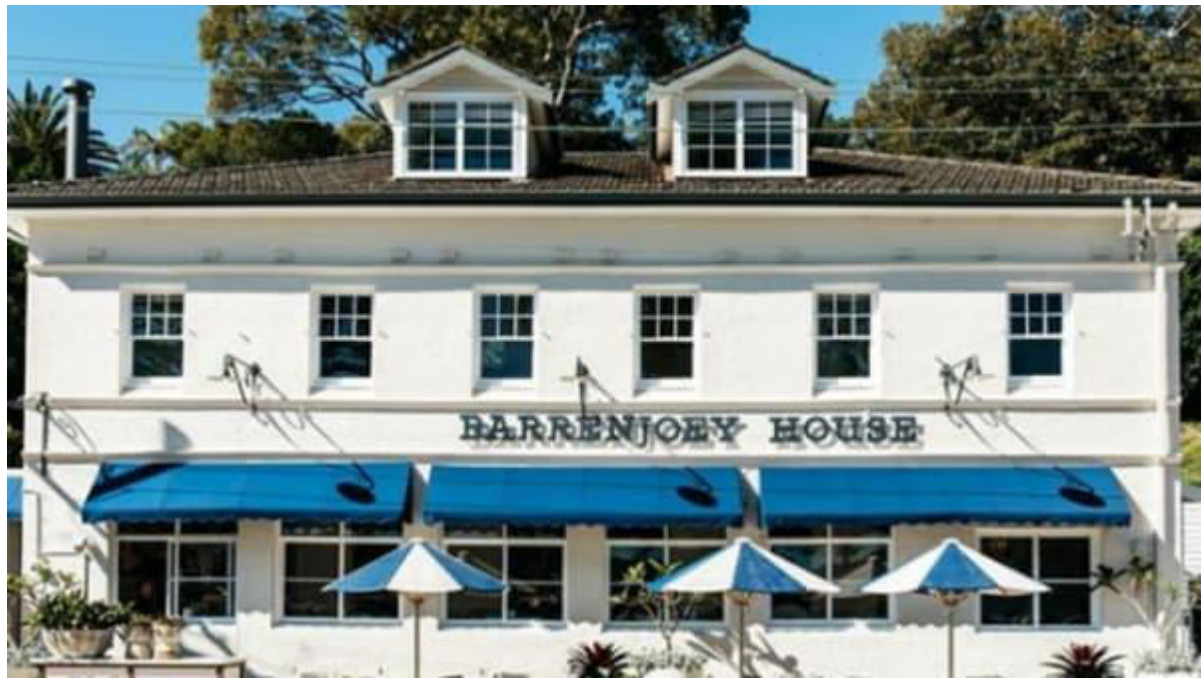
TITLE
SHADOW STUDIES_3PM 21ST JUNE

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes
Job No. 2006 Scale: As indicated @ A1
Drawn by: Author Drawing No. Rev
Rev Date: 08.03.23 **DA.52.B** C



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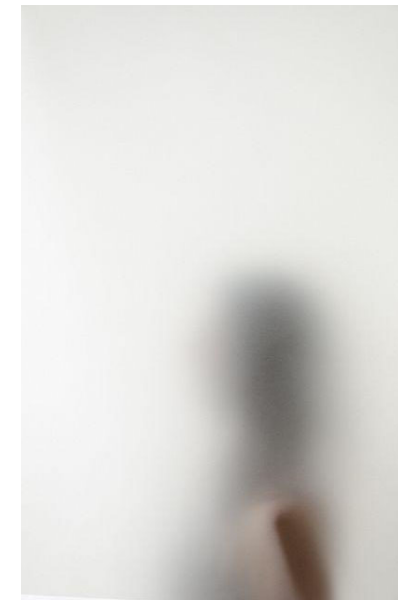
THE FINISHES WE SELECTED ARE IN THE SAME FAMILY AS BARRENJOEY HOUSE



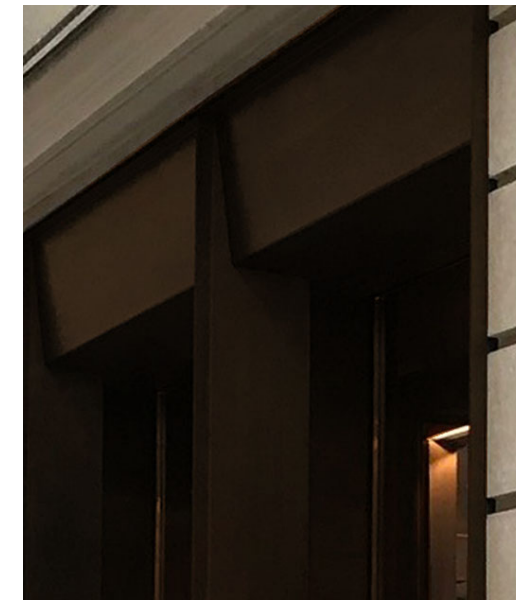
SS
POWDER COATED
LOCATION:
SHUTTER SCREENS



GL
GLASS
LOCATION:
WINDOWS



OP
OPAQUE GLASS
LOCATION:
WINDOWS WHERE PRIVACY IS REQUIRED



MT
DARK LOW REFLECTIVE METAL
LOCATION:
DORMERS & BALUSTRADES



RN
EXTERNAL WALL-LIMESTONE/SANDSTONE COLOUR
LOCATION:
EXTERNAL WALLS & COLUMNS



PT
PAINT FINISH - WHITE WASHED PAINT
LOCATION:
EXTERNAL WALLS



W-01
FRENCH BLUE TRIM
LOCATION:
WINDOWS & SKYLIGHTS GENERALLY



ST
STEEL BALUSTRADE
LOCATION:
WINDOWS & LIGHTWELL WHERE NEEDS PRIVACY



LANDSCAPE
OPEN LANDSCAPE
LOCATION:
GROUND LEVEL COMMERCIAL TO FOOTPATH



RF
DARK COLOR ROOF

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REV	NOTES	DATE
A	Development Application	24.02.22
B	Revision 2	12.09.22
C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
MATERIALS AND FINISHES

PROJECT OVERVIEW		
DEVELOPMENT APPLICATION		
Not to be used for construction purposes		
Job No.	2006	Scale: @ A1
Drawn by.	Author	Drawing No. Rev
Rev Date.	08.03.23	DA.60 C



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AREA CALCULATIONS

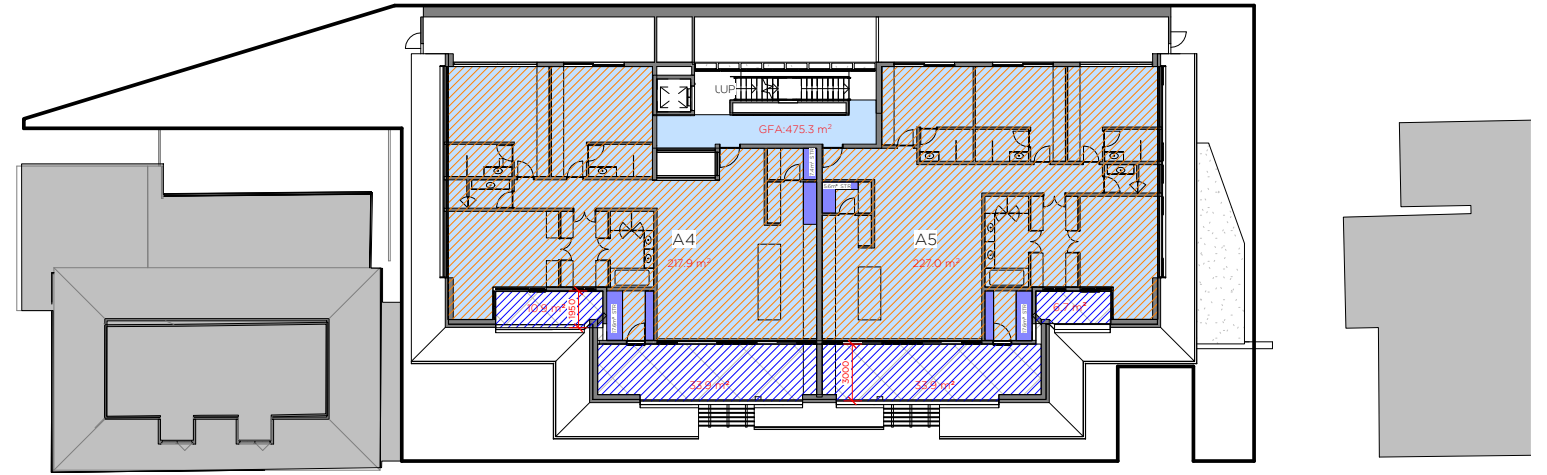
	PROPOSED	CONTROL
SITE AREA	1138.1m ²	1138.1m ²
TOTAL GFA	1418.5m ²	NO GFA CONTROL 1138.1/150=7.6 Dwelling permissible (A MAXIMUM OF 1 DWELLING PER 150m ² OF SITE AREA).
COMMERCIAL GFA	385.9m ² (370.7+15.2 facility) (27.4% OF TOTAL GFA)	353.7m ² (MIN. 25% OF TOTAL GFA)
STORAGE (ADG)	125.4m ³ (MIN.10m ³ /APT, MIN.5m ³ INTERNAL)	50m ³ (ADG) (MIN.10m ³ /APT, MIN.5m ³ INTERNAL)

LANDSCAPE CALCULATIONS

	PROPOSED	CONTROL
COMMUNAL OPEN SPACE(ADG)	405.3 m ² (35.6%)	284.5m ² (25% OF SITE, ADG)
LANDSCAPE AREA (DCP)	569.7m ² (42.4%)	227.6m ² (20% OF SITE, DCP)
DEEP SOIL ZONE(ADG)	TOTAL DEEP SOIL: 230.0m ² DEEP SOIL WITH MIN.3m WIDTH: 216.0m ² (20.5% OF SITE)	79.7m ² (7% OF SITE, MIN.3m WIDE, ADG)

LEVEL TWO - DCP

TOTAL GFA: 475.3m²
TOTAL OPEN SPACE: 85.4m²
TOTAL LANDSCAPE AREA: 0m²



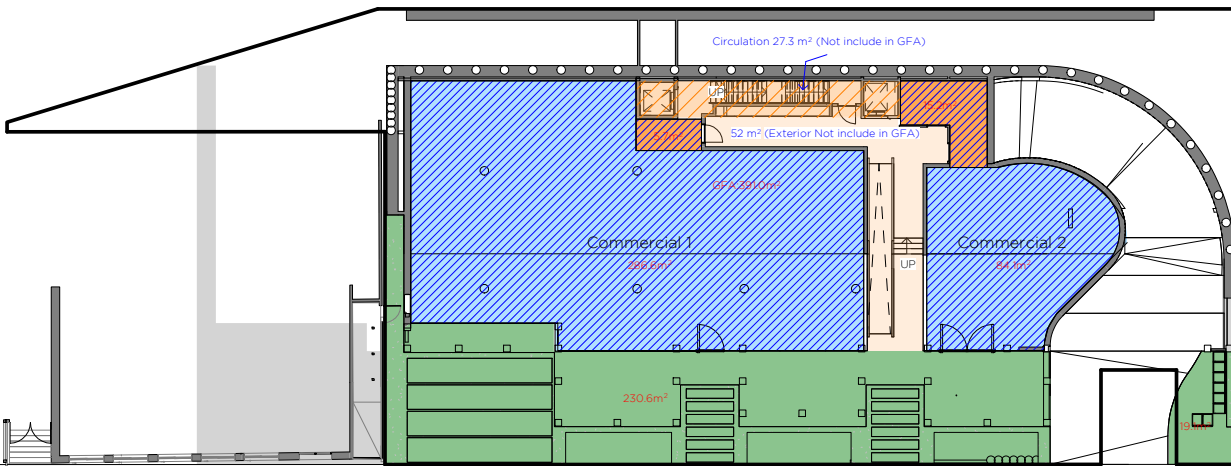
3 AREA CALC - L2
1:200

GROUND - DCP

TOTAL GFA: 391.0m²
TOTAL LANDSCAPE AREA :249.7 m²
TOTAL COMMERCIAL AREA: 370.7m²

COMMERCIAL 1
GFA: 287.6m²

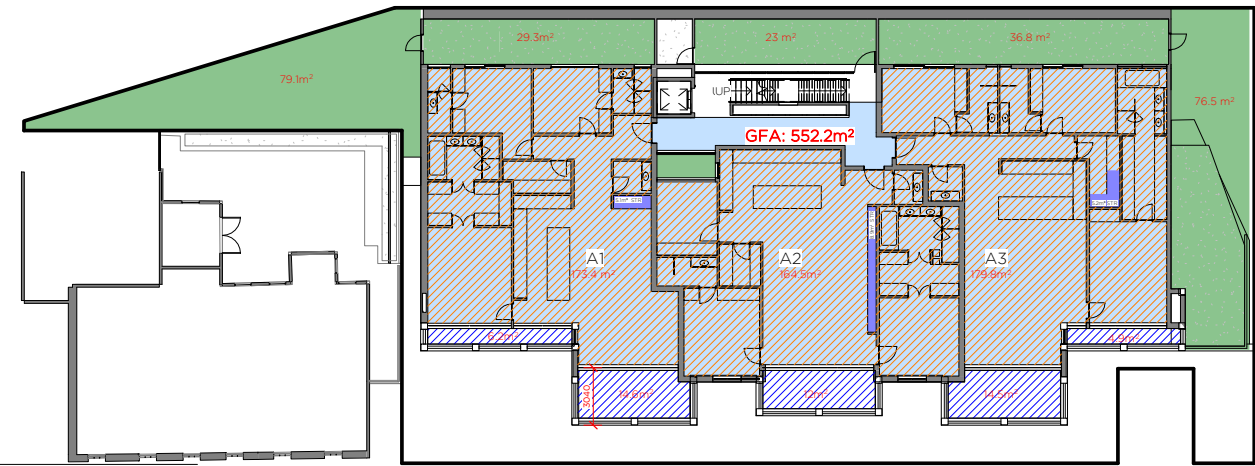
COMMERCIAL 2
GFA: 84.3m²



1 AREA CALC - GROUND
1:200

LEVEL ONE - DCP

TOTAL GFA: 552.2m²
TOTAL OPEN SPACE: 52.2m²
TOTAL LANDSCAPE AREA: 320.0m²



2 AREA CALC - L1
1:200

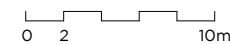
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PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
GFA & LANDSCAPE CALCULATIONS



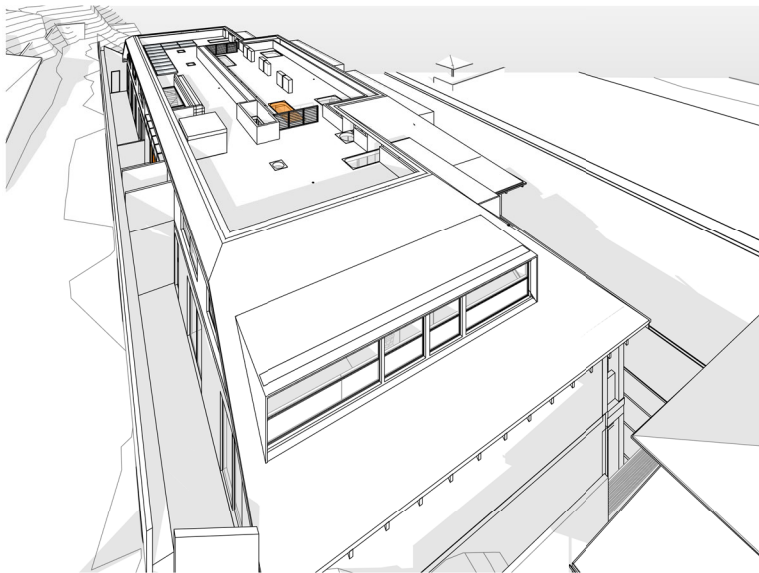
PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes

Job No.	2006	Scale:	1:200 @ A1
Drawn by:	Author	Drawing No.	Rev
Rev Date:	08.03.23	DA.70	C

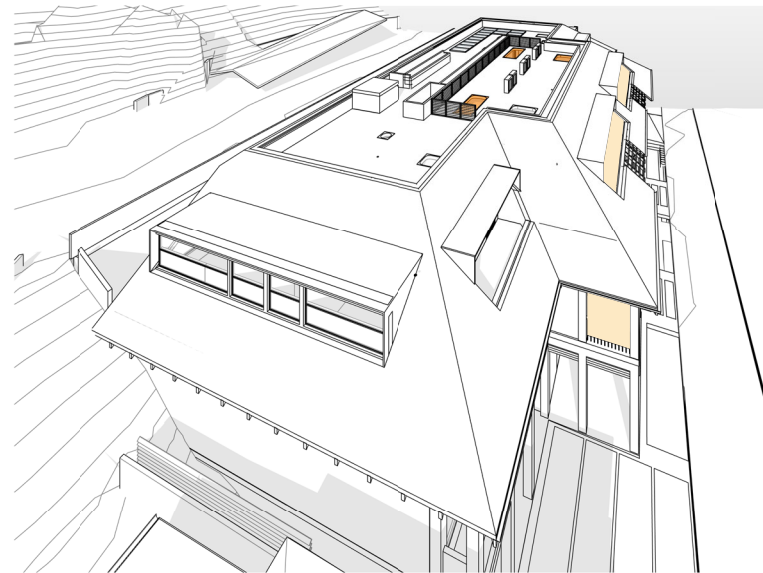


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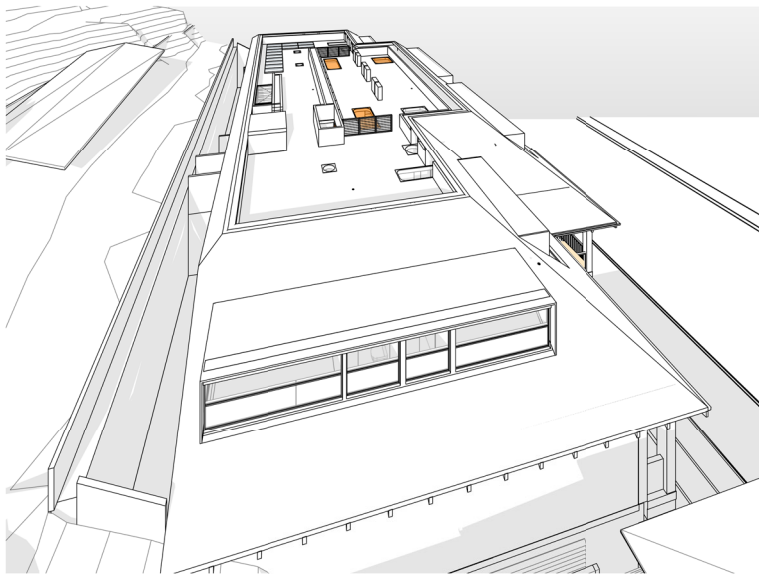
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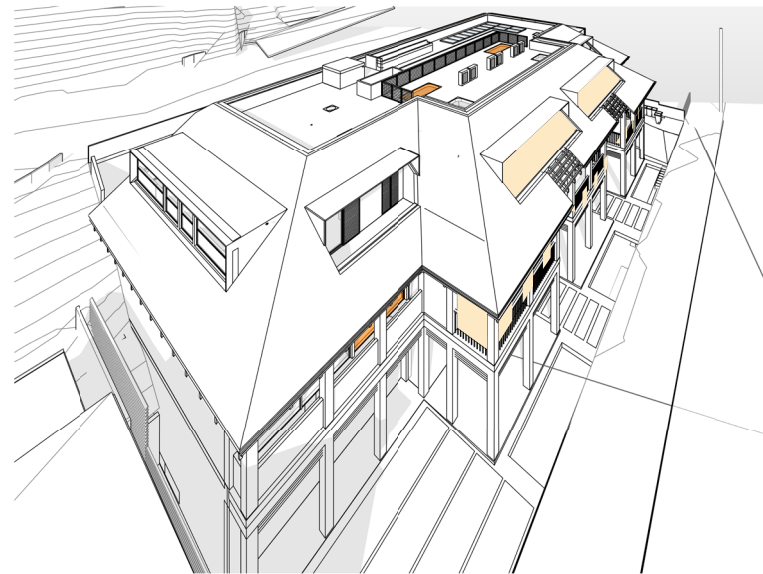
1 SOLAR ACCESS - 9AM



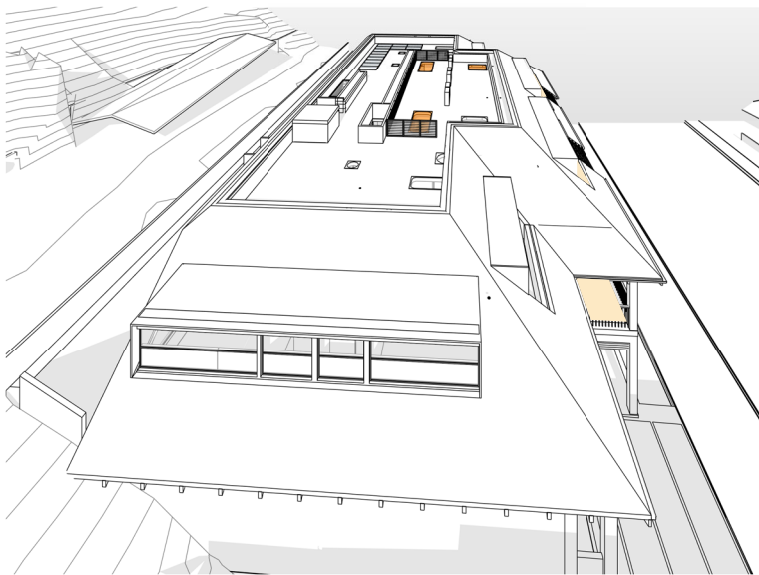
4 SOLAR ACCESS - 12PM



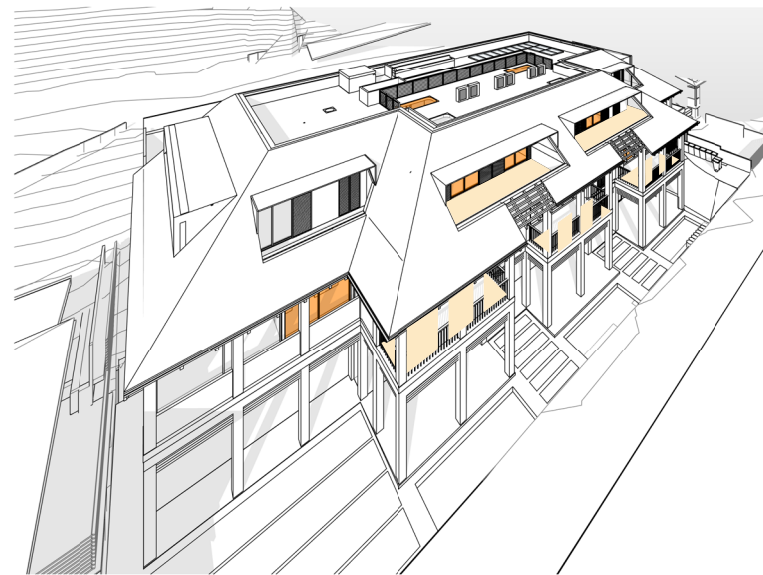
2 SOLAR ACCESS - 10AM



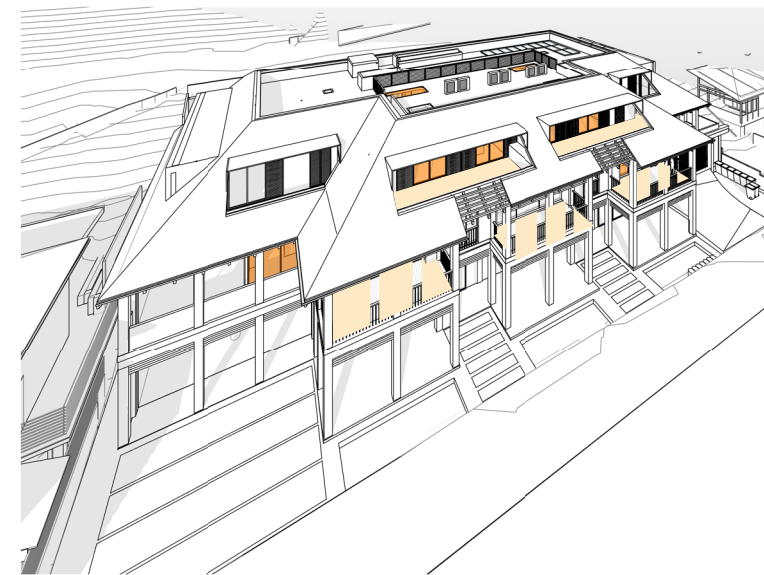
5 SOLAR ACCESS - 1PM



3 SOLAR ACCESS - 11AM



6 SOLAR ACCESS - 2PM



7 SOLAR ACCESS - 3PM

SOLAR ACCESS LEGEND

- WINDOW
- PRIVATE OPEN SPACE

- SOLAR ACCESS APARTMENT DESIGN GUIDE**
1. LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 2 HOURS DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER IN THE SYDNEY METROPOLITAN AREA AND IN THE NEWCASTLE AND WOLLONGONG LOCAL GOVERNMENT AREAS.
 2. IN ALL OTHER AREAS, LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF APARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 3 HOURS DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER.
 3. A MAXIMUM OF 15% OF APARTMENTS IN A BUILDING RECEIVE NO DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER.

SOLAR ACCESS ANALYSIS

APT	A1	A2	A3	A4	A5
9-10 AM				■	■
10-11 AM	■			■	■
11-12 PM	■			■	■
12-1 PM	■	■	■	■	■
1-2 PM	■	■	■	■	■
2-3 PM	■	■	■	■	■
HOURS	3	5	0	3	6
	5	0	3	6	5

SOLAR ACCESS - PROPOSED 5 APTS (100% OF TOTAL APT)	SOLAR ACCESS - CONTROL 3.5 APTS (70% OF TOTAL APT)
MAX. WITHOUT HOUR -PROPOSED 0 APTS (0% OF TOTAL APT)	MAX. WITHOUT HOUR -CONTROL 0.75 APTS (15% OF TOTAL APT)

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A	Development Application	24.02.22
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C	Panel meeting comment	08.03.23

PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
 AT
 1102 BARRENJOEY ROAD, PALM BEACH

TITLE
SOLAR ACCESS ANALYSIS - PROPOSED

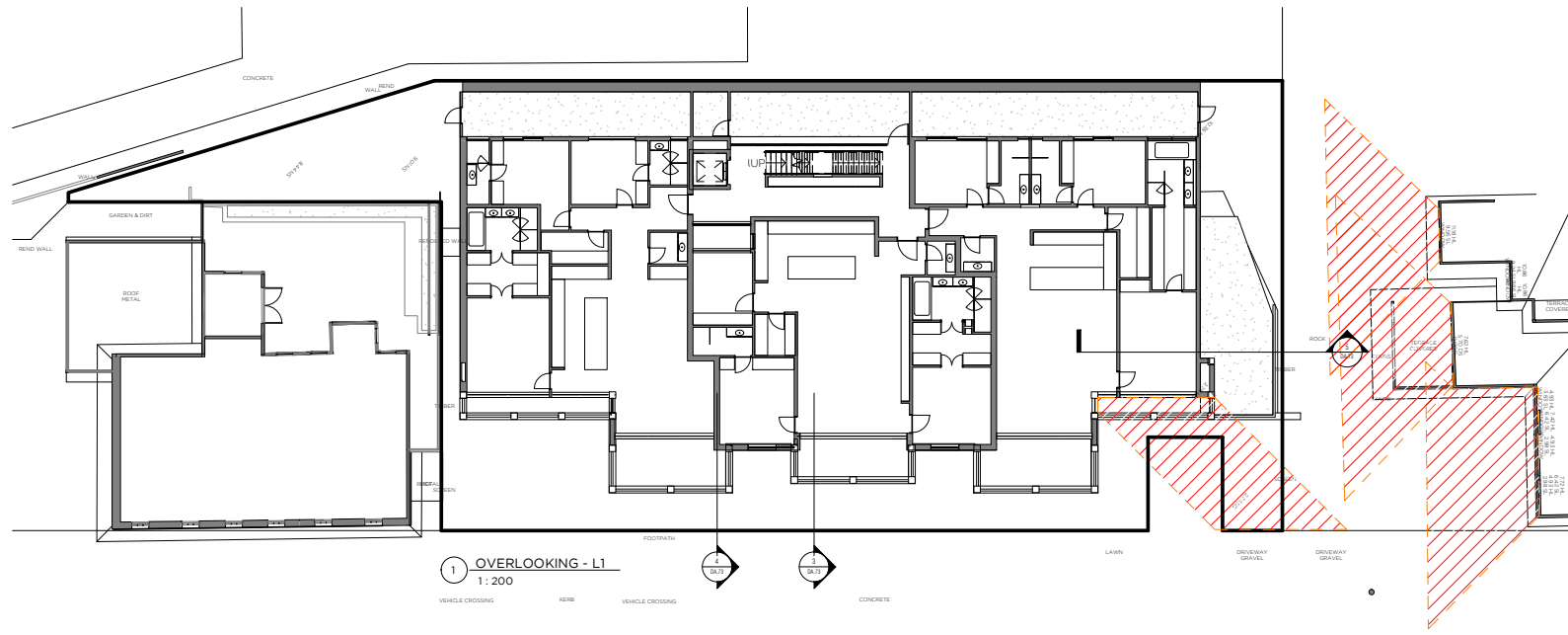
PROJECT OVERVIEW
DEVELOPMENT APPLICATION
 Not to be used for construction purposes

Job No.	2006	Scale.	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	08.03.23	DA.72	C

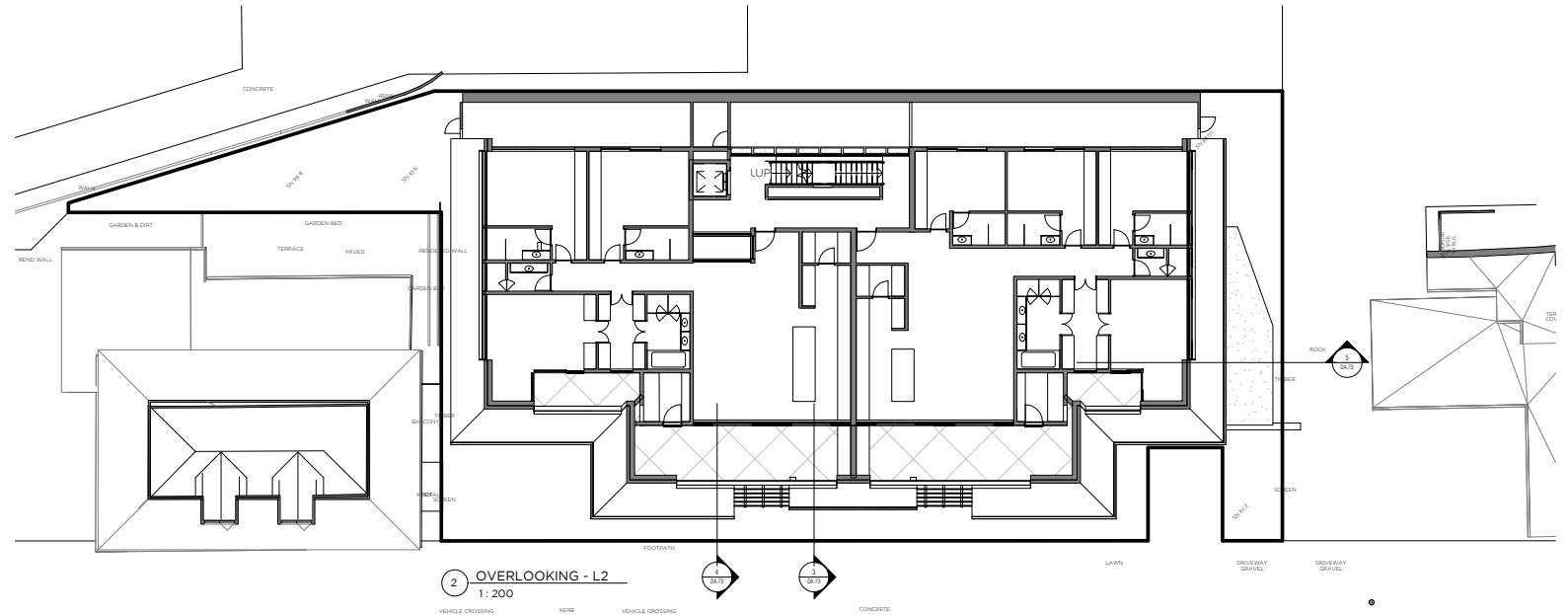
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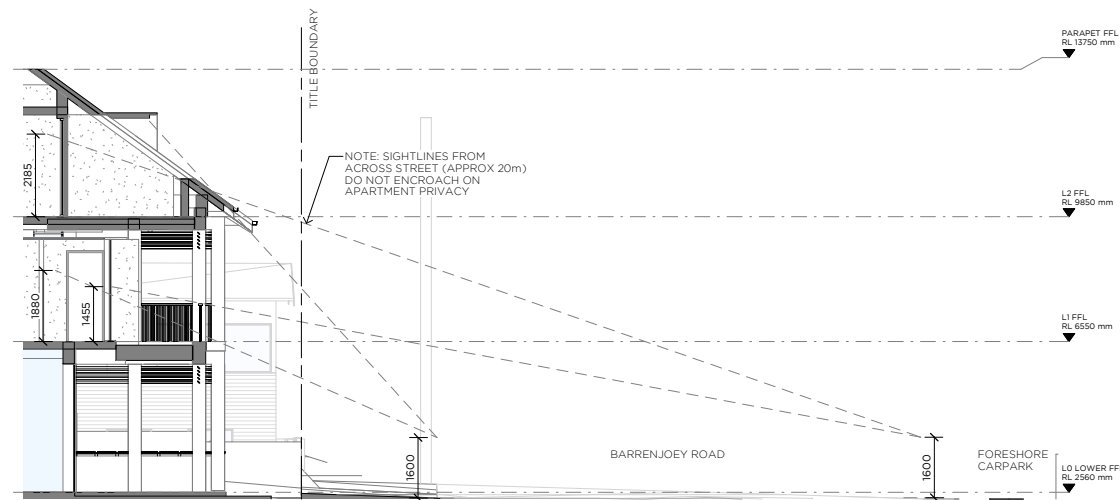
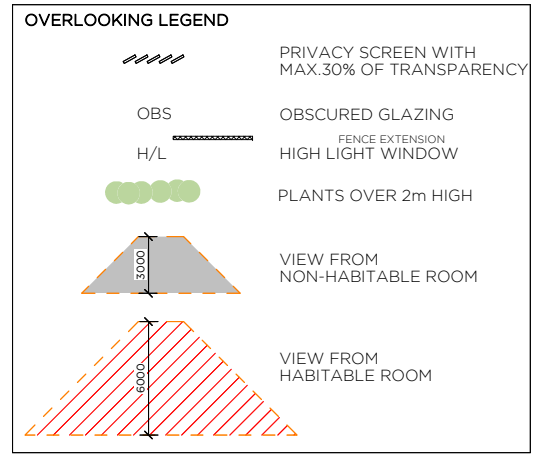
Rob Mills Architecture
 & Interiors



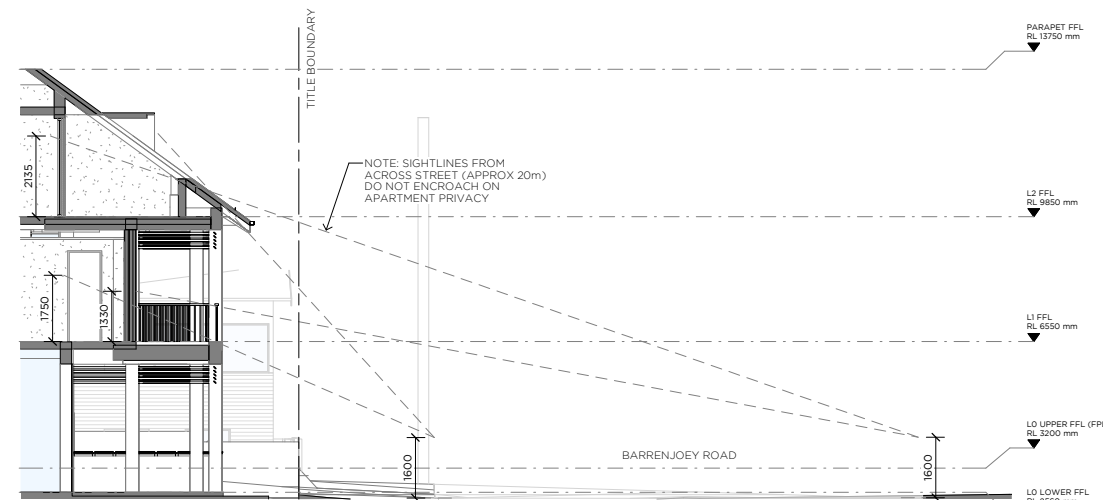
1 OVERLOOKING - L1
1:200



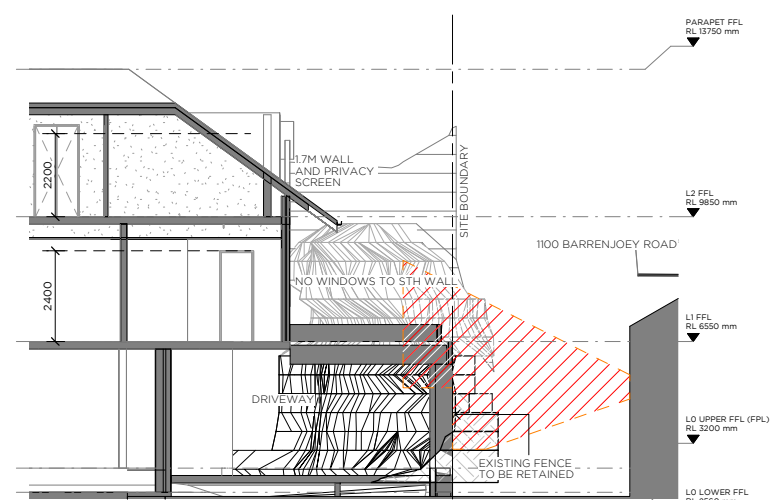
2 OVERLOOKING - L2
1:200



3 OVERLOOKING - STREET SECTION
1:100



4 OVERLOOKING - STREET SECTION 2
1:100



5 OVERLOOKING - DRIVEWAY SECTION
1:100

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PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

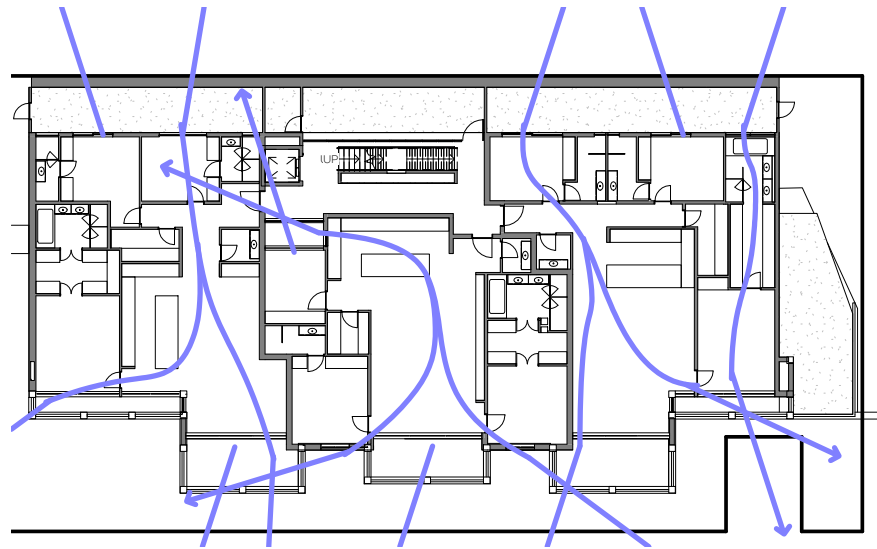
TITLE
OVERLOOKING ANALYSIS

PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes

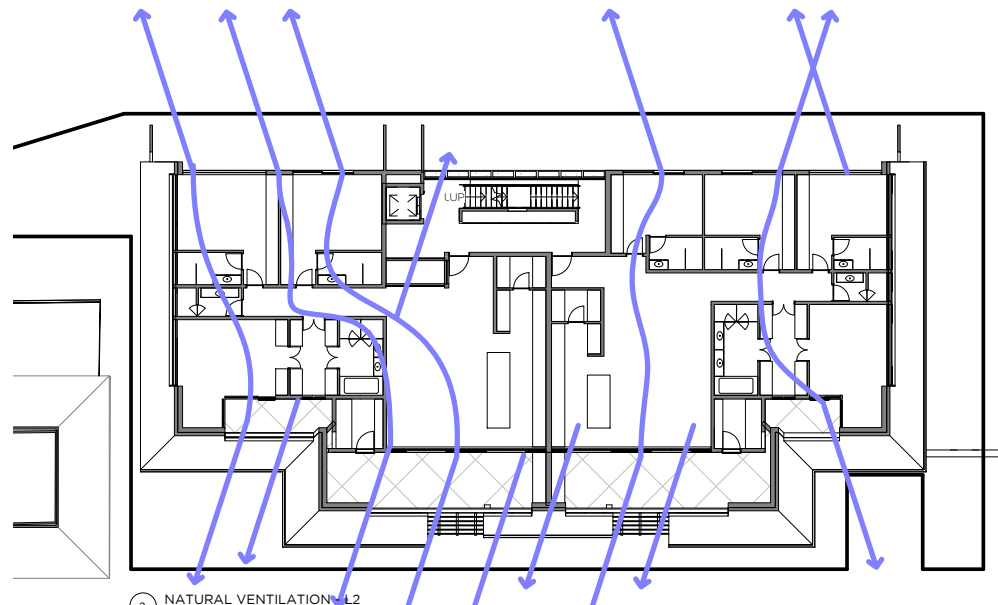
Job No. 2006 Scale: As indicated @ A1
Drawn by: Author Drawing No. Rev
Rev Date: 08.03.23 DA.73 C

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1 NATURAL VENTILATION - L1
1:200



2 NATURAL VENTILATION - L2
1:200



NATURAL VENTILATION APARTMENT DESIGN GUIDE

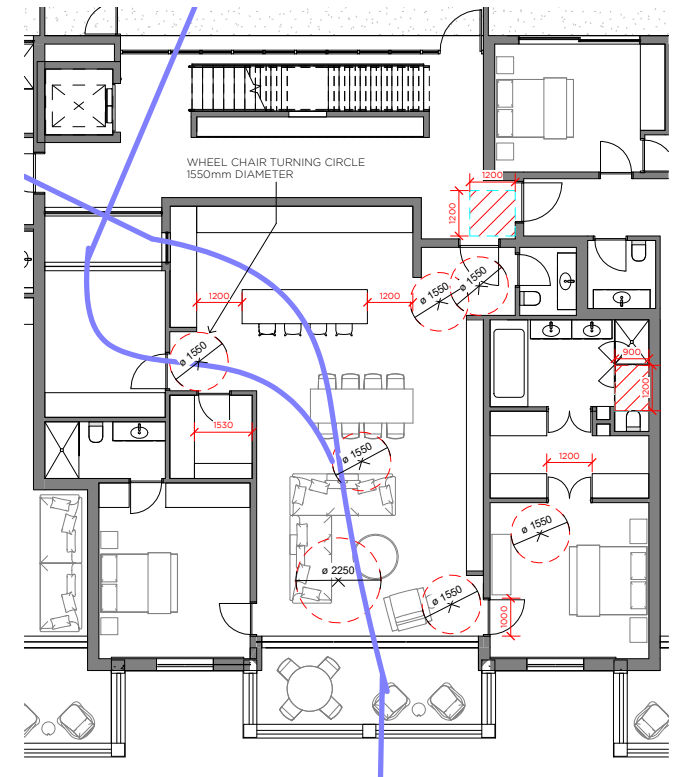
1. AT LEAST 60% OF APARTMENTS ARE NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING. APARTMENTS AT TEN STOREYS OR GREATER ARE DEEMED TO BE CROSS VENTILATED ONLY IF ANY ENCLOSURE OF THE BALCONIES AT THESE LEVELS ALLOWS ADEQUATE NATURAL VENTILATION AND CANNOT BE FULLY ENCLOSED.
2. OVERALL DEPTH OF A CROSS-OVER OR CROSS-THROUGH APARTMENT DOES NOT EXCEED 18 M, MEASURED GLASS LINE TO GLASS LINE.

APARTMENT VENTILATION

APARTMENT 1	YES
APARTMENT 2	YES
APARTMENT 3	YES
APARTMENT 4	YES
APARTMENT 5	YES

COMPLIES ALL UNITS ARE NATURALLY VENTILATED AND THE OVERALL DEPTH DOES NOT EXCEED 18m.

PROPOSED	CONTROL
5 APTS (100% OF TOTAL APT)	4 APTS (60% OF TOTAL APT)



3 ADAPTABLE LAYOUT A2 (SILVER LEVEL)
1:100

ADAPTABLE HOUSING

1. 20% OF RESIDENTIAL FLAT BUILDINGS, SHOP TOP HOUSING AND MIXED USED DEVELOPMENTS COMPRISING RESIDENTIAL ACCOMMODATION.
2. SILVER LEVEL OF THE LIVEABLE HOUSING GUIDELINE

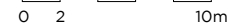
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PROJECT NAME & DESCRIPTION
PALM BEACH APARTMENTS
AT
1102 BARRENJOEY ROAD, PALM BEACH

TITLE
NATURAL VENTILATION DIAGRAMS & ADAPTABLE HOUSING



PROJECT OVERVIEW
DEVELOPMENT APPLICATION
Not to be used for construction purposes

Job No.	2006	Scale.	As indicated @ A1
Drawn by.	Author	Drawing No.	Rev
Rev Date.	08.03.23	DA.74	C



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+613 9525 2406

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