

ISSUE DATE: 9/01/2020

REF	DRAWING TITLE	SCALE	REV.
EX01	EXISTING SITE PLAN	1:200	A
EX02	EXISTING GROUND FLOOR PLAN	1:100	A
EX03	EXISTING FIRST FLOOR PLAN	1:100	A
EX04	EXISTING SECTIONS	1:100	A
EX05	EXISTING ELEVATIONS	1:100	A
EX06	EXISTING 3D EXTERNAL VIEWS		A
DA01	LOCALITY & SITE ANALYSIS PLAN		B
DA02	AREA CALCULATIONS	1:200, 1:100	D
DA03	SITE PLAN	1:200	C
DA04	EXCAVATION / EROSION & SEDIMENT CONTROL PLAN	1:100	B
DA05	DEMOLITION PLAN	1:100	B
DA06	GROUND FLOOR PLAN	1:100	C
DA07	FIRST FLOOR PLAN	1:100	C
DA08	SECOND FLOOR PLAN	1:100	D
DA09	SECTIONS	1:100	C
DA10	ELEVATIONS	1:100	D
DA11	SWIMMING POOL PLANS	1:50	B
DA12	3D EXTERNAL VIEWS 01		D
DA13	3D EXTERNAL VIEWS 02		B
DA14	3D EXTERNAL VIEWS 03		B
DA15	EXTERNAL VIEWS FROM FOOTPATH 01		D
DA16	EXTERNAL VIEWS FROM FOOTPATH 02		D
DA17	INTERNAL 3D VIEWS		B
DA18	WINDOW SCHEDULE		B
DA21	SHADOW DIAGRAMS - 21 JUNE - 9AM	1:200	C
DA22	SHADOW DIAGRAMS - 21 JUNE - 12PM	1:200	C
DA23	SHADOW DIAGRAMS - 21 JUNE - 3PM	1:200	C

LEGEND	
	BOUNDARY LINE
	EXISTING STRUCTURE TO REMAIN
	EXISTING STRUCTURE TO BE DEMOLISHED
	BRICK
	TIMBER STRUCTURE
	CONCRETE STRUCTURE
	STEEL STRUCTURE
	FC SHEET, CONCRETE OR RENDER FINISH
	TIMBER FINISH
	GLAZING

# 64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094

## ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

### DEVELOPMENT APPLICATION

LUCY SHEPHERD & IAN DONALDSON



SUITE 1, 36-42 SYDNEY RD, MANLY NSW 2095  
9929 1279 | admin@mmjarchitects.com.au



### BASIX COMMITMENTS

#### Pool and Spa:

<b>Rainwater tank:</b>	Install a rainwater tank of at least 721 litres on site. The rainwater tank must meet and be installed in accordance with the requirements of all applicable regulatory authorities. The rainwater tank must collect rainwater from at least 51.59m <sup>2</sup> of roof area. A tap located within 10 metres of the edge of the pool must connect to the rainwater tank.
<b>Outdoor swimming pool:</b>	The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 7.2 kilolitres. The swimming pool must have a pool cover. Install a pool pump timer for the swimming pool. Heating system for the swimming pool that is part of this development: solar (electric boosted)

#### Fixtures and Systems:

<b>Hot water:</b>	Install a solar (electric-boosted) hot water system in the development that is eligible to create Renewable Energy Certificates under the current (Commonwealth) Renewable Energy (Electricity) Regulations.
<b>Lighting:</b>	A minimum of 40% of new or altered light fixtures are to be fitted with fluorescent, compact fluorescent or LED lamps.
<b>Fixtures:</b>	New or altered showerheads to have a flow rate no greater than 9 Litres per minute or a 3 star water rating. New or altered toilets to have a flow rate no greater than 4 litres per average flush or a minimum 3 star rating. New or altered taps to have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

#### Construction:

Insulation requirements:		
Construction:	Additional insulation required (r-value):	Other specifications:
Floor above existing dwelling or building.	Nil	
External wall: framed (fibro clad).	R1.30 (or R1.70 including construction)	
Flat ceiling, pitched roof.	Ceiling: R1.45 (up), roof: foil backed blanket (55mm)	Medium (solar absorptance 0.475 - 0.70)
Raked ceiling, pitched/skillion roof: framed.	Ceiling: R1.74 (up), roof: foil backed blanket (55mm)	Medium (solar absorptance 0.475 - 0.70)

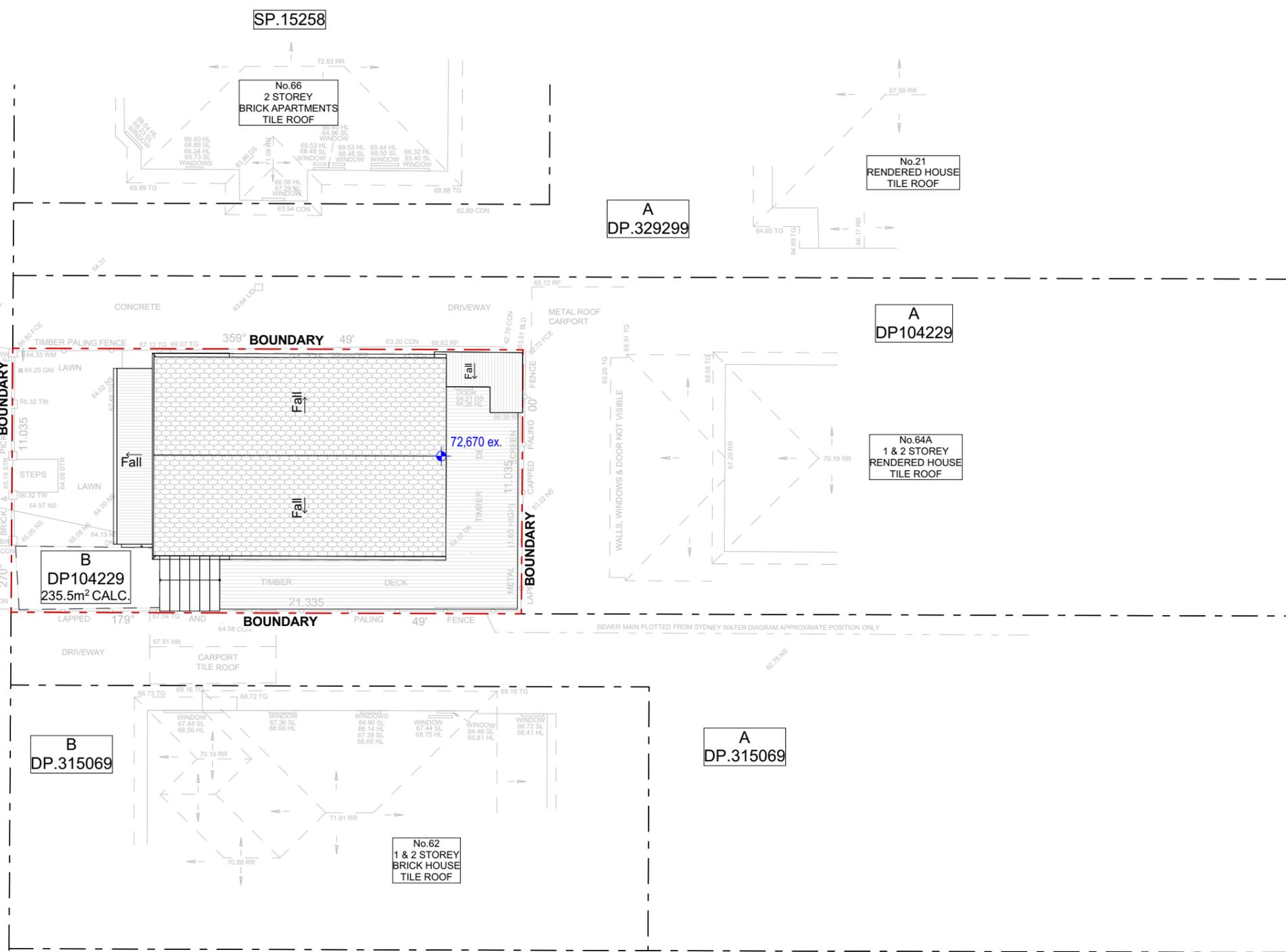
#### Glazing Requirements:

Windows and glazed doors:	
Window/door no. W01 - W11	Frame and glass type: Timber or uPVC, single pyrolytic low-e, (or U-value: 3.99, SHGC: 0.4)
Skylights:	
Skylight no. SK1 - SK4	Frame and glass type: Timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)



STREET

FAIRLIGHT



EXISTING SITE PLAN  
1:200

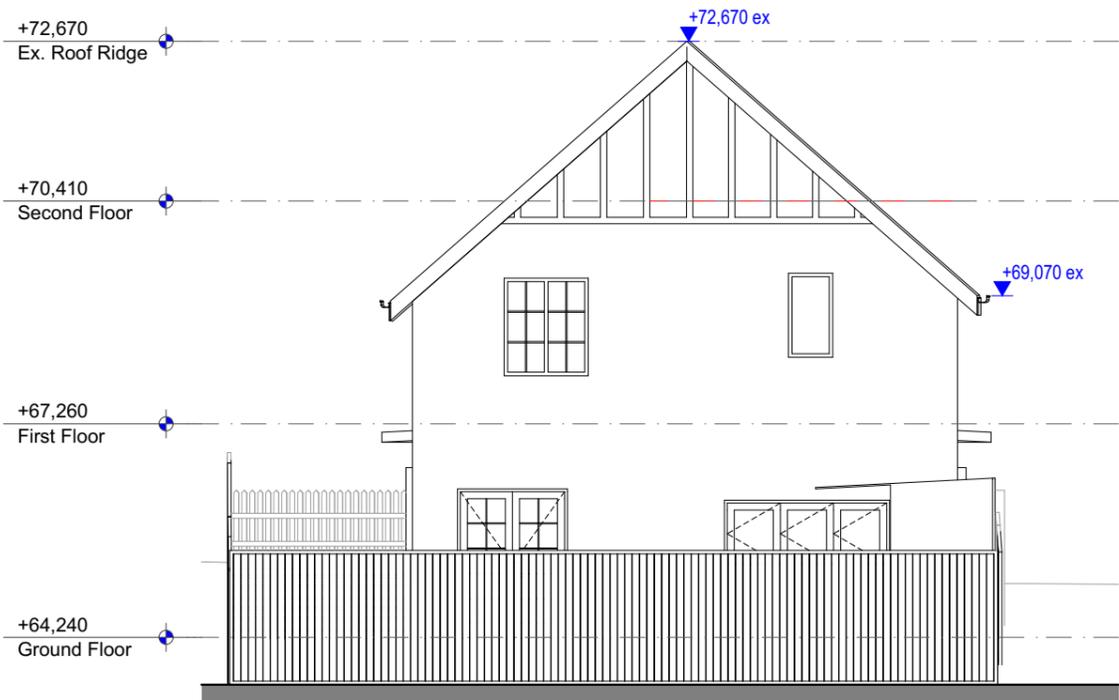
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REV	DATE	DESCRIPTION
A	03.10.2019	DEVELOPMENT APPLICATION ISSUE

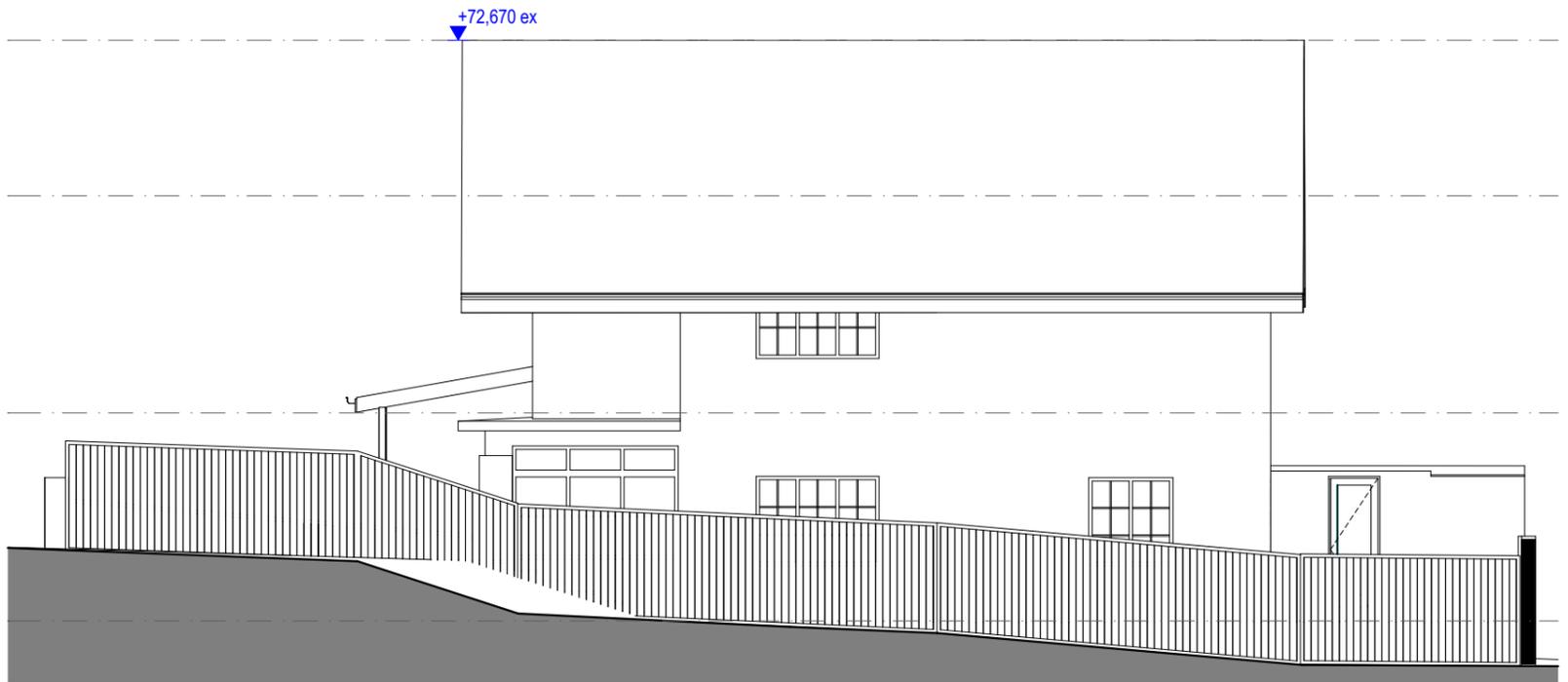
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PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING  
**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**  
TITLE:  
EXISTING SITE PLAN

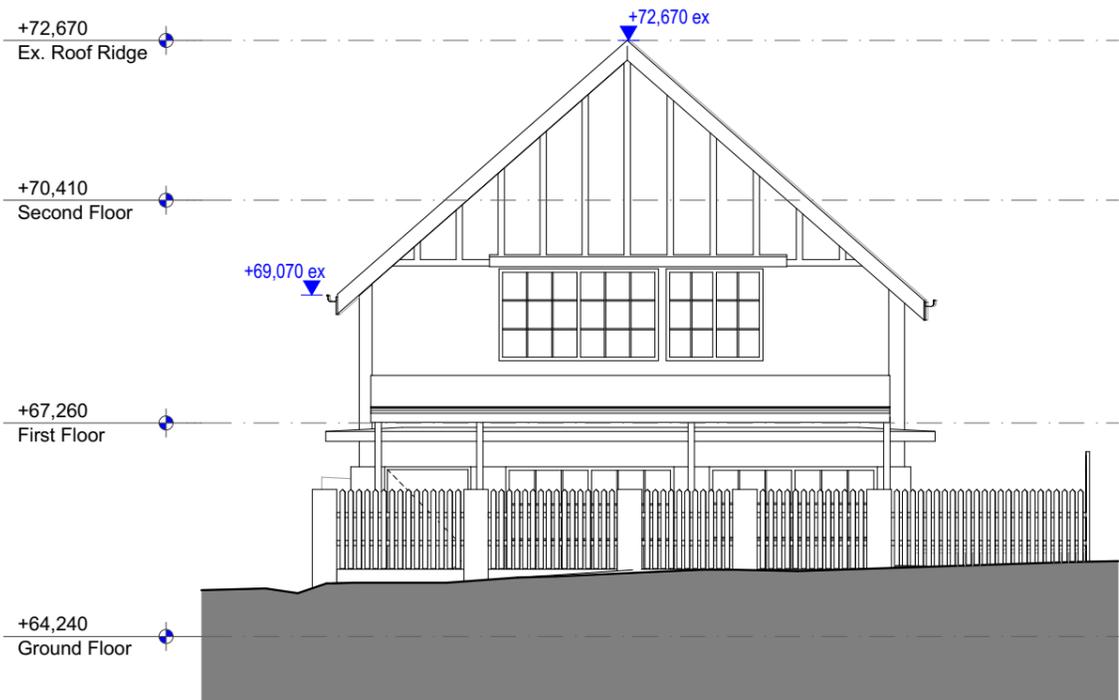
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DRAWN: VAC	
DATE: 9/01/2020	
JOB NO: <b>1915</b>	



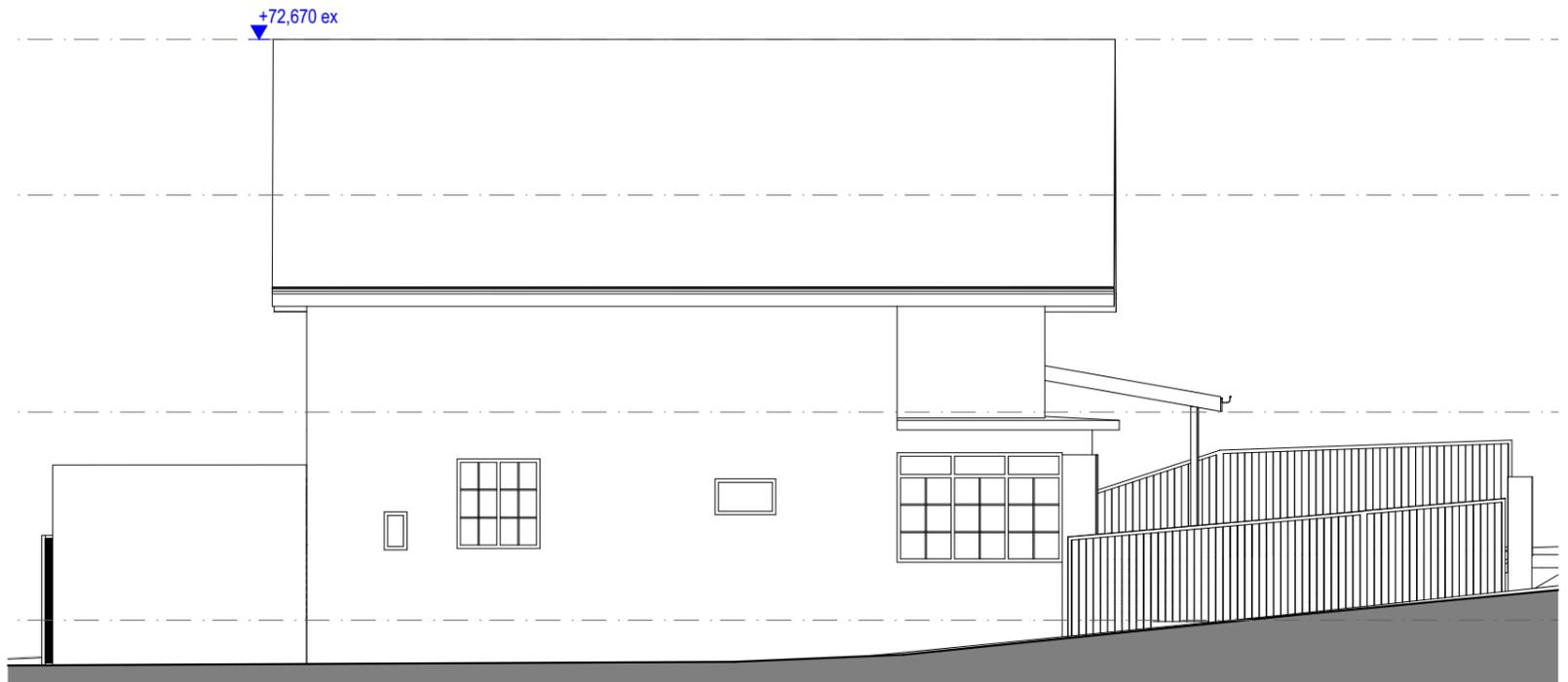
**N** EXISTING NORTH ELEVATION  
1:100



**E** EXISTING EAST ELEVATION  
1:100



**S** EXISTING SOUTH ELEVATION  
1:100



**W** EXISTING WEST ELEVATION  
1:100

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**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

TITLE:  
EXISTING ELEVATIONS

SCALE: 1:100  
DRAWN: VAC  
DATE: 9/01/2020  
JOB NO: **1915**

DRAWING NO:  
**EX05**  
ISSUE:  
**A**



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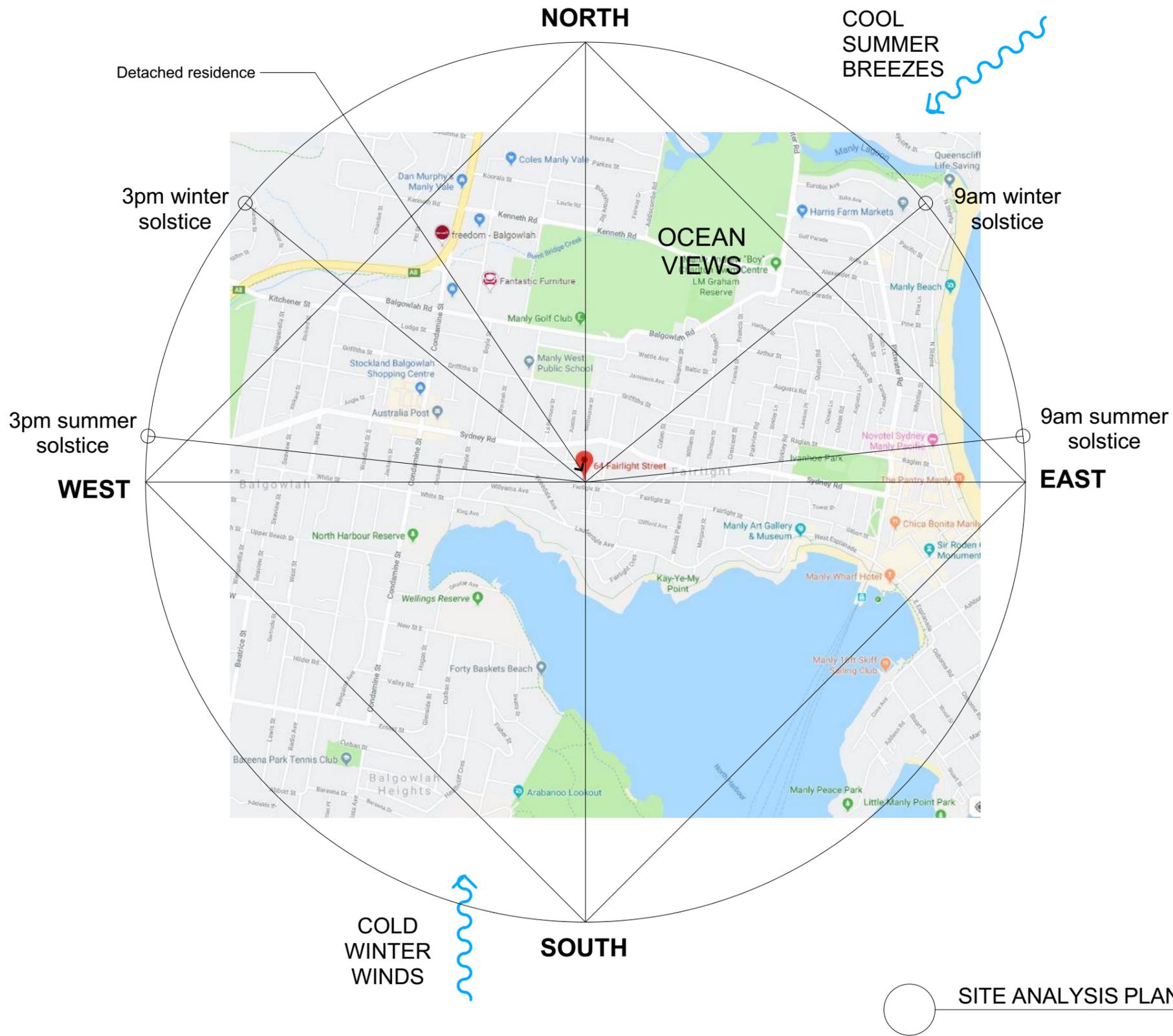
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**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**  
 TITLE: **EXISTING 3D EXTERNAL VIEWS**

SCALE:  
 DRAWN: VAC  
 DATE: 9/01/2020  
 JOB NO: **1915**

DRAWING NO: **EX06**  
 ISSUE: **A**



AERIAL VIEW



STREET VIEW

SITE ANALYSIS PLAN

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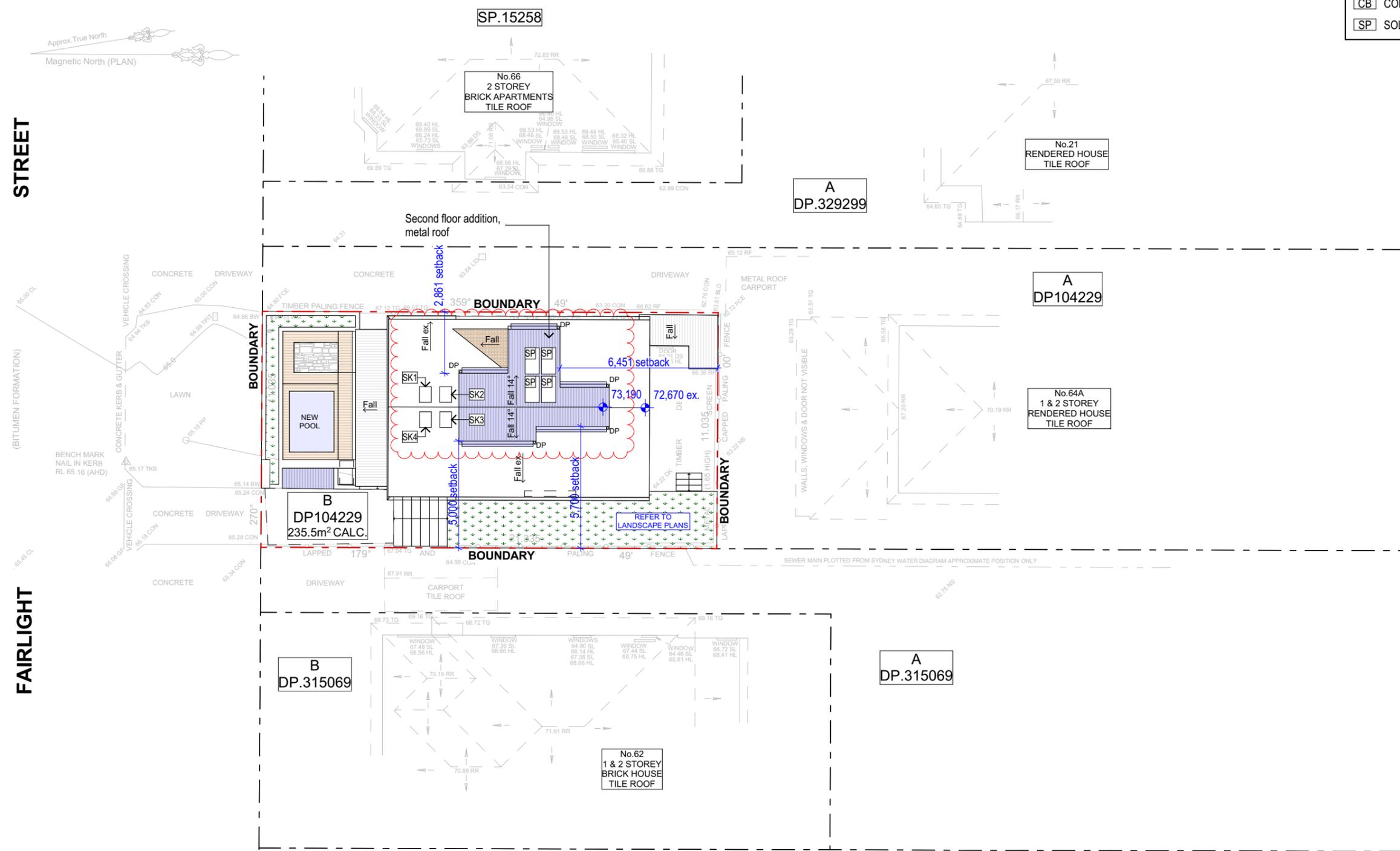
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 PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING  
**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**  
 TITLE: LOCALITY & SITE ANALYSIS PLAN

SCALE: \_\_\_\_\_  
 DRAWN: VAC  
 DATE: 9/01/2020  
 JOB NO: **1915**

DRAWING NO: **DA01**  
 ISSUE: **B**

**NOTES:**  
 1. Connect new stormwater drainage to existing stormwater system to the street.  
 2. Displayed roof falls are approximate, verify on site.

LEGEND	
	COLORBOND ROOFING
	SOLAR PANEL



**SITE PLAN**  
 1:200

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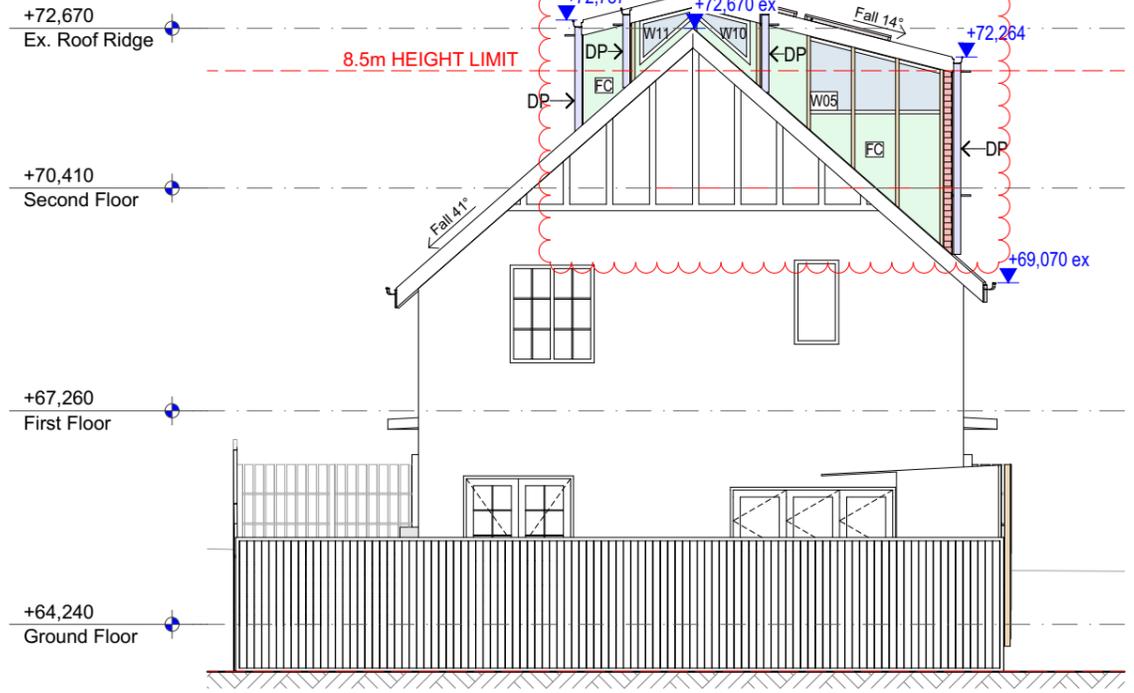
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**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**  
 TITLE: **SITE PLAN**

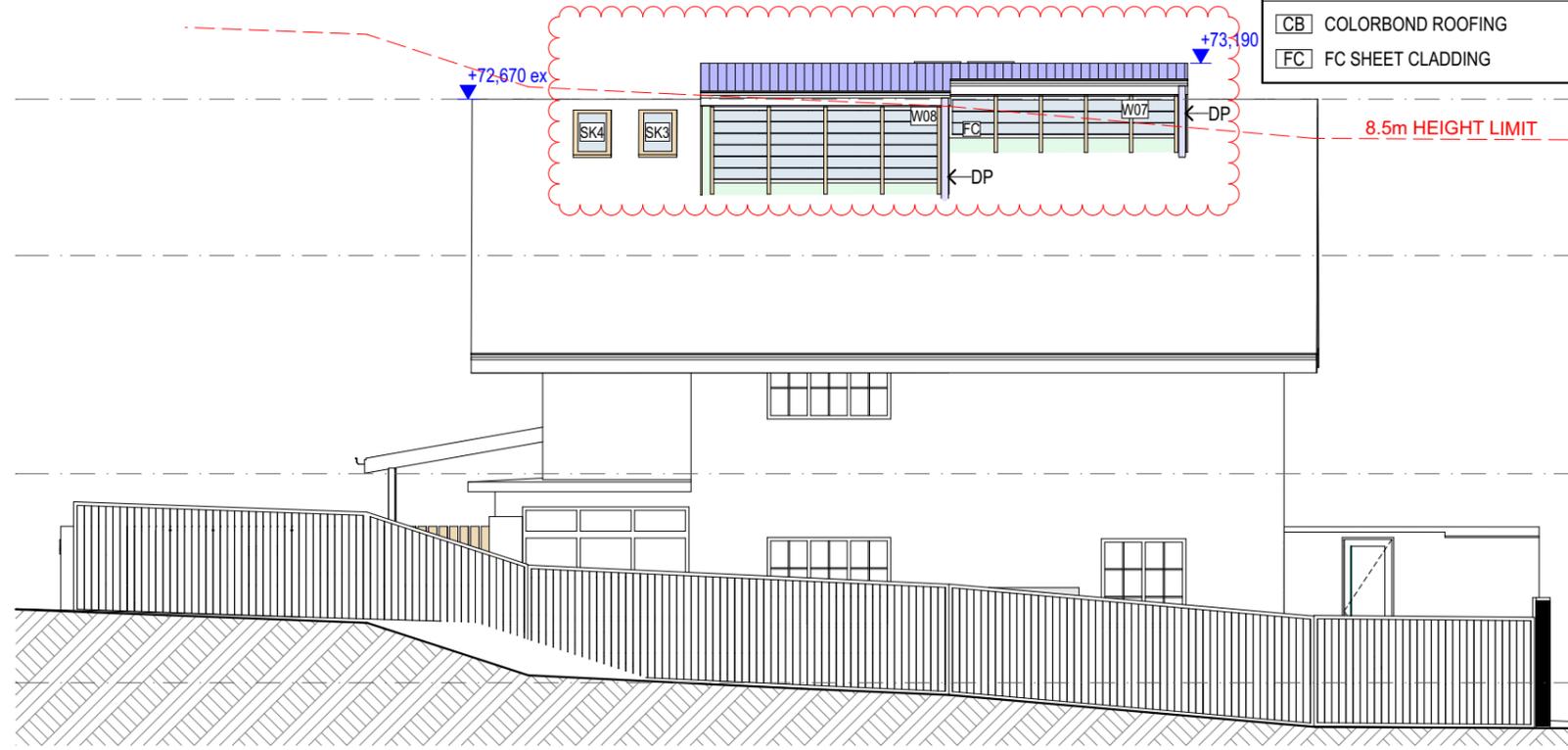
SCALE: 1:200	DRAWING NO: <b>DA03</b> ISSUE: <b>C</b>
DRAWN: VAC	
DATE: 9/01/2020	
JOB NO: <b>1915</b>	

**NOTE:**  
Displayed roof falls are approximate, verify on site.

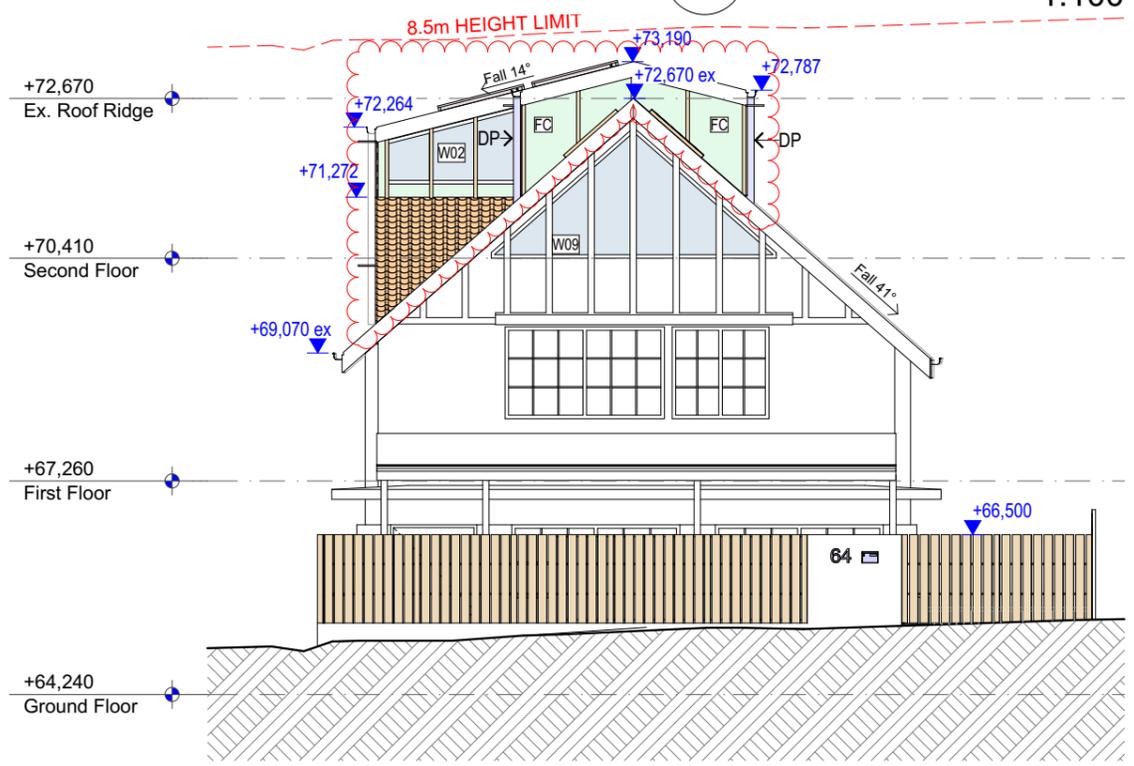
LEGEND	
CB	COLORBOND ROOFING
FC	FC SHEET CLADDING



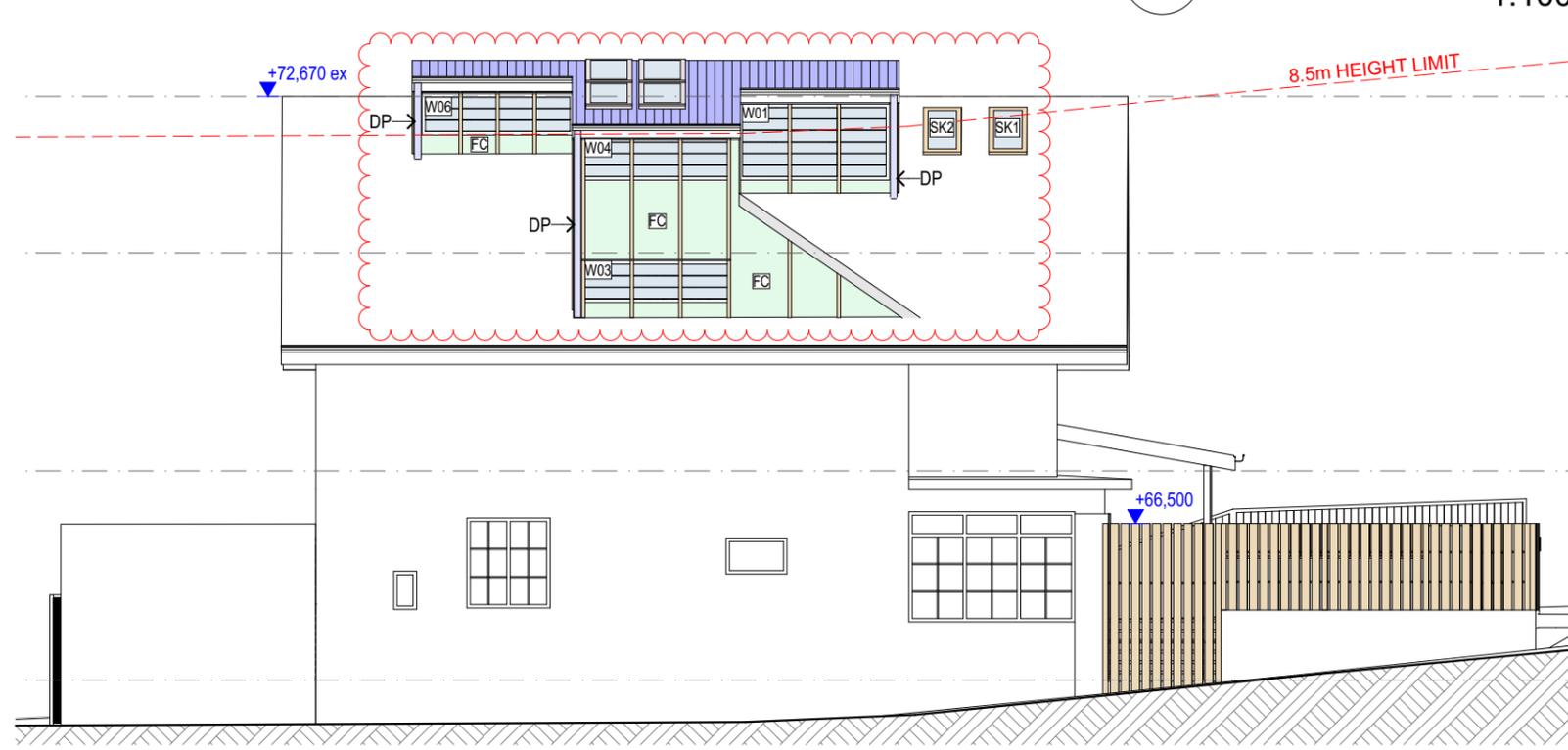
N NORTH ELEVATION  
1:100



E EAST ELEVATION  
1:100



S SOUTH ELEVATION  
1:100



W WEST ELEVATION  
1:100

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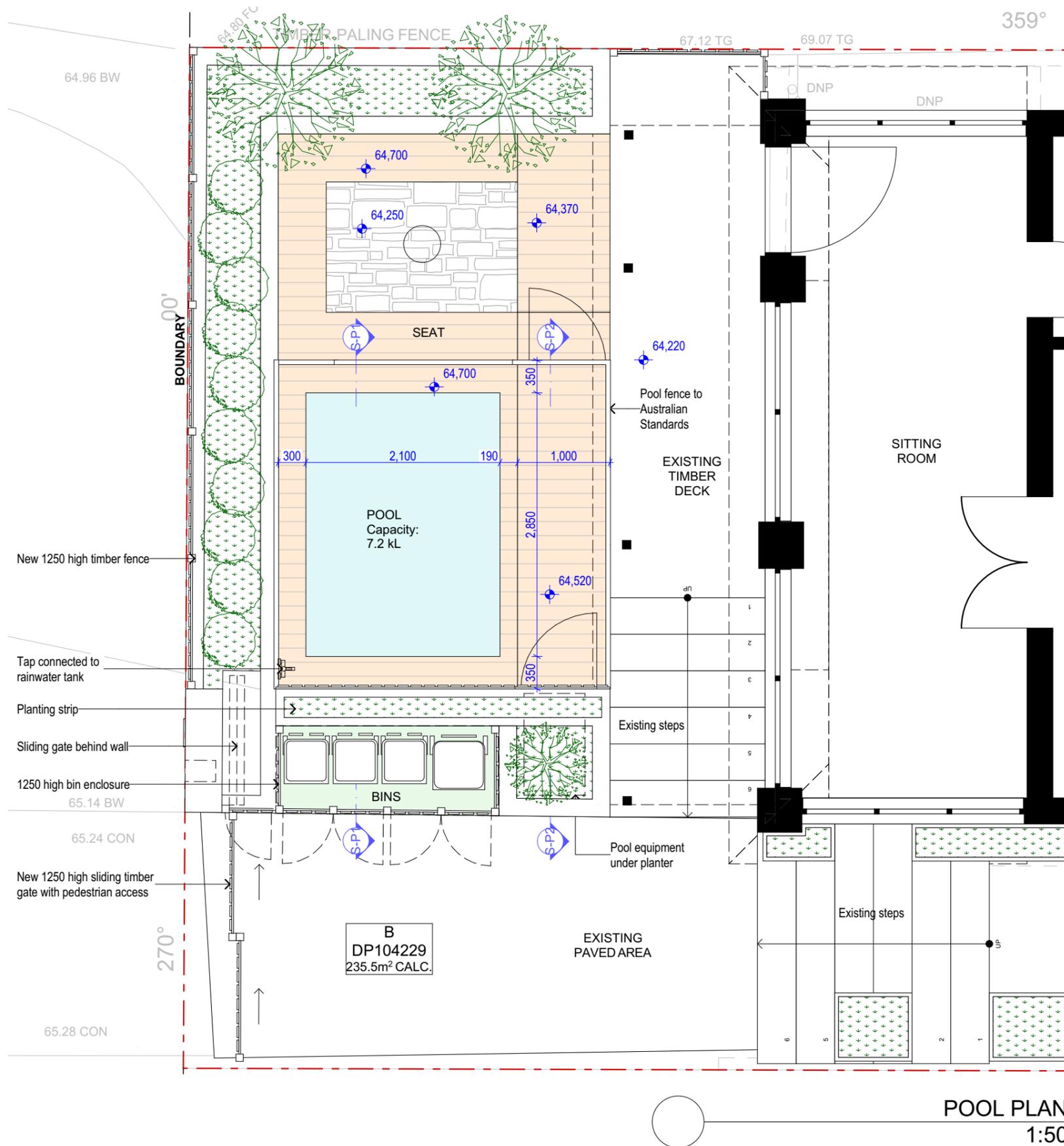
REV	DATE	DESCRIPTION
A	03.10.2019	DEVELOPMENT APPLICATION ISSUE
B	18.12.2019	AMENDMENTS TO DA - ISSUE FOR CONSULTANT
C	07.01.2019	FOR CLIENT APPROVAL
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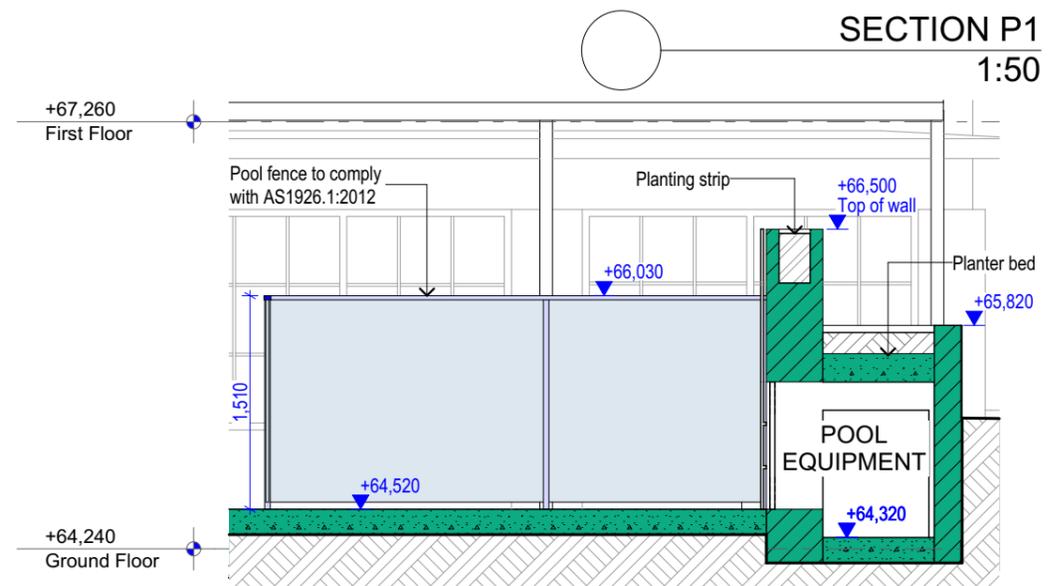
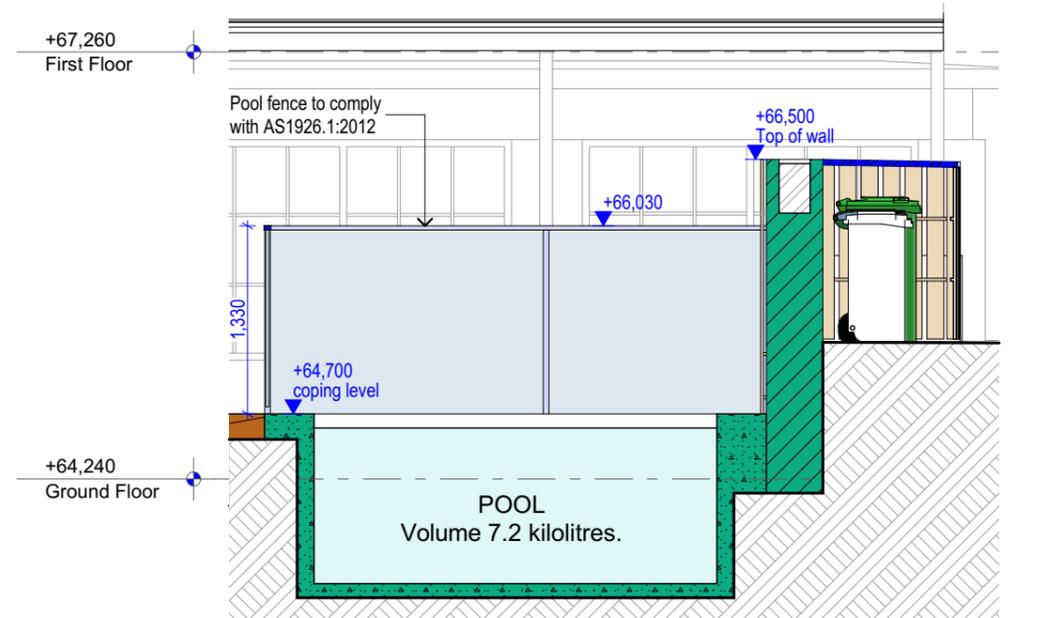
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PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING  
**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**  
TITLE: ELEVATIONS

SCALE: 1:100	DRAWING NO: DA10
DRAWN: VAC	ISSUE: D
DATE: 9/01/2020	
JOB NO: 1915	



Design Specification	Building Code of Australia (BCA) requirement (for version of BCA applicable as on the date of submission of DA)
All glazing including decals shall comply with AS 1288.1-2006, AS 2047-1999 and AS 1170.1-2002	Part 3.6 Glazing, requires all glazing to comply with AS 1288-2006 and AS 2047-1999. The BCA requires glazing members to comply with Structural Loading Code AS 2280.1-2002. Glass with a high potential for human impact shall strictly comply with the human impact safety requirements of the BCA.
Swimming Pool Safety Fencing	Part 3.9.3, of the BCA specifies all requirements of swimming pool safety fencing. Compliance with AS1926.1-2012, including 1800mm high boundary fencing acting as pool fence/barriers. 1200mm high pool fence/barriers shall surround the pool with no doors of building permitted to open onto pool areas. Any windows shall be sufficiently protected in accordance with AS1926.1-2012. NCZ shall be provided to all swimming pool safety fence/barriers in accordance with AS1926.1-2012. AS 1288-2006 specifies glazing requirements when glass is incorporated into a pool fence/barrier. Certification post construction will be required.
Swimming Pool Recirculation Systems	Part 3.9.4. of the BCA specifies all requirements of swimming pool and spa recirculation systems. AS1926.3-2010 shall be complied with and certified post construction.



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**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**  
TITLE: SWIMMING POOL PLANS

SCALE: 1:50  
DRAWN: VAC  
DATE: 9/01/2020  
JOB NO: 1915

DRAWING NO: **DA11**  
ISSUE: **B**



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B	18.12.2019	AMENDMENTS TO DA - ISSUE FOR CONSULTANT
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**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

TITLE:  
**3D EXTERNAL VIEWS 01**

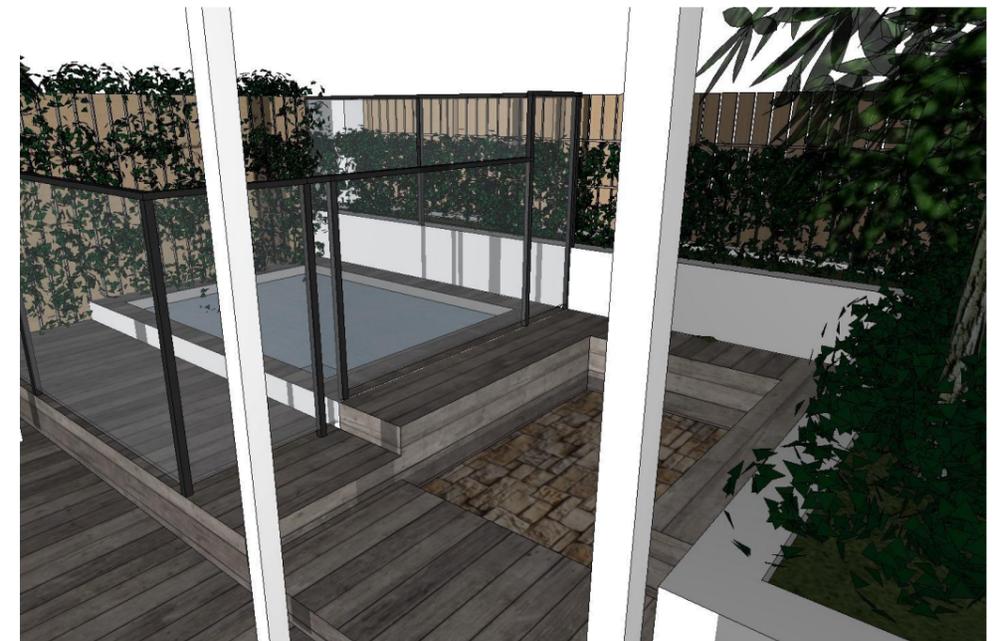
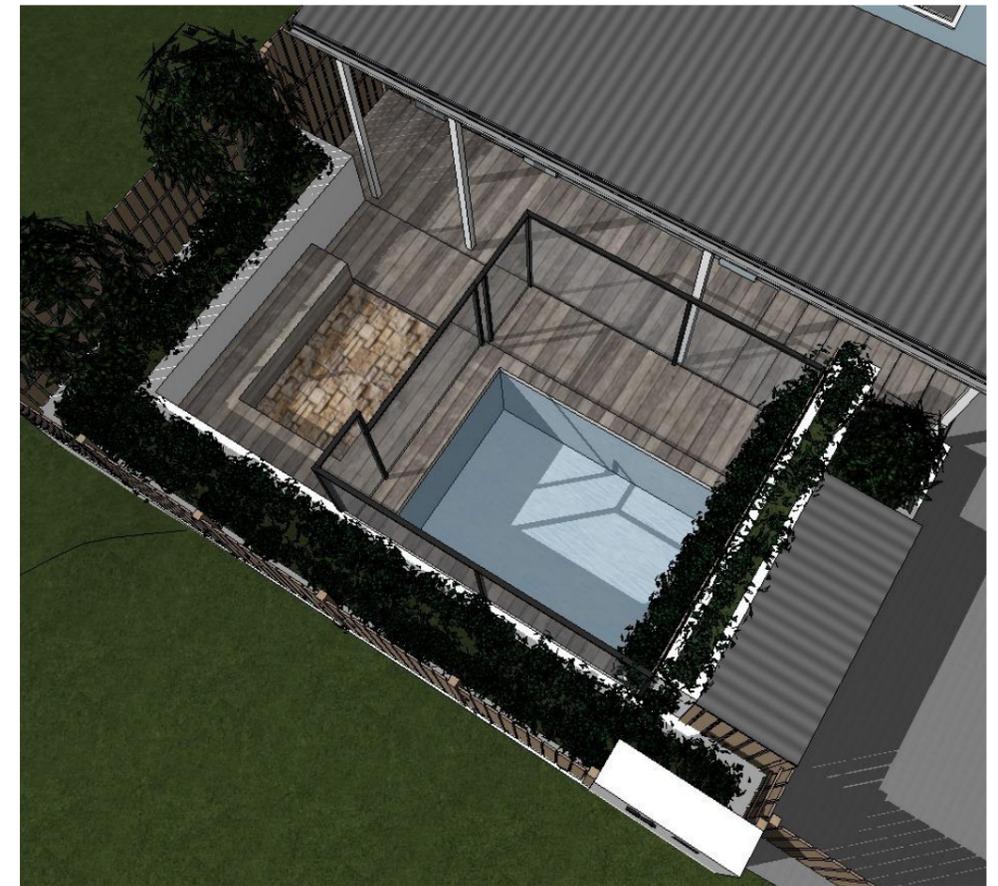
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 DRAWN: VAC

DATE: 9/01/2020

JOB NO:  
**1915**

DRAWING NO:  
**DA12**

ISSUE:  
**D**



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A	03.10.2019	DEVELOPMENT APPLICATION ISSUE
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PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

TITLE: **3D EXTERNAL VIEWS 02**

SCALE:

DRAWN: VAC

DATE: 9/01/2020

JOB NO: **1915**

DRAWING NO: **DA13**

ISSUE: **B**



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PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

TITLE: **3D EXTERNAL VIEWS 03**

SCALE:

DRAWN: VAC

DATE: 9/01/2020

JOB NO: **1915**

DRAWING NO: **DA14**

ISSUE: **B**



CAMERA 1 - EXISTING



CAMERA 2 - EXISTING



CAMERA 1 - PROPOSED



CAMERA 2 - PROPOSED

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REV	DATE	DESCRIPTION
A	20.11.2019	DEVELOPMENT APPLICATION - ADDITIONAL INFORMATION
B	19.12.2019	AMENDMENTS TO DA - ISSUE FOR COUNCIL
C	07.01.2019	FOR CLIENT APPROVAL
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**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

TITLE:  
 EXTERNAL VIEWS FROM FOOTPATH 01

SCALE:  
 DRAWN: VAC  
 DATE: 9/01/2020  
 JOB NO:  
**1915**

DRAWING NO:  
**DA15**  
 ISSUE:  
**D**



ID	W01	W02	W03	W04	W05	W06
ORIENTATION	WEST	SOUTH	WEST	WEST	NORTH	WEST
ROOM	BED 4	STAIR	STAIR	STAIR	STAIR	BATH
FRAME	Timber	Timber	Timber	Timber	Timber	Timber
GLASS	Single pyrolythic low-e					
AREA	2.39	1.65	1.29	1.29	1.65	1.31
W x H	2,175x1,100	1,930x1,100	2,155x600	2,155x600	1,930x1,100	2,190x600
PLAN						
ELEVATION						

ID	W07	W08	W09	W10	W11
ORIENTATION	EAST	EAST	SOUTH	NORTH	NORTH
ROOM	BATH	BED 4	BED 4	BATH	BATH
FRAME	Timber	Timber	Timber	Timber	Timber
GLASS	Single pyrolythic low-e				
AREA	1.99	3.66	3.89	0.29	0.29
W x H	3,310x600	3,330x1,100	4,032x1,848	755x810	755x810
PLAN					
ELEVATION					

○ WINDOW SCHEDULE

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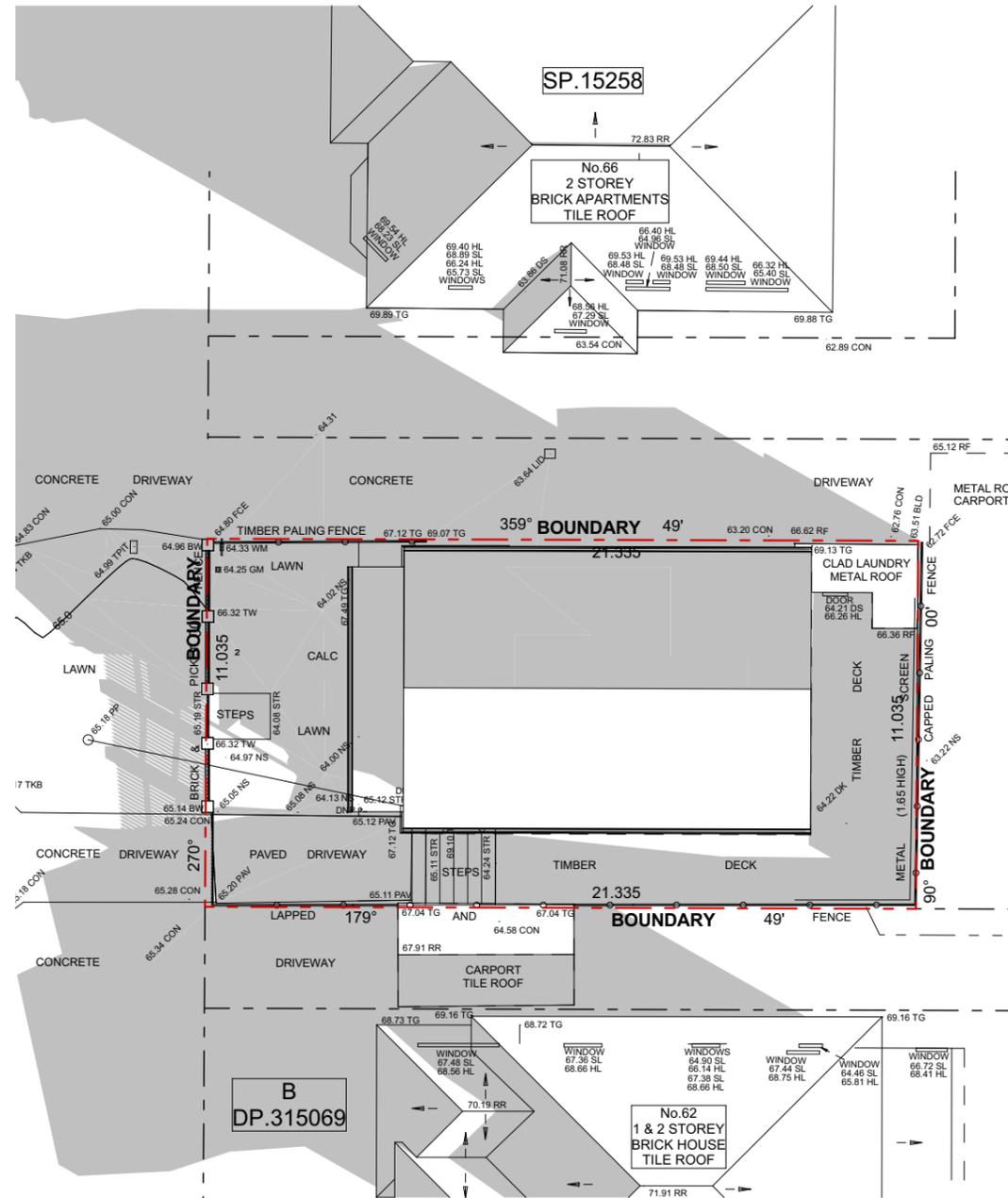
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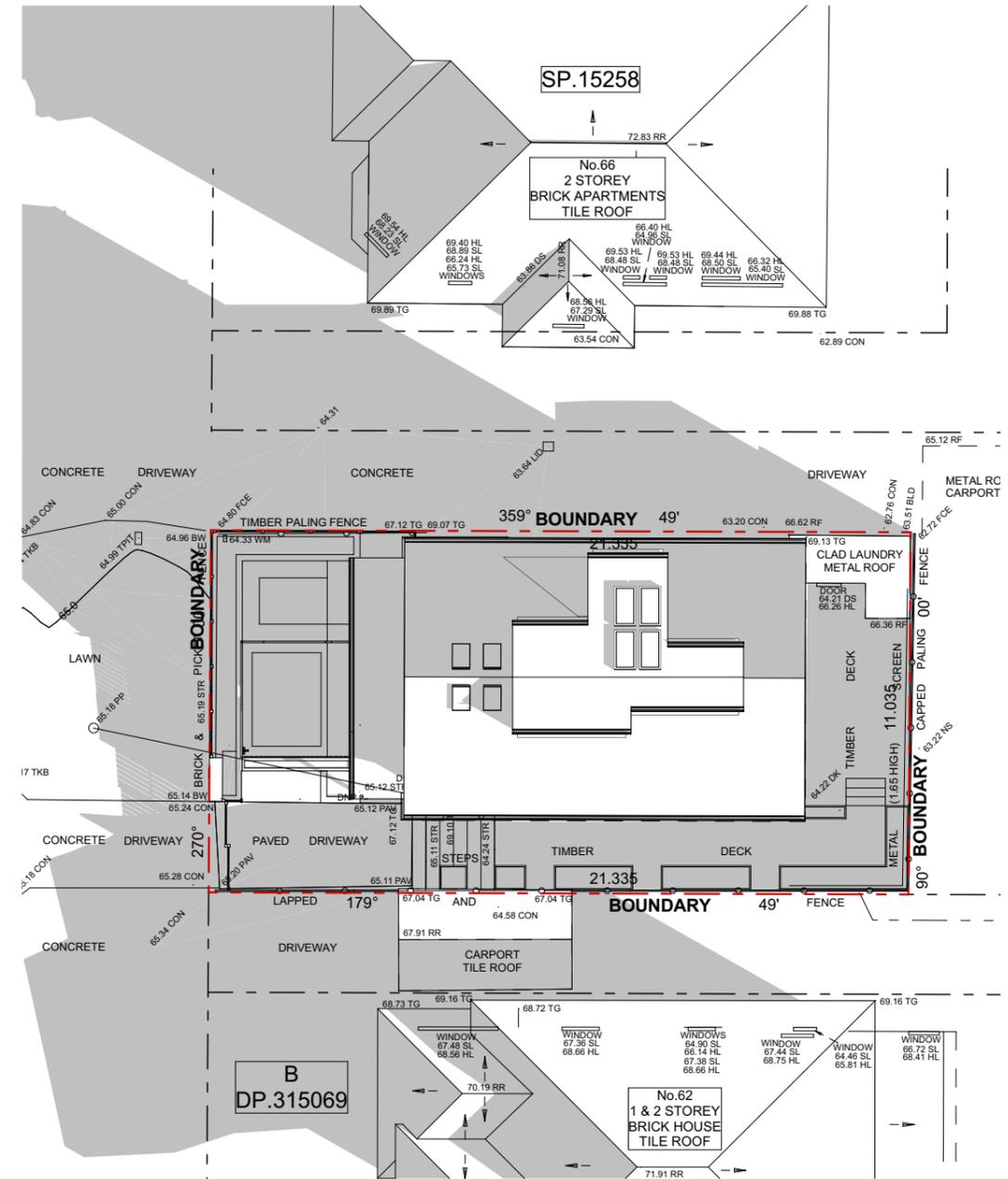
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 PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING  
**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**  
 TITLE: WINDOW SCHEDULE

SCALE: VAC  
 DRAWN: VAC  
 DATE: 9/01/2020  
 JOB NO: 1915

DRAWING NO: **DA18**  
 ISSUE: **B**



21 JUNE - 9AM - EXISTING  
1:200



21 JUNE - 9AM - PROPOSED  
1:200

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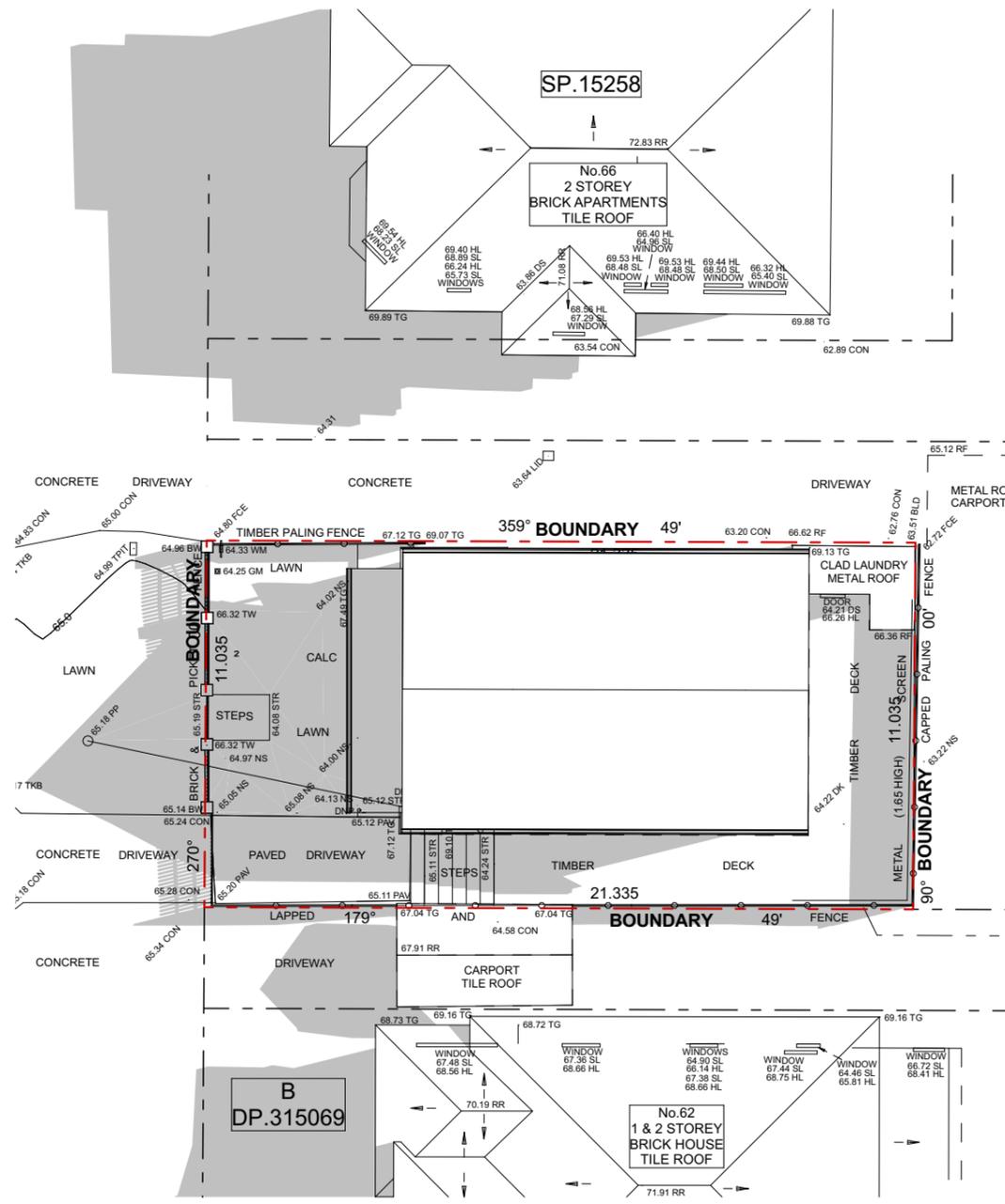
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**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

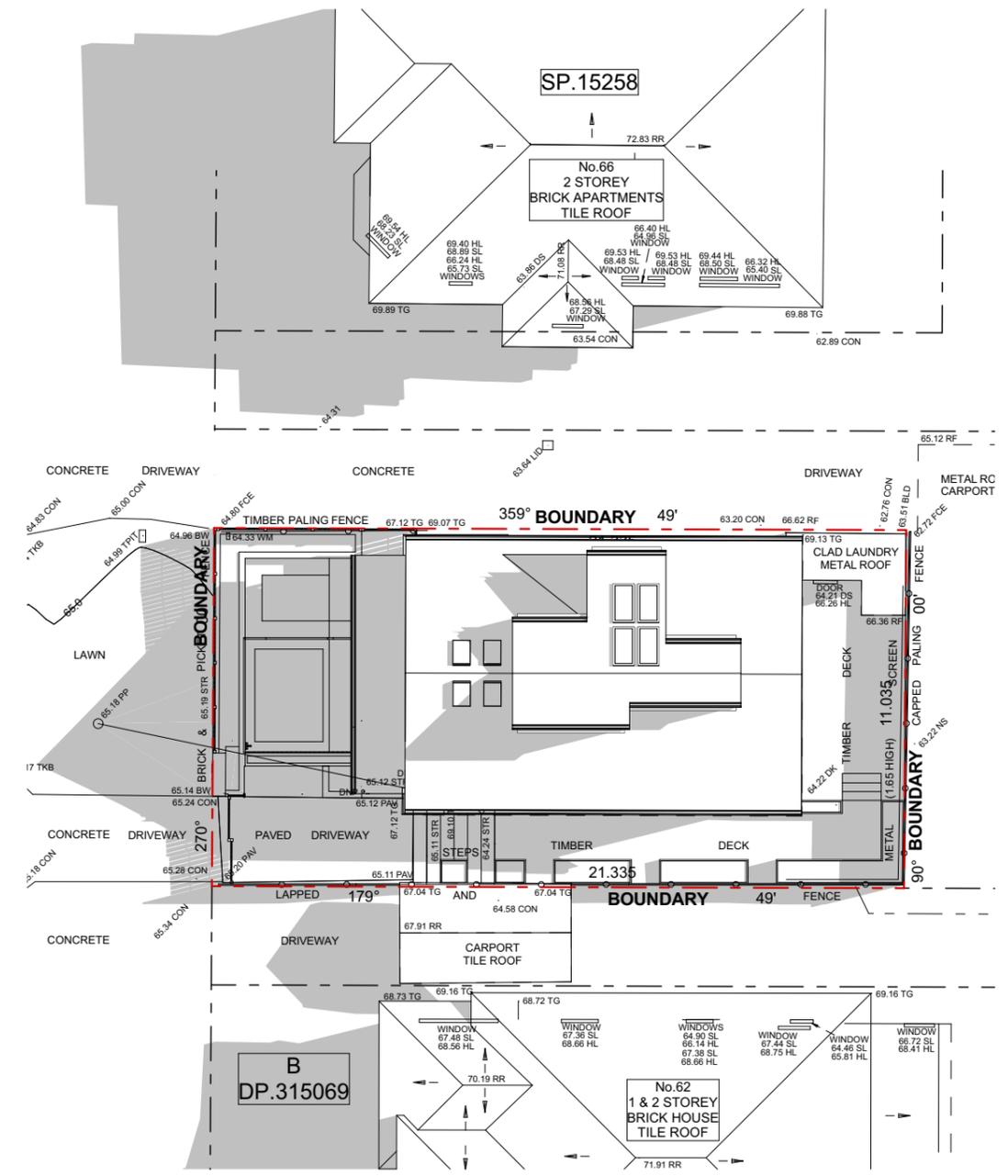
TITLE:  
SHADOW DIAGRAMS - 21 JUNE - 9AM

SCALE: 1:200  
DRAWN: VAC  
DATE: 9/01/2020  
JOB NO: 1915

DRAWING NO:  
**DA21**  
ISSUE:  
**C**



21 JUNE - 12PM - EXISTING  
1:200



21 JUNE - 12PM - PROPOSED  
1:200

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**DEVELOPMENT APPLICATION**

REV	DATE	DESCRIPTION
A	03.10.2019	DEVELOPMENT APPLICATION ISSUE
B	07.01.2019	FOR CLIENT APPROVAL
C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE

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CLIENTS:  
LUCY SHEPHERD & IAN DONALDSON

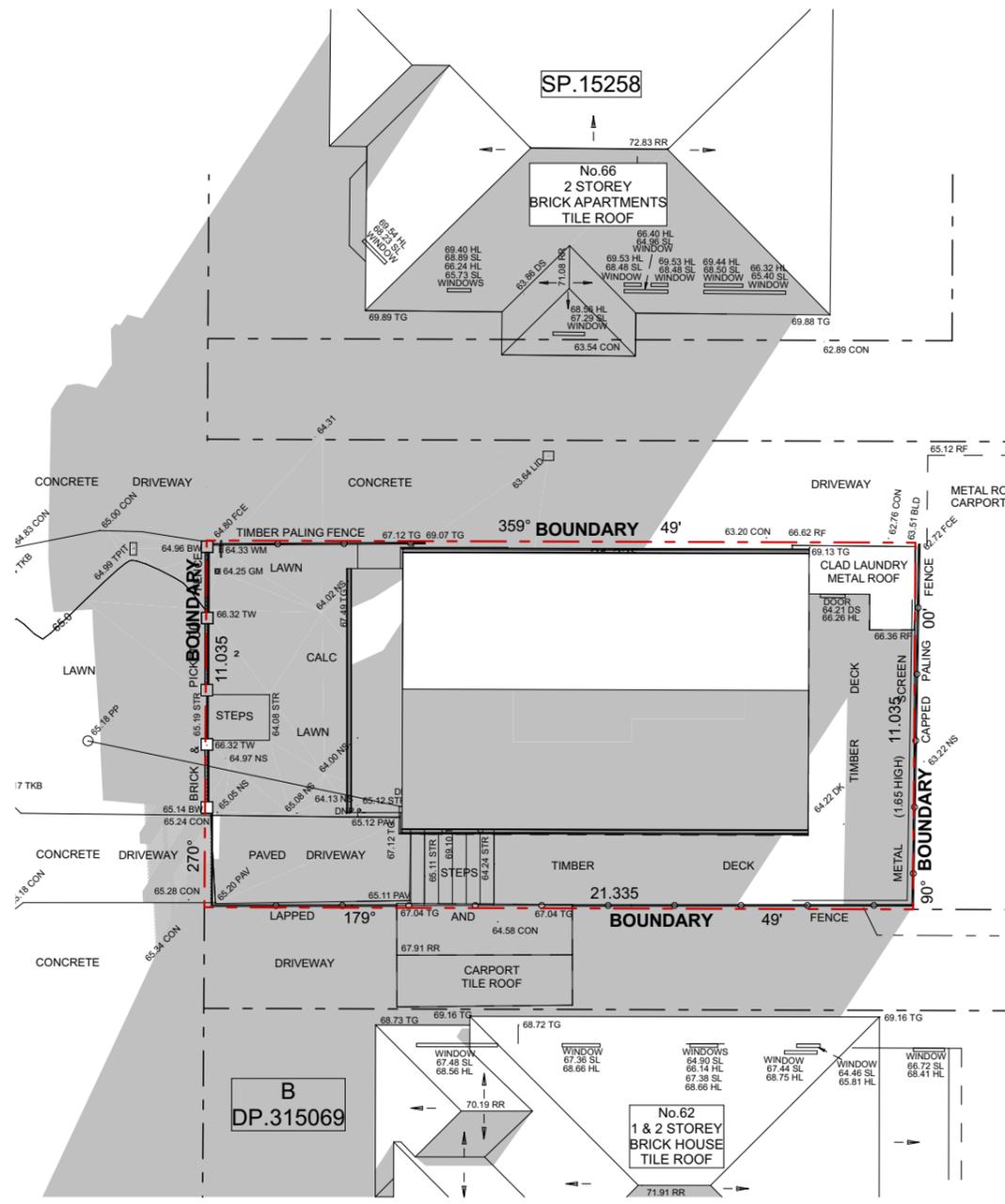
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

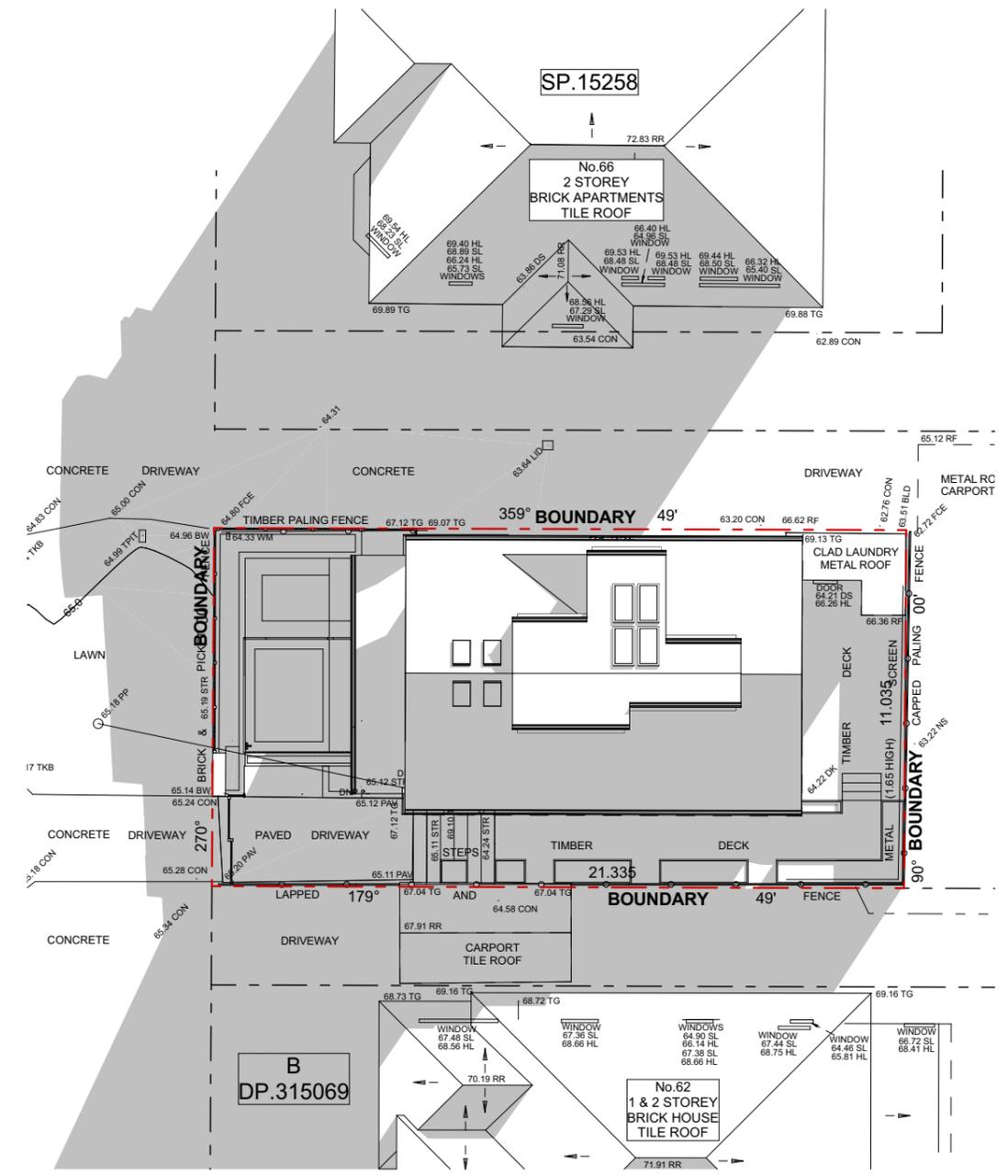
TITLE:  
SHADOW DIAGRAMS - 21 JUNE - 12PM

SCALE: 1:200  
DRAWN: VAC  
DATE: 9/01/2020  
JOB NO: 1915

DRAWING NO:  
**DA22**  
ISSUE:  
**C**



21 JUNE - 3PM - EXISTING  
1:200



21 JUNE - 3PM - PROPOSED  
1:200

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SHADOW DIAGRAMS - 21 JUNE - 3PM

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DRAWING NO:  
**DA23**  
ISSUE:  
**C**



  
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Northern Beaches Council Development Application

**Schedule of exterior finishes and colours**

Additions and alterations to existing residence at:

**64 Fairlight Street Fairlight**

September 25, 2019

ELEMENT	SUBSTRATE	COLOUR	SWATCH
ROOF	Colorbond	Surfmist	
GUTTERS AND DOWNPIPES	Colorbond	To match existing	
FENCE	Timber paling	White	
POOL FENCE	Glass balustrade	To be advised	
DECK – POOL AREA	Timber	To be advised	

EXTERNAL SEATING & FIRE PIT	Pebbles & Timber	To be advised	
WALL FINISH	Timber vertical cladding	Pale grey	
WINDOW SCREENS	Timber screens to windows and walls	White	
WINDOW FRAMES	Timber	White – to match existing	
WALL FINISH	Cement render	To be advised	