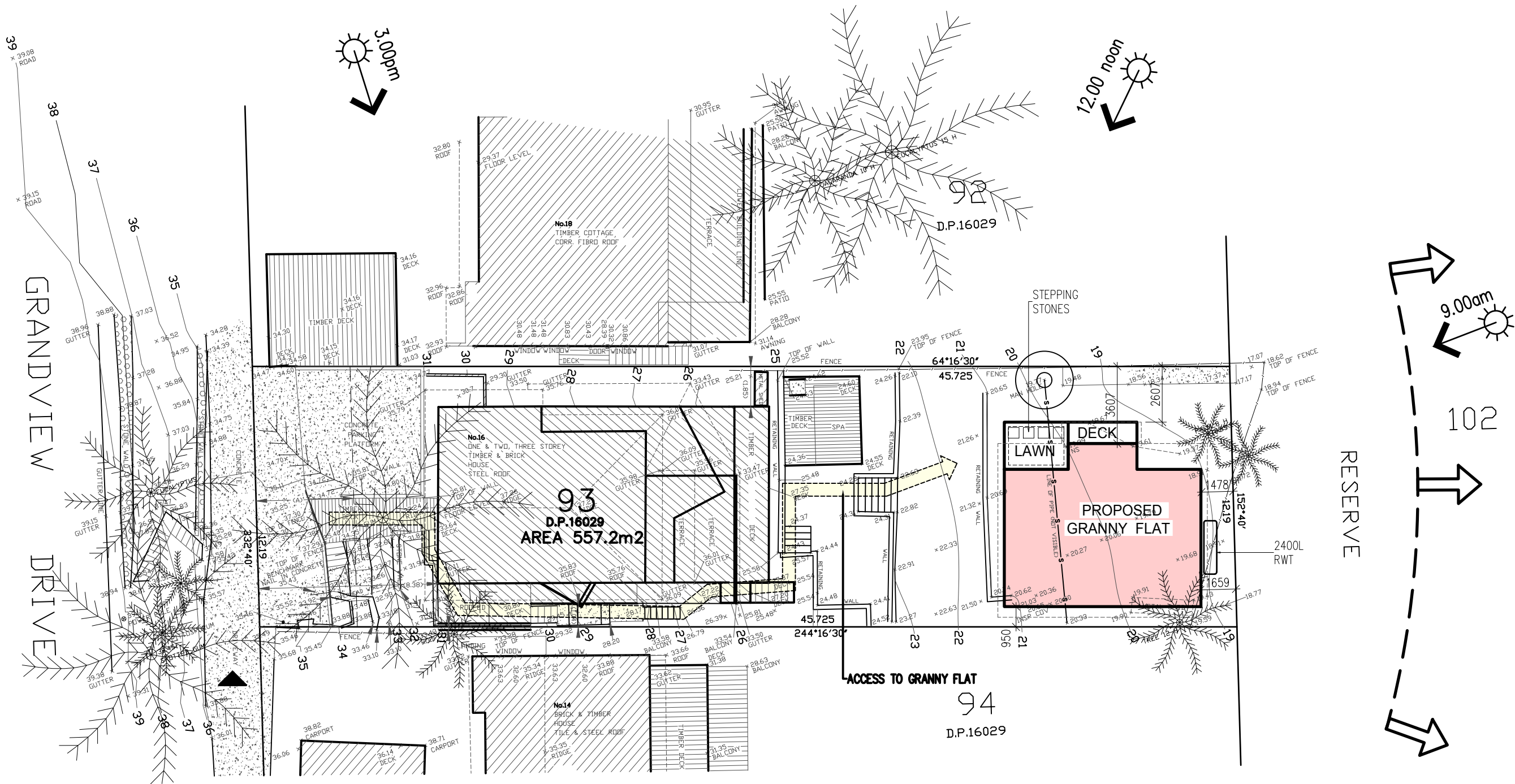
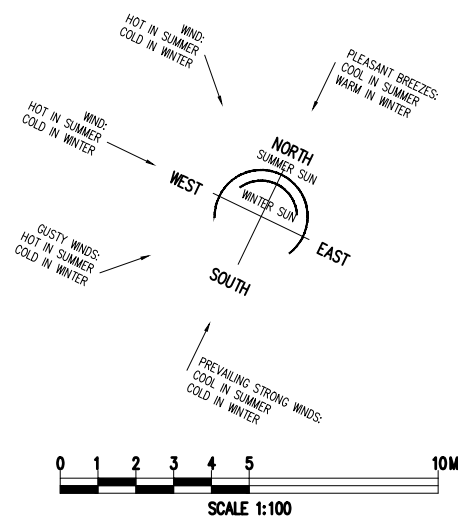




SITE PLAN AND SITE ANALYSIS PLAN
1:200

KEY

- CAR ENTRY POINT
- SUN DIRECTION - 22 JUNE
- NOISE SOURCE
- DISTRICT VIEWS OVER ADJOINING HOUSES



GENERAL NOTES:

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- All electrical power & light outlets to be determined by owner.
- Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.

1	ISSUED FOR DA	09/09/20
No.	AMENDMENT	DATE

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DESIGN BY:

MICHAL KORECKY

21 NALYA ROAD, NARRAWEENA NSW 2099

ABN: 79 393 130 294

Email: koreckym@gmail.com www.plansdesign.com.au

Phone: 99813332, Mob: 0438 148 944

PROJECT:

PROPOSED GRANNY FLAT

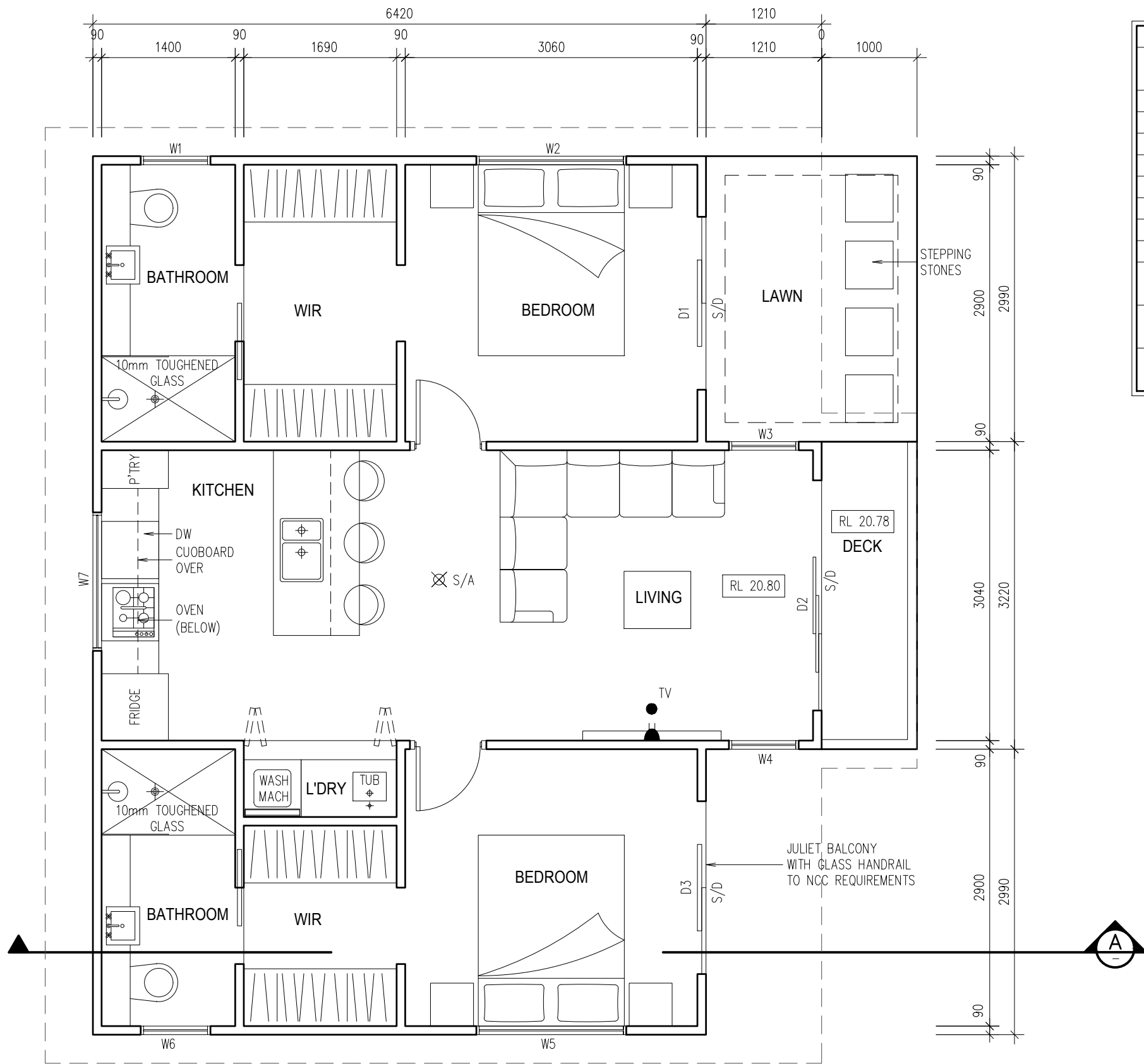
No 16 GRANDVIEW DRIVE

NEWPORT, LOT 93 IN D.P.16029

CLIENT:

MR. & MRS. MILES

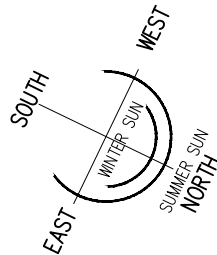
DATE: 09/09/20	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 20064	SHEET: 1



WINDOWS AND DOOR SCHEDULE (FOR BASIX PURPOSES ONLY)						
	ORIENT.	SIZE		AREA (m2)	SHADING DEVICE	FRAME AND GLASS TYPE MIN. REQUIREMENTS
		W	H			
W1	S/W	730	900	0.66	external louvre/vertical blind (fixed)	aluminium, single clear
W2	S/W	1570	600	0.94	external louvre/vertical blind (fixed)	aluminium, single clear
W3	S/W	730	1500	1.10	external louvre/vertical blind (fixed)	aluminium, single clear
W4	N/E	730	1500	1.10	external louvre/vertical blind (fixed)	aluminium, single clear
W5	N/E	1570	600	0.94	external louvre/vertical blind (fixed)	aluminium, single clear
W6	N/E	730	900	0.66	external louvre/vertical blind (fixed)	aluminium, single clear
W7	S/E	1450	500	0.73	external louvre/vertical blind (fixed)	aluminium, single clear
D1	N/W	1810	2100	3.80	PERGOLA (FIXED BATTENS) 400mm, 200mm ABOVE HEAD OF WINDOW	U-value 5.6, SHGC: 0.369-0.451
D2	N/W	2410	2100	5.06	PERGOLA (FIXED BATTENS) 400mm, 200mm ABOVE HEAD OF WINDOW	U-value 5.6, SHGC: 0.369-0.451
D3	N/W	1810	2100	3.80	PERGOLA (FIXED BATTENS) 400mm, 200mm ABOVE HEAD OF WINDOW	U-value 5.6, SHGC: 0.369-0.451

PROPOSED FLOOR PLAN
1:50

⊗ S/A – HARD WIRED SMOKE ALARM



SCALE 1:50

GENERAL NOTES:

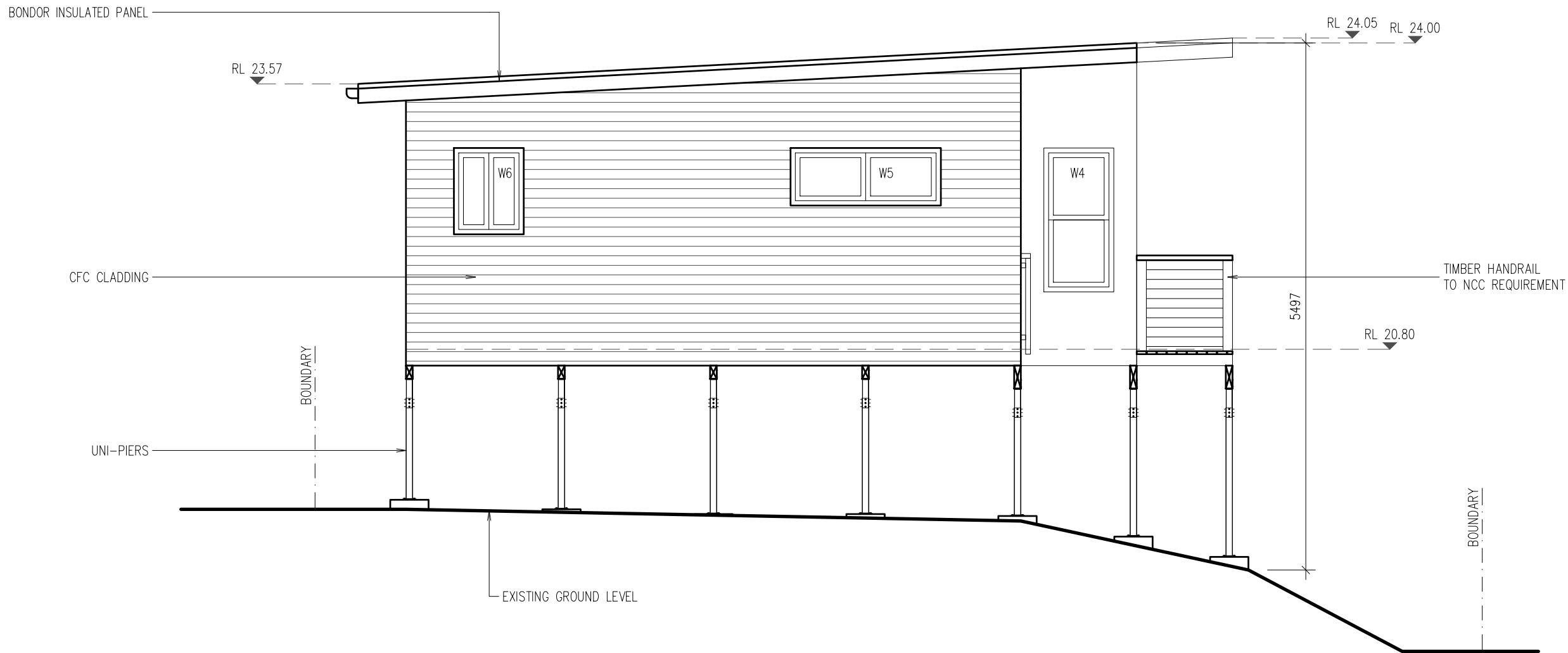
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PROJECT:
PROPOSED GRANNY FLAT
No 16 GRANDVIEW DRIVE
NEWPORT, LOT 93 IN D.P.16029
CLIENT:
MR. & MRS. MILES

DATE: 09/09/20	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 20064	SHEET: 2



PROPOSED EAST ELEVATION
1:50



SCALE 1:50

GENERAL NOTES:

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- 3 All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
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No 16 GRANDVIEW DRIVE
NEWPORT, LOT 93 IN D.P.16029
CLIENT:
MR. & MRS. MILES

DATE: 09/09/20	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 20064	SHEET: 3



SCALE 1:50

GENERAL NOTES:

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PROJECT:
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No 16 GRANDVIEW DRIVE
NEWPORT, LOT 93 IN D.P.16029
CLIENT:
MR. & MRS. MILES

DATE: 09/09/20	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 20064	SHEET: 4



PROPOSED WEST ELEVATION
1:50



SCALE 1:50

GENERAL NOTES:

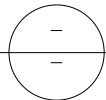
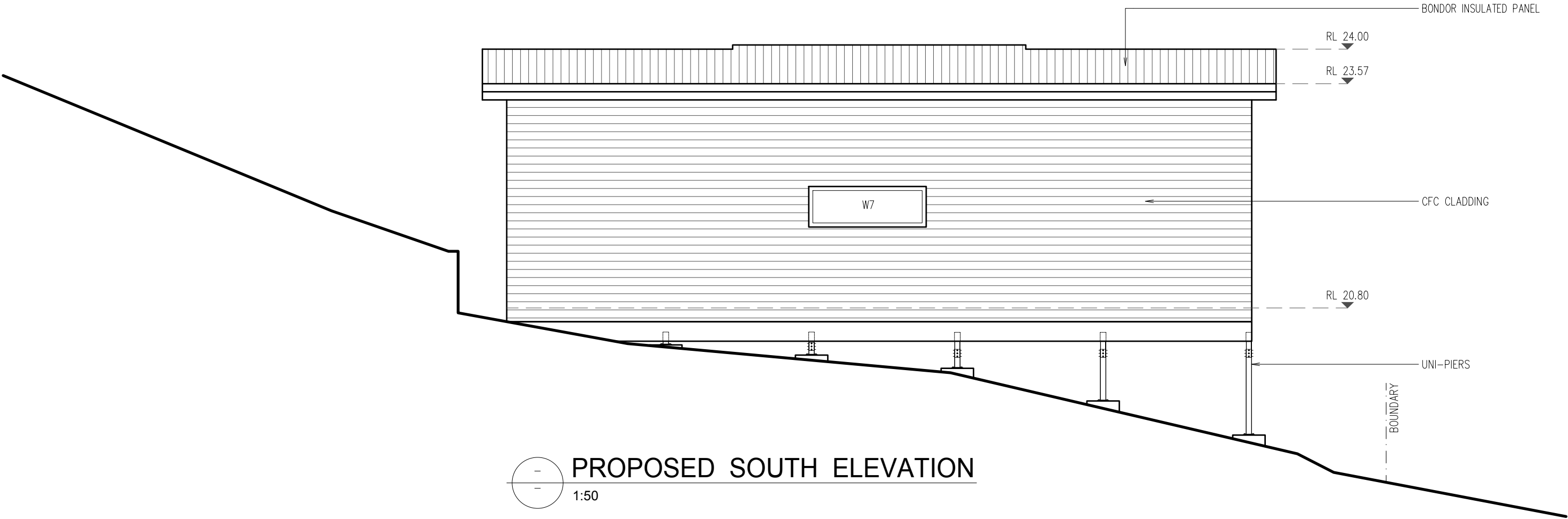
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No 16 GRANDVIEW DRIVE
NEWPORT, LOT 93 IN D.P.16029
CLIENT:
MR. & MRS. MILES

DATE: 09/09/20	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 20064	SHEET: 5



PROPOSED SOUTH ELEVATION

1:50



SCALE 1:50

GENERAL NOTES:

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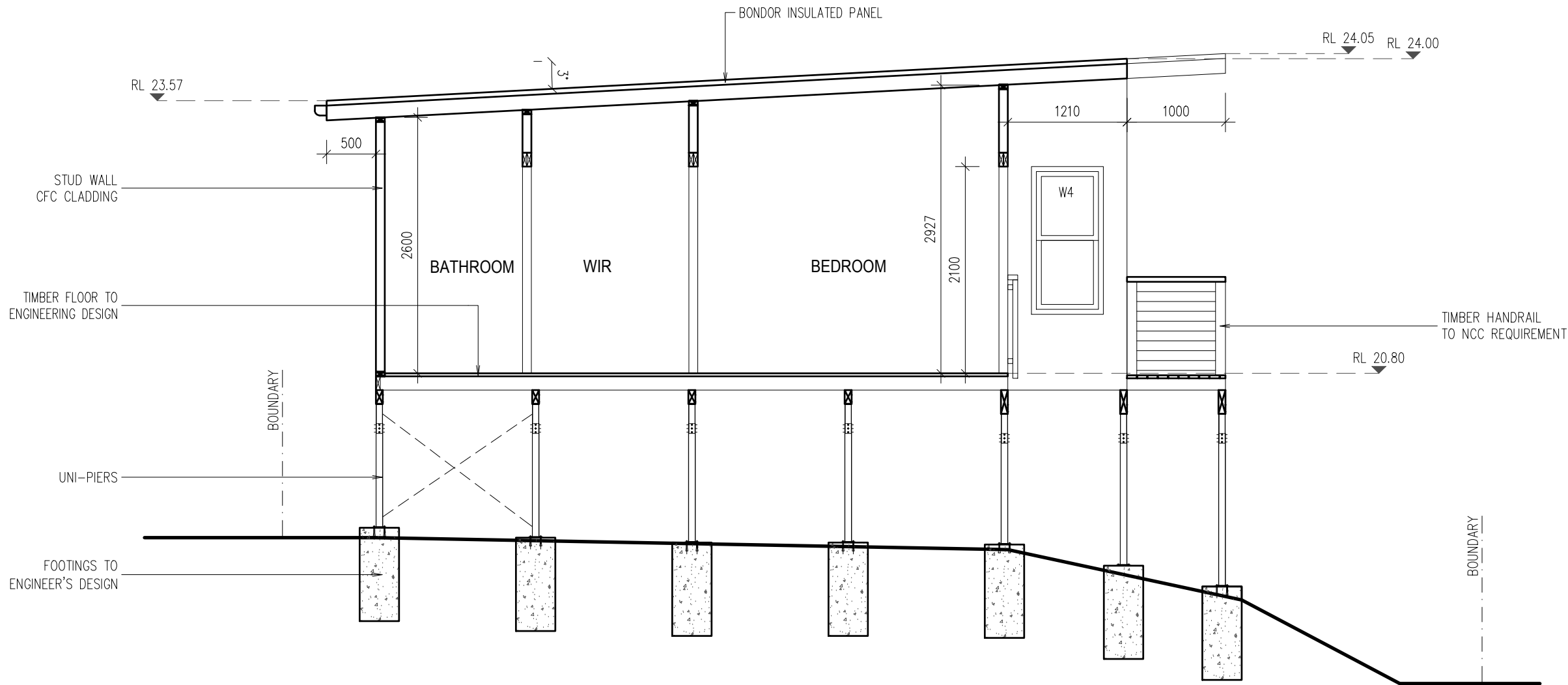
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NEWPORT, LOT 93 IN D.P.16029
CLIENT:
MR. & MRS. MILES

DATE: 09/09/20	SCALE: AS NOTED
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DRAWING Nr : 20064	SHEET: 6



SECTION A
1:50



SCALE 1:50

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NEWPORT, LOT 93 IN D.P.16029
CLIENT:
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DATE: 09/09/20	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 20064	SHEET: 7

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 11377915

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 21 September 2020
To be void, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	16 GRANDVIEW DRIVE	
Street address	16 GRANDVIEW Drive Newport 2108	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited DP16029	
Lot no.	93	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	2	
Project score		
Water	 40	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 51	Target 50

Certificate Prepared by

Name / Company Name: Michal Korecky

ABN (if applicable): 79393130294

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_12_7 Certificate No.: 11377915 Monday, 21 September 2020 page 1/9

Thermal Comfort Commitments			
	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic rooms.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Construction	Additional insulation required (R-Value)		Other specifications
floor - suspended floor above open subfloor, framed	0.8 (or 1.5 including construction) (down)		
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)		
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 4 (up), roof: fullbarking		frame: medium (solar absorptance 0.475-0.70)
Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_12_7 Certificate No.: 11377915 Monday, 21 September 2020 page 4/9

Energy Commitments			
	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric storage.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 5 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 1-phase airconditioning. Energy rating: 5 star (average zone)		✓	✓
The cooling system must provide for daylight zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 5 star (average zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 5 star (average zone)		✓	✓
The heating system must provide for daylight zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to facade or roof; Operation control: interlocked to light Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off 1 laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 2 of the bedrooms / study, dedicated		✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_12_7 Certificate No.: 11377915 Monday, 21 September 2020 page 2/9

Description of project

Project address		Assessor details and thermal loads	
Project name	16 GRANDVIEW DRIVE	Assessor number	n/a
Street address	16 GRANDVIEW Drive Newport 2108	Certificate number	n/a
Local Government Area	Northern Beaches Council	Climate zone	n/a
Plan type and plan number	deposited DP16029	Area adjusted cooling load (MJ/m²/year)	n/a
Lot no.	93	Area adjusted heating load (MJ/m²/year)	n/a
Section no.	-	Project score	
Project type	separate dwelling house	Water	✓ 40 Target 40
No. of bedrooms	2	Thermal Comfort	✓ Pass Target Pass
Site details		Energy	✓ 51 Target 50
Site area (m²)	257		
Roof area (m²)	82		
Conditioned floor area (m²)	60.0		
Unconditioned floor area (m²)	0.0		
Total area of garden and lawn (m²)	1.77		

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_12_7 Certificate No.: 11377915 Monday, 21 September 2020 page 2/9

Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.				✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.						✓
Aluminium single clear						✓
Aluminium double (air) clear						✓
TimberuPVC/Roseglass single clear						✓
TimberuPVC/Roseglass double (air) clear						✓
• For other glass or frame types, each window and glazed door must be accompanied with certification showing a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.						✓
• Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.					✓	✓
• Vertical external louvers and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.					✓	✓
• Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not exceed the height of the battens.					✓	✓
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the "overshadowing" column.				✓	✓	✓
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 12%)	Overshadowing	
North-East facing						
W4	1500	730	aluminium, single, clear	external louver/vertical blind (fixed)	not overshadowed	

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_12_7 Certificate No.: 11377915 Monday, 21 September 2020 page 5/9

Energy Commitments			
	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 1 of the living / dining rooms, dedicated		✓	✓
• the kitchen; dedicated		✓	✓
• all bedrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 2 bedroom(s)/kitchen(s) in the development for natural lighting.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 1.1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_12_7 Certificate No.: 11377915 Monday, 21 September 2020 page 6/9

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.3 but < 5.0 litres per minute) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 87 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private drain).		✓	✓
The applicant must connect the rainwater tank to: • all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply)		✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_12_7 Certificate No.: 11377915 Monday, 21 September 2020 page 3/9

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 12%)	Overshadowing
W5	600	1570	aluminium, single, clear	external louvertical blind (fixed)	not overshadowed
W6	900	730	aluminium, single, clear	external louvertical blind (fixed)	not overshadowed
South-East facing					
W7	500	1450	aluminium, single, clear	external louvertical blind (fixed)	not overshadowed
South-West facing					
W1	900	730	aluminium, single, clear	external louvertical blind (fixed)	>4 m high, 8-12 m away
W2	600	1570	aluminium, single, clear	external louvertical blind (fixed)	>4 m high, 8-12 m away
W3	1500	730	aluminium, single, clear	external louvertical blind (fixed)	>4 m high, 8-12 m away
North-West facing					
D1	2100	1610	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	pergola (fixed battens) 420 mm, 200 mm above head of window or glazed door	not overshadowed
D2	2100	2410	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	pergola (fixed battens) 420 mm, 200 mm above head of window or glazed door	not overshadowed
D3	2100	1610	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	pergola (fixed battens) 420 mm, 200 mm above head of window or glazed door	not overshadowed

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Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the "Certifier check" column must be verified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_12_7 Certificate No.: 11377915 Monday, 21 September 2020 page 8/9

BASIX REQUIREMENTS

GENERAL NOTES:

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- 8 Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.

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No.	AMENDMENT	DATE
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DESIGN BY:

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ABN: 79 393 130 294

Email: koreckym@gmail.com

www.plansdesign.com.au

Phone: 99813332, Mob: 0438 148 944

PROJECT:

**PROPOSED GRANNY FLAT
No 16 GRANDVIEW DRIVE
NEWPORT, LOT 93 IN D.P.16029**

CLIENT:

MR. & MRS. MILES

DATE: 09/09/20

SCALE: AS NOTED

DRAWN: MK

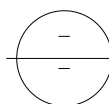
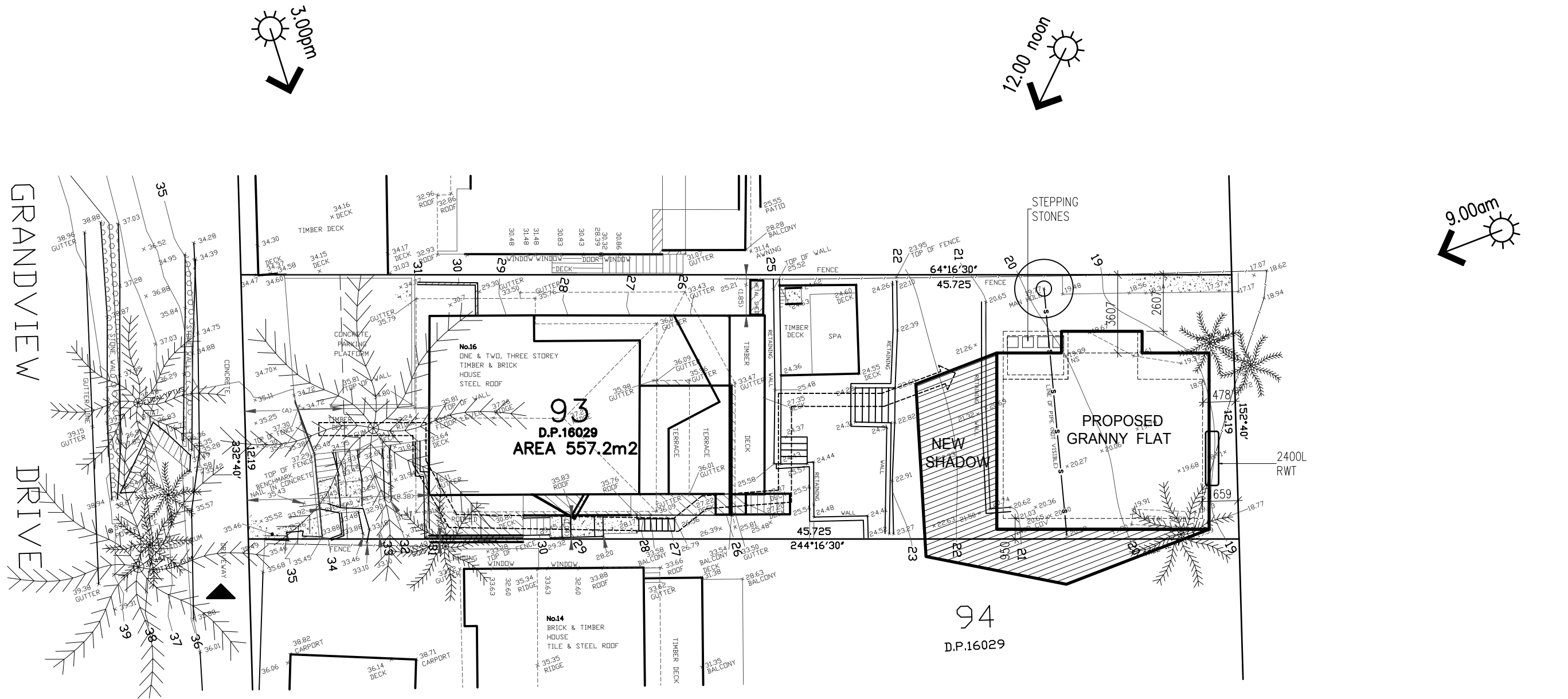
ISSUE: 1

DRAWING Nr :

20064

SHEET:

8



SHADOW DIAGRAM AZIMUTH 43° ALTITUDE 20° 21/6 - 9:00

1:200

A3 SHEET SIZE
0 1 2 3 4 5 10M
SCALE 1:200

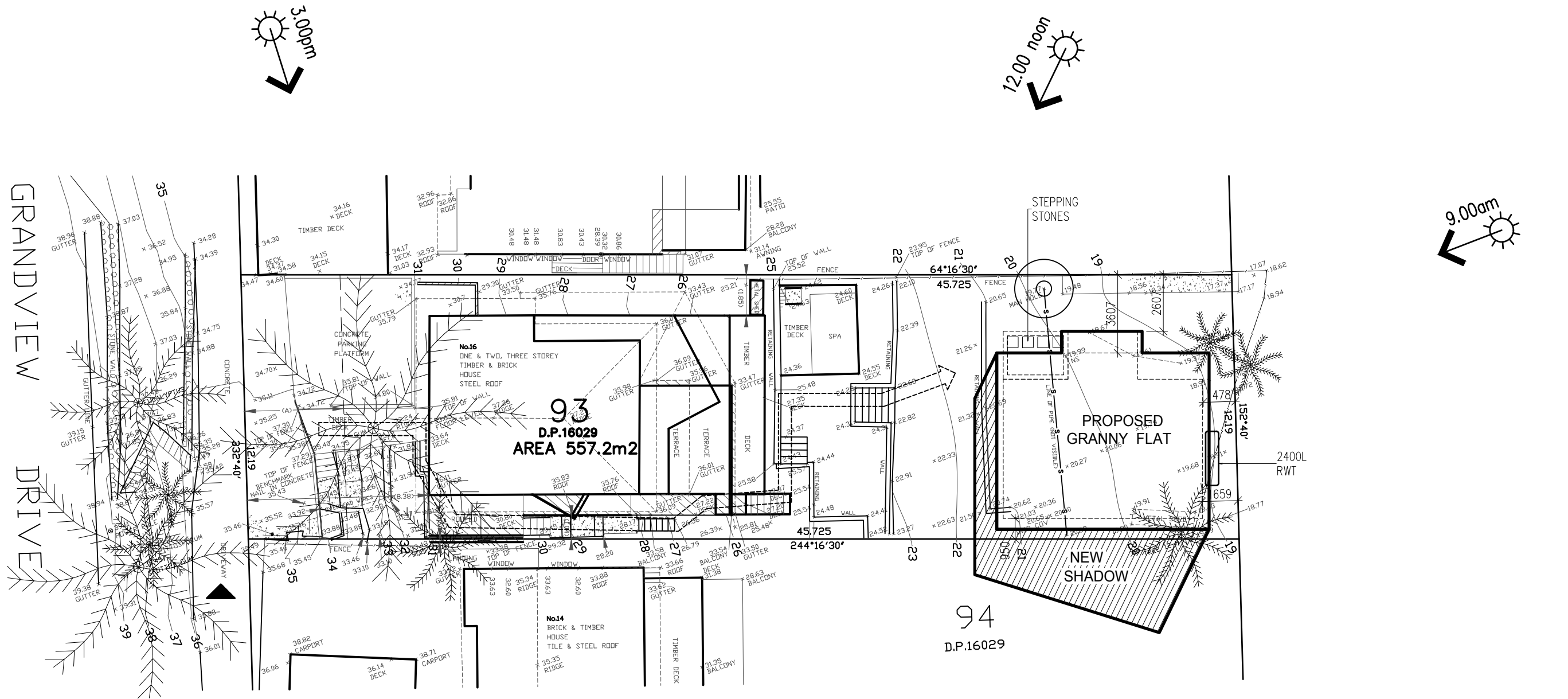
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PROPOSED GRANNY FLAT
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NEWPORT, LOT 93 IN D.P.16029
CLIENT:
MR. & MRS. MILES

DATE: 09/09/20	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 20064	SHEET: 09



SHADOW DIAGRAM AZIMUTH 0° ALTITUDE 34° 21/6 - 12:00
1:200

A3 SHEET SIZE
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SCALE 1:200

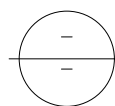
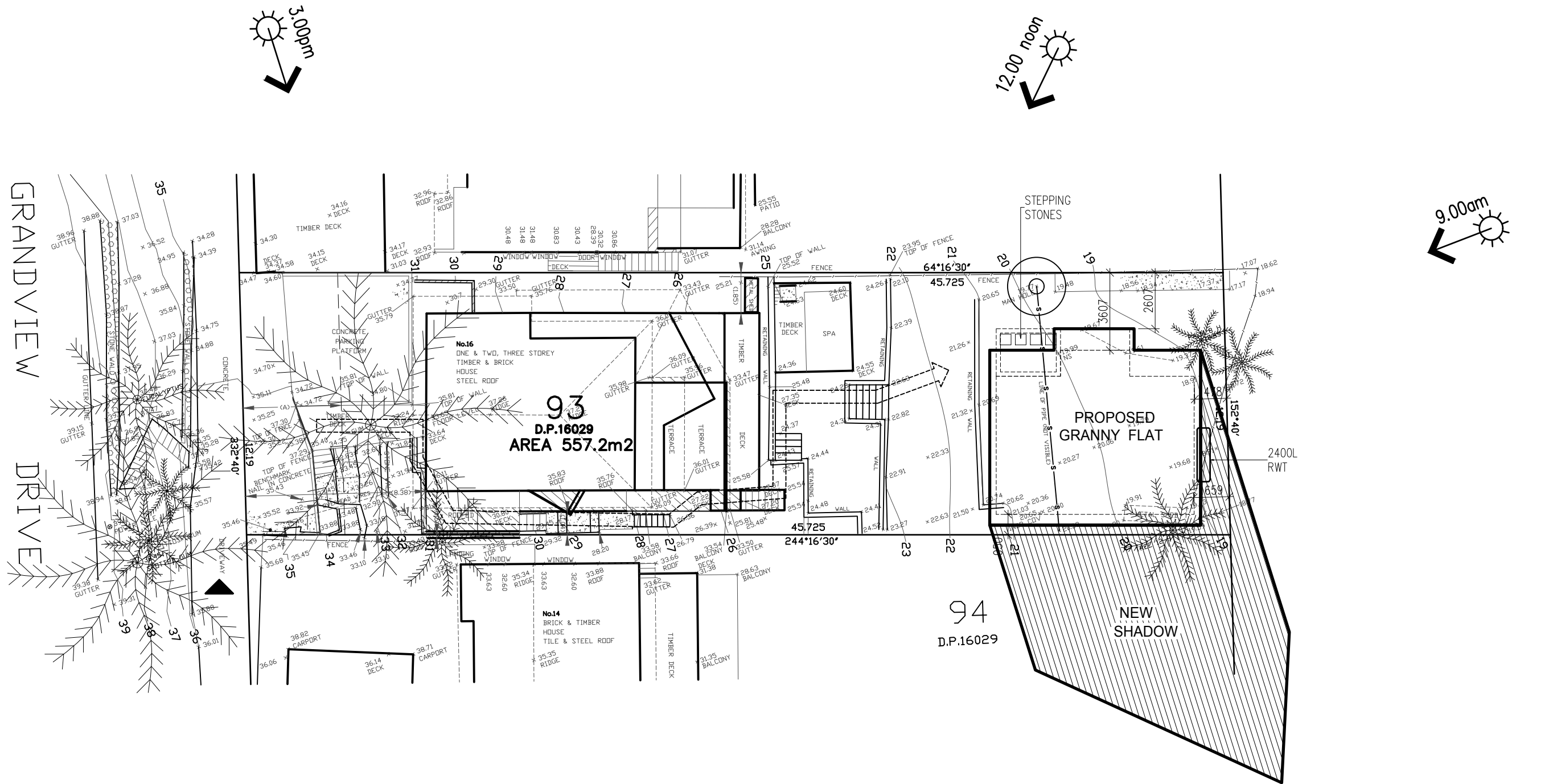
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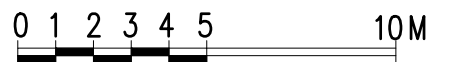
DATE: 09/09/20	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 20064	SHEET: 10



SHADOW DIAGRAM AZIMUTH -43° ALTITUDE 20° 21/6 - 3:00

1:200

A3 SHEET SIZE



SCALE 1:200

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NEWPORT, LOT 93 IN D.P.16029

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MR. & MRS. MILES

DATE: 09/09/20

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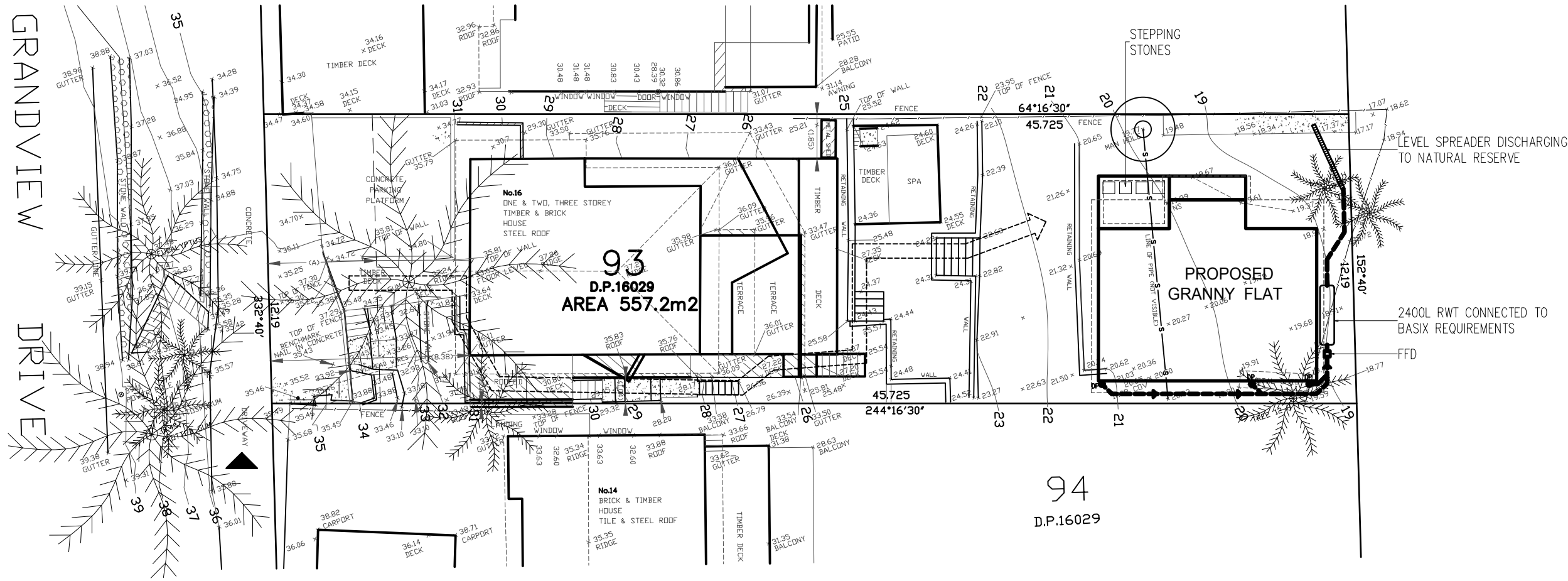
20064

SCALE: AS NOTED

ISSUE: 1

SHEET:

11



STORMWATER CONCEPT DRAINAGE PLAN

1:200

NOTES

FIRST FLUSH DEVICE: FFD
DOWN PIPE: DP

UNDERGROUND SERVICES

DIAL 1100 BEFORE YOU DIG FOR LOCATION OF UNDERGROUND SERVICES PRIOR TO ANY CONSTRUCTION WORKS.

CONTACT TELSTRA FOR WRITTEN PERMISSION TO MAINTAIN OR RELOCATE ANY EXISTING SERVICE PIT.

ALL SERVICES ARE TO MATCH INTO THE NEW FOOTPATH LEVELS CONTACT THE RELEVANT AUTHORITY FOR ADJUSTMENT TO SERVICES.

GUTTER GUARD

TO BE INSTALLED TO ALL GUTTERS OR/AND DOWNPIPES

EXISTING STORMWATER SYSTEM TO BE CHECKED AND UPGRADED AS REQUIRED

DRAINAGE LINES LOCATIONS ARE INDICATIVE ONLY AND MAY VARY DUE TO SITE CONSTRAINTS. FINAL PIPES LOCATIONS TO BE COORDINATED ON SITE WITH OTHER SERVICES & BUILDERS.

A3 SHEET SIZE



SCALE 1:200

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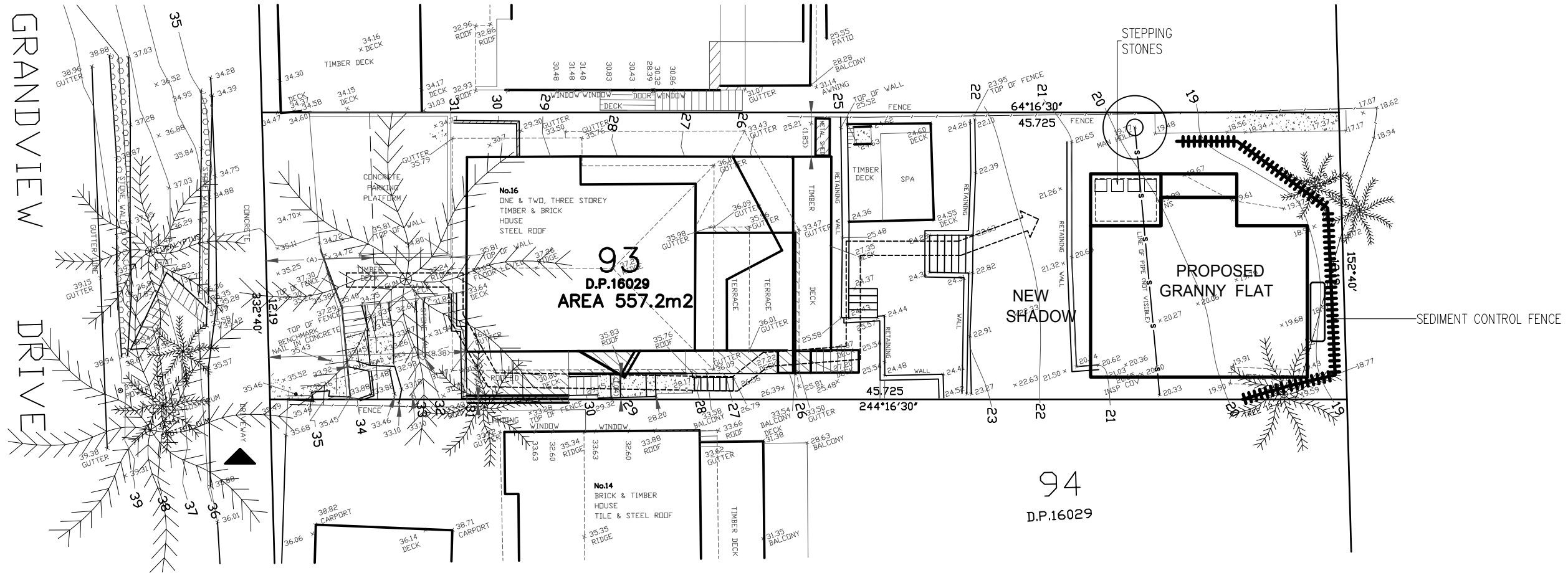
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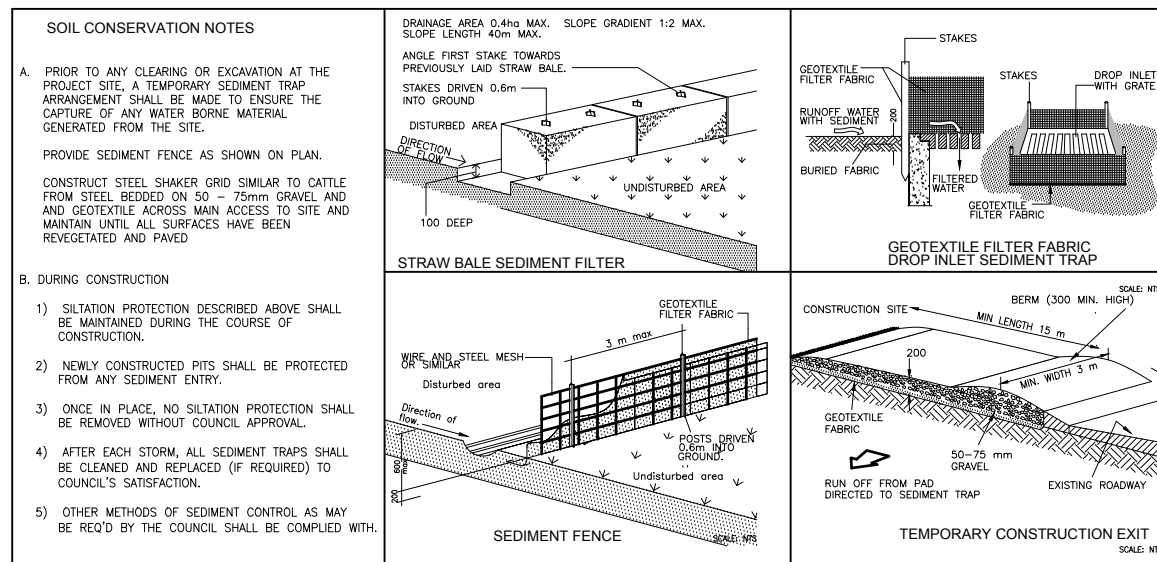
ISSUE: 1

SHEET:

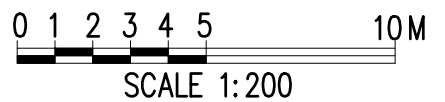
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EROSION AND SEDIMENT MANAGEMENT PLAN 1:200



A3 SHEET SIZE



GENERAL NOTES:

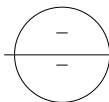
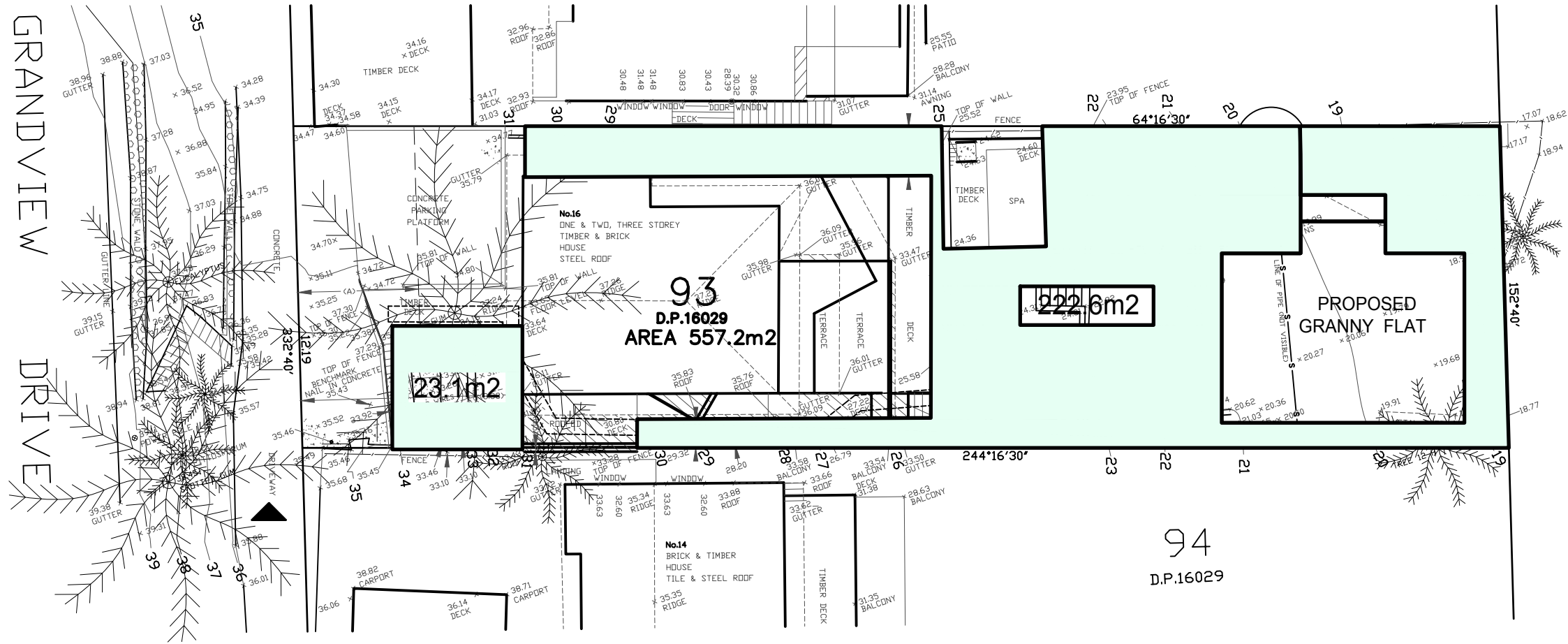
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LANDSCAPED AREAS CALCULATION SHEET

1:200

LANDSCAPING:

$$23.1 + 222.6 = 245.7\text{m}^2 (44.1\%)$$

A3 SHEET SIZE



SCALE 1:200

GENERAL NOTES:

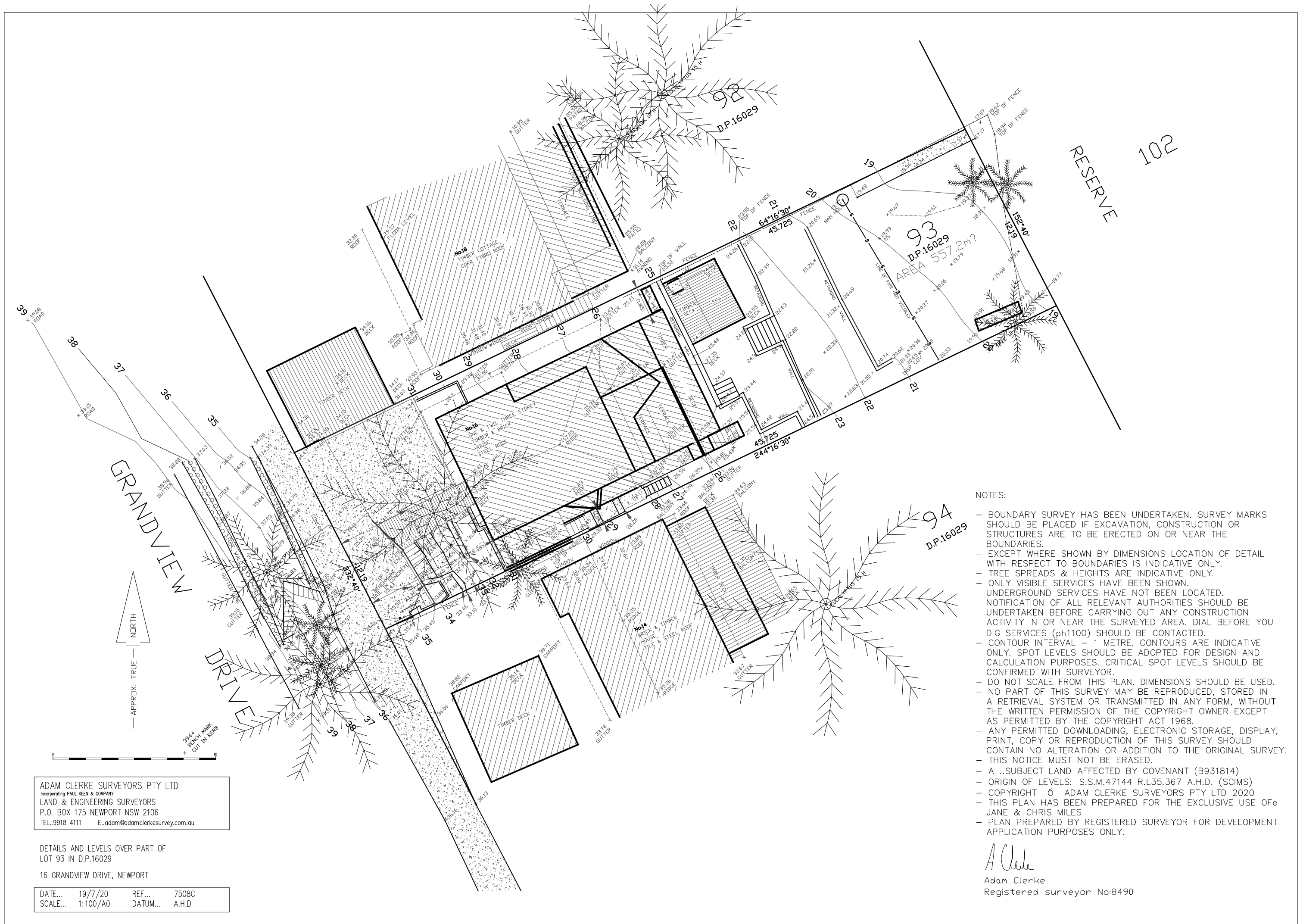
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DRAWING Nr : 20064	SHEET: 14



- NOTES:
- BOUNDARY SURVEY HAS BEEN UNDERTAKEN. SURVEY MARKS SHOULD BE PLACED IF EXCAVATION, CONSTRUCTION OR STRUCTURES ARE TO BE ERECTED ON OR NEAR THE BOUNDARIES.
 - EXCEPT WHERE SHOWN BY DIMENSIONS LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
 - TREE SPREADS & HEIGHTS ARE INDICATIVE ONLY.
 - ONLY VISIBLE SERVICES HAVE BEEN SHOWN.
 - UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. NOTIFICATION OF ALL RELEVANT AUTHORITIES SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA. DIAL BEFORE YOU DIG SERVICES (ph1100) SHOULD BE CONTACTED.
 - CONTOUR INTERVAL - 1 METRE. CONTOURS ARE INDICATIVE ONLY. SPOT LEVELS SHOULD BE ADOPTED FOR DESIGN AND CALCULATION PURPOSES. CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
 - DO NOT SCALE FROM THIS PLAN. DIMENSIONS SHOULD BE USED.
 - NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
 - ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
 - THIS NOTICE MUST NOT BE ERASED.
 - A ..SUBJECT LAND AFFECTED BY COVENANT (B931814)
 - ORIGIN OF LEVELS: S.S.M.47144 R.L35.367 A.H.D. (SCIMS)
 - COPYRIGHT © ADAM CLERKE SURVEYORS PTY LTD 2020
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF JANE & CHRIS MILES
 - PLAN PREPARED BY REGISTERED SURVEYOR FOR DEVELOPMENT APPLICATION PURPOSES ONLY.

A Clerk
Adam Clerke
Registered surveyor No:8490

ADAM CLERKE SURVEYORS PTY LTD
Incorporating PAUL KEEN & COMPANY
LAND & ENGINEERING SURVEYORS
P.O. BOX 175 NEWPORT NSW 2106
TEL..9918 4111 E..adam@adamclerkesurvey.com.au

DETAILS AND LEVELS OVER PART OF
LOT 93 IN D.P.16029

16 GRANDVIEW DRIVE, NEWPORT

DATE...	19/7/20	REF...	7508C
SCALE...	1:100/A0	DATUM...	A.H.D