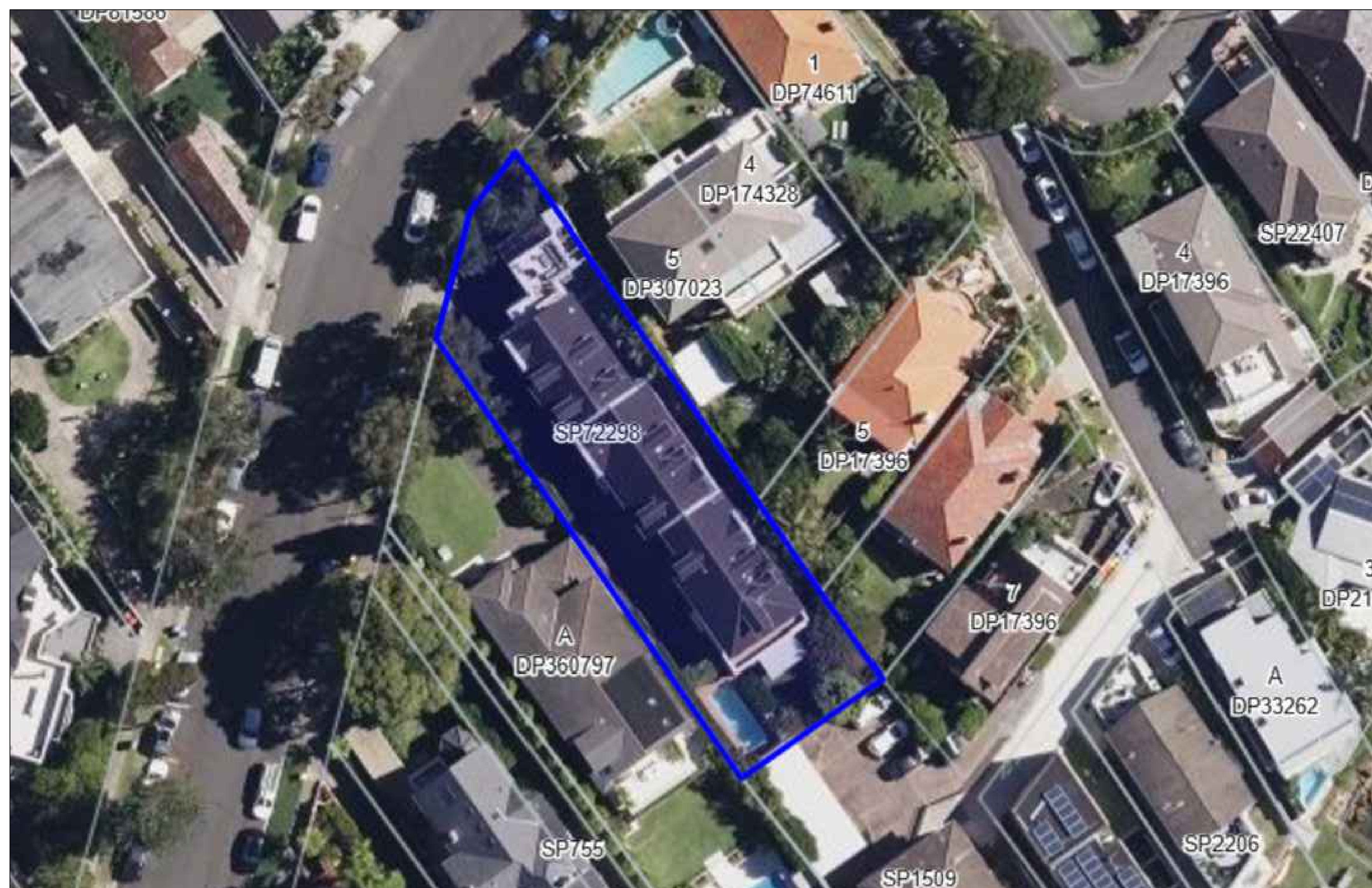




Ph: 96309299 email: Operations@candasurveyors.com.au

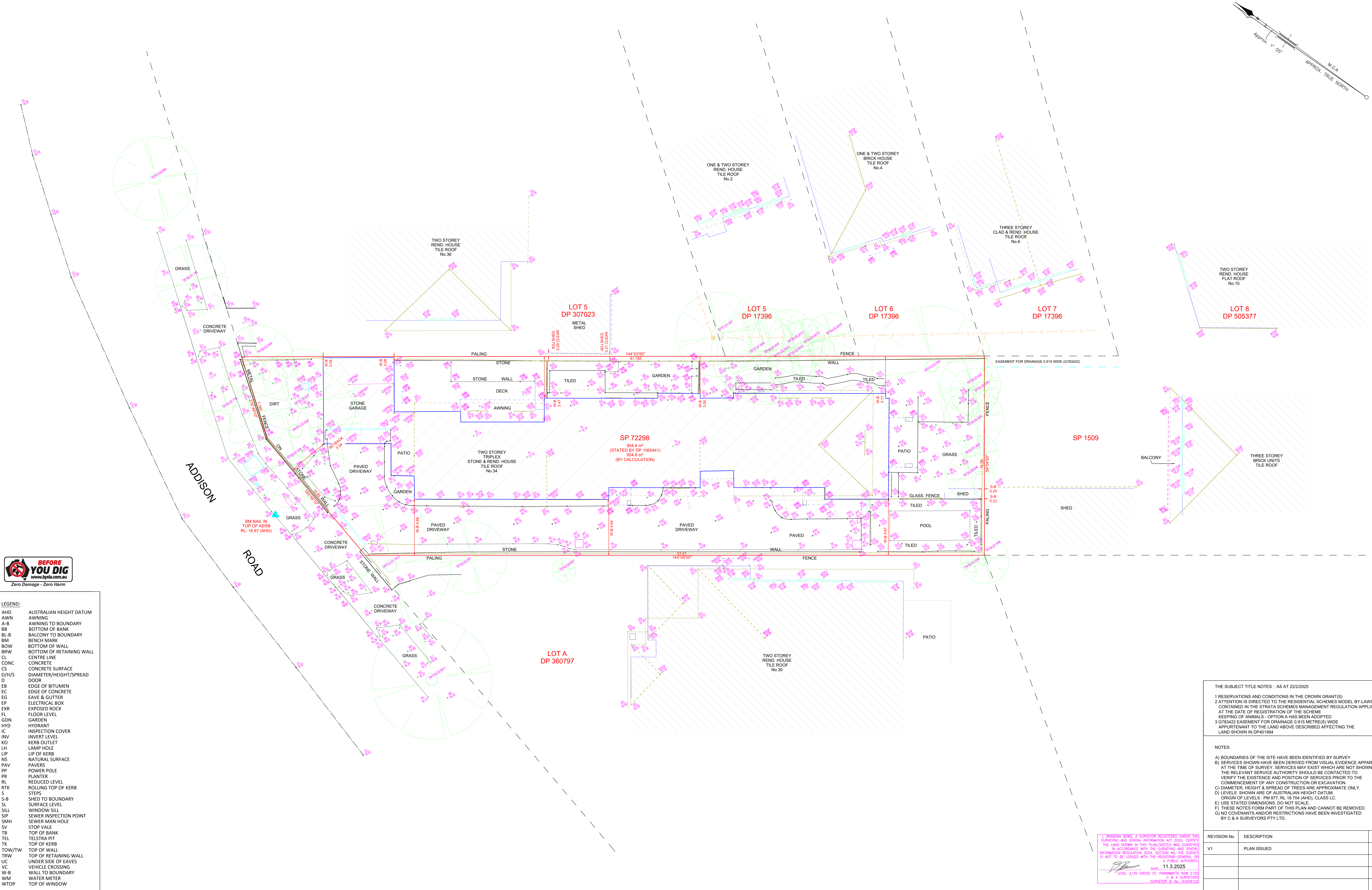
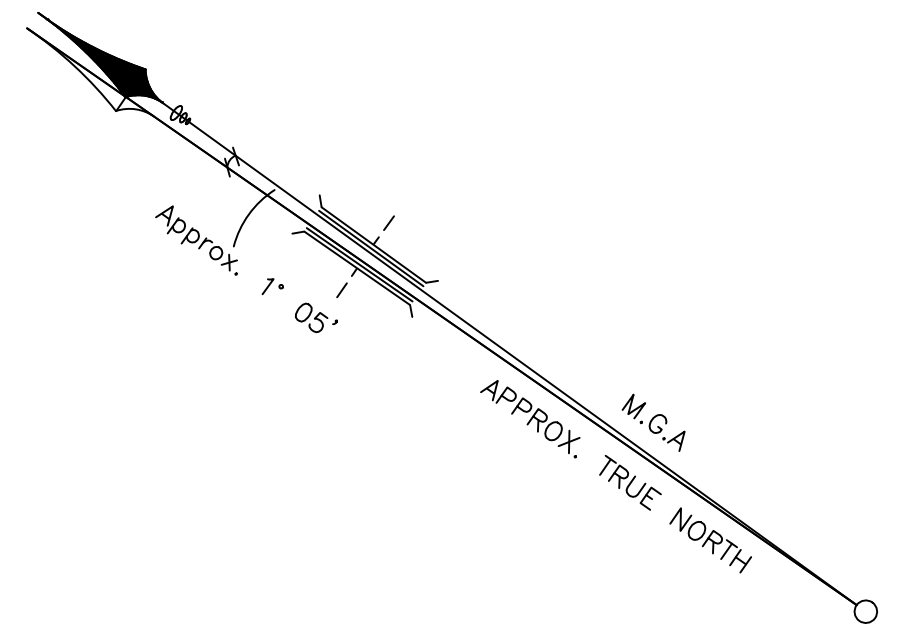
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NO.34, ADDISON ROAD, MANLY.



CONTENTS :

1. DWG FILES
2. PDF FILES
3. TITLE SEARCH (INCLUDED)
4. DEPOSITED PLAN (INCLUDED)
5. SITE PHOTOS

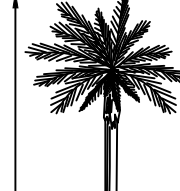
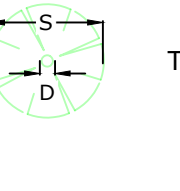


- LEGEND:
- AHD AUSTRALIAN HEIGHT DATUM
 - AWN AWNING
 - A-B AWNING TO BOUNDARY
 - BB BOTTOM OF BANK
 - BL-B BALCONY TO BOUNDARY
 - BM BENCH MARK
 - BOW BOTTOM OF WALL
 - BRW BOTTOM OF RETAINING WALL
 - CL CENTRE LINE
 - CONC CONCRETE
 - CS CONCRETE SURFACE
 - D/H/S DIAMETER/HEIGHT/SPREAD
 - D DOOR
 - EB EDGE OF BITUMEN
 - EC EDGE OF CONCRETE
 - EG EAVE & GUTTER
 - EP ELECTRICAL BOX
 - EXR EXPOSED ROCK
 - EL FLOOR LEVEL
 - GDN GARDEN
 - HYD HYDRANT
 - IC INSPECTION COVER
 - INV INVERT LEVEL
 - KO KERB OUTLET
 - LH LAMP HOLE
 - LIP LIP OF KERB
 - NS NATURAL SURFACE
 - PAV PAVERS
 - PP POWER POLE
 - PR PLANTER
 - RL REDUCED LEVEL
 - RTK ROLLING TOP OF KERB
 - S STEPS
 - S-B SHED TO BOUNDARY
 - SL SURFACE LEVEL
 - SILL WINDOW SILL
 - SIP SEWER INSPECTION POINT
 - SMH SEWER MAN HOLE
 - SV STOP VALE
 - TB TOP OF BANK
 - TEL TELSTRA PIT
 - TK TOP OF KERB
 - TOW/TW TOP OF WALL
 - TRW TOP OF RETAINING WALL
 - UC UNDER SIDE OF CAVES
 - VC VEHICLE CROSSING
 - W-B WALL TO BOUNDARY
 - WM WATER METER
 - WTOP TOP OF WINDOW

**C&A SURVEYORS**
30 Grose Street, Parramatta, NSW 2150
Ph: 96309299 email: Operations@candasurveyors.com.au
www.candasurveyors.com.au

DETAIL & BOUNDARY IDENTIFICATION
SURVEY OF
SP 72298, LOCATED AT
NO.34, ADDISON ROAD, MANLY.

- S — S — APPROXIMATE LOCATION OF BURIED SEWER MAIN BY STONEY WATER DRYS RECORDS
- W — W — APPROXIMATE LOCATION OF BURIED WATER MAIN OWN BY STONEY WATER DRYS RECORDS
- XXXXX — E — E — BOUNDARY LINE, DISTANCE & BEARING
- — — — — ELECTRIC LINE
- — — — — FENCE LINE
- TELSTRA PIT
- WATER METER
- STOP VALVE
- HYDRANT
- POWER POLE



DHS DIAMETER/HEIGHT/SPREAD

INSTRUCTING PARTY:		ADRIAN NULL		SURVEYED BY: JG		DATUM: AHD	
LGA: NORTHERN BEACHES	AREA BDY DP:	954.4 m²	DRAWN BY:	SS	CHECKED BY:	DR	
SURVEY DATE: 27/2/2025	AREA BY CALC:	954.4 m²	SCALE:	1:100@A0	REF. NO:	34595-25 DET ID	
DATE DRAWN: 7/3/2025	CONTOUR INTERVAL:	0.2 m	REV No:	V1	SHEET:	1 OF 1	

THE SUBJECT TITLE NOTES : AS AT 22/2/2025

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
2 ATTENTION IS DIRECTED TO THE RESIDENTIAL SCHEMES MODEL BY LAWS CONTAINED IN THE STRATA SCHEMES MANAGEMENT REGULATION APPLICABLE AT THE DATE OF REGISTRATION OF THE SCHEME
KEEPING OF ANIMALS - OPTION A HAS BEEN ADOPTED
3 078422 EASEMENT FOR DRAINAGE 0.915 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED AFFECTING THE LAND SHOWN IN DP401994

NOTES:

A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY
B) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
C) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
D) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.
ORIGIN OF LEVELS: PM 877, RL 18.704 (AHD), CLASS LC.
E) USE STATED DIMENSIONS. DO NOT SCALE.
F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
G) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

I, BRANDAN BOWI, A SURVEYOR REGISTERED UNDER THE SURVEYING AND SPATIAL INFORMATION ACT 2002, CERTIFY THE LAND SHOWN IN THIS PLAN/SKETCH WAS SURVEYED IN ACCORDANCE WITH THE SURVEYING AND SPATIAL INFORMATION REGULATION 2004, SECTION 46. THE SURVEY IS NOT TO BE LOGGED WITH THE REGISTRAR-GENERAL OR A PUBLIC AUTHORITY.

DATE: 11.3.2025
LEVEL: 2/30 GROSE ST, PARRAMATTA NSW 2150
C & A SURVEYORS
SURVEYOR ID No. S0009122