

- A FIELD SURVEY OF THE BOUNDARIES HAS BEEN UNDERTAKEN. OFFSETS FROM STRUCTURES TO BOUNDARY SHOULD NOT BE USED FOR CONSTRUCTION SETOUT.

- IF CONSTRUCTION ON OR NEAR BOUNDARIES IS UNDERTAKEN THE BOUNDARIES OF THE LAND SHOULD BE MARKED OR THE WORKS SETOUT BY A REGISTERED SURVEYOR.

- TREE SIZES ARE ESTIMATES ONLY.

- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF JOHN DAUBNEY

- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.

- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.

- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (db 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.

- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.

- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.

- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN, THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.

- CONTOUR INTERVAL - 10 metre. - SPOT LEVELS SHOULD BE ADOPTED.

- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).

- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.

- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.

- IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.

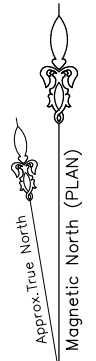
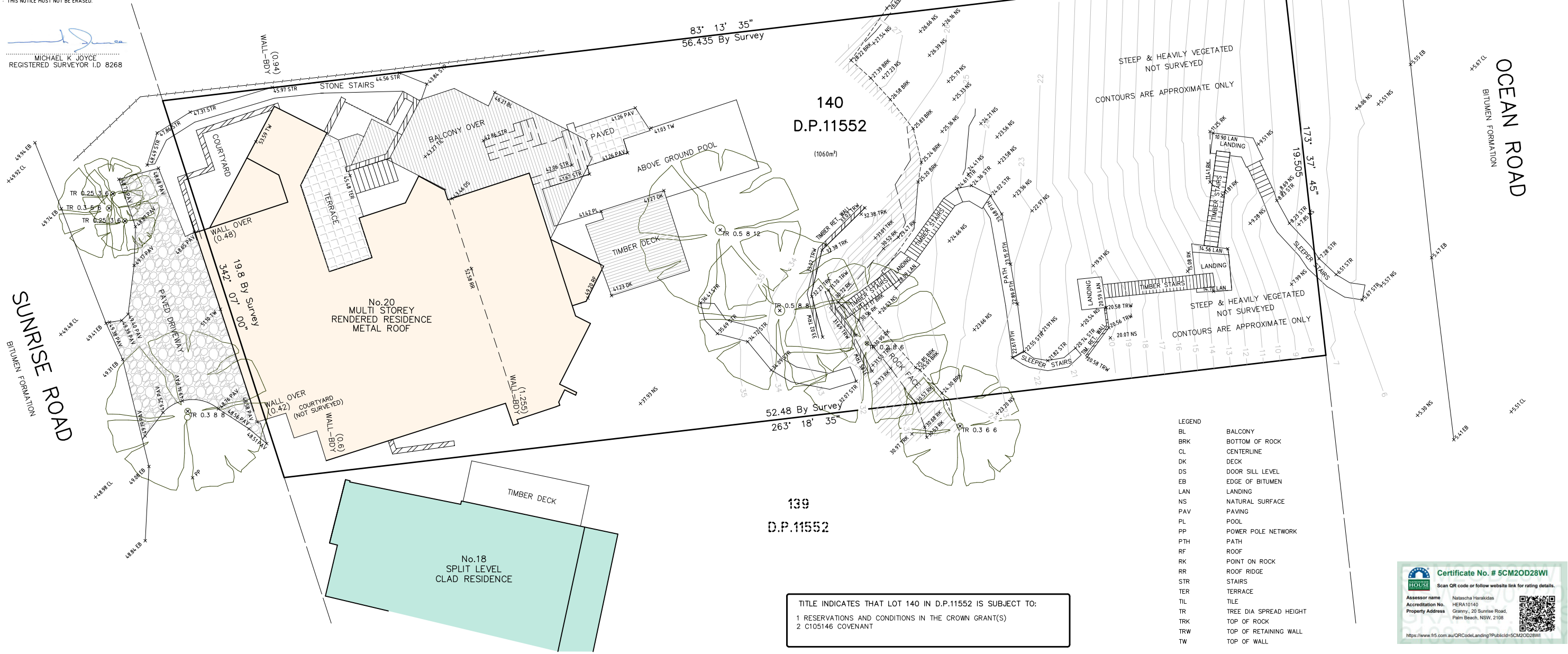
- COPYRIGHT WATERVIEW SURVEYING SERVICES

- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.

- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.

- THIS NOTICE MUST NOT BE ERASED.

MICHAEL K JOYCE
REGISTERED SURVEYOR I.D. 8268



Certificate No. # 5CM20D28W1

Scan QR code or follow website link for rating details.

Assessor name: Natascha Harakidas
Accreditation No.: HERA10140
Property Address: Granny, 20 Sunrise Road, Palm Beach, NSW, 2108

<https://www.frs.com.au/QRCodeLanding?PublicId=5CM20D28W1>



1A Mona Street Mona Vale NSW 2103
ACN 610 583 572
michael@wvsurveying.com.au
0474 843 180

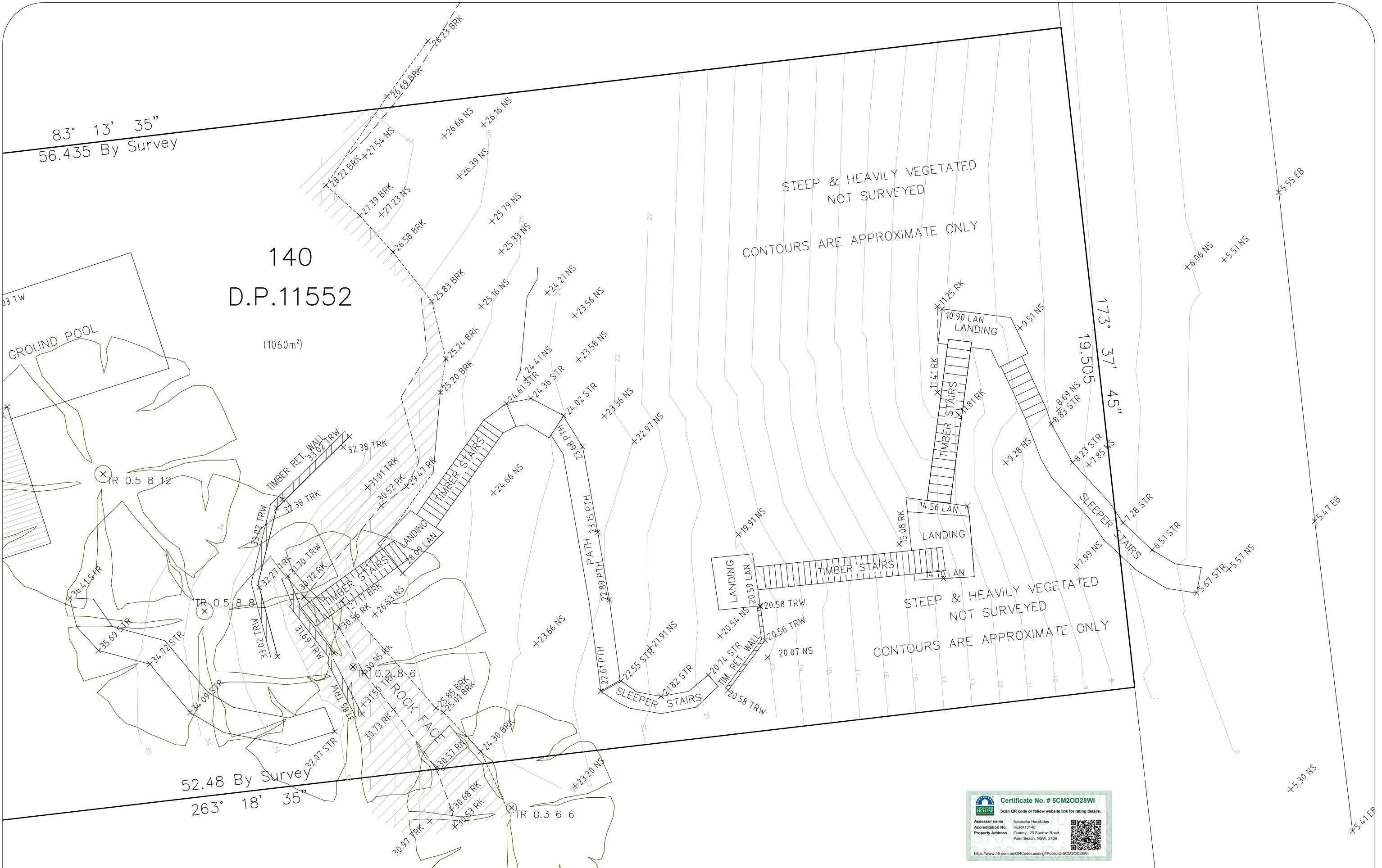
Drawing Title
DETAIL AND LEVELS OVER
20 SUNRISE ROAD
PALM BEACH NSW 2108
BEING LOT 140 IN DP.11552

Client Details
JOHN DAUBNEY
20 SUNRISE ROAD
PALM BEACH NSW 2108

Vertical Datum
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. SSM 38189
R.L. 5.683
SOURCE: S.C.I.M.S.

PROJECT: 1753
Date of survey: 24/07/2023
Scale: 1:100 @ A1
PAGE 1 OF 2
Drawing No.: 1753detail 1
Rev.: C

C	ADDITIONAL DETAIL (ROCK FACE)	22/11/23
B	PAGE 2 SCALE 1:50 ADDED	06/08/23
A	FIRST ISSUE	02/08/23



1A Mona Street Mona Vale NSW 2103
ACN 610 583 572
michael@wvsurveying.com.au
0474 843 180

Drawing Title
DETAIL AND LEVELS OVER
20 SUNRISE ROAD
PALM BEACH NSW 2108
BEING LOT 140 IN DP.11552

Client Details
JOHN DAUBNEY
20 SUNRISE ROAD
PALM BEACH NSW 2108

Vertical Datum
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. SSM 38189
R.L. 5.683
SOURCE: S.C.I.M.S.

PROJECT: 1753

Date of survey
24/07/2023

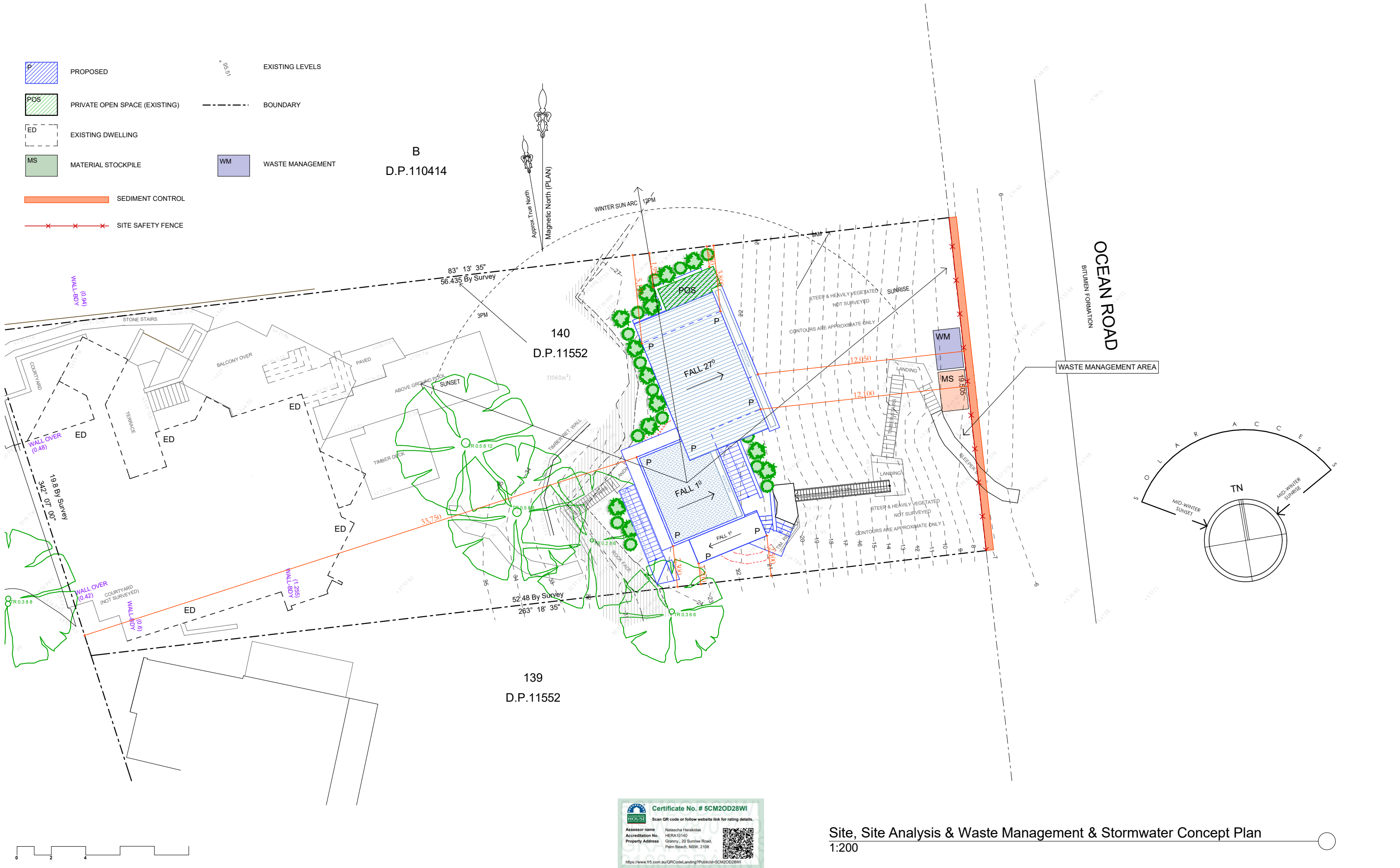
Scale
1: 50 @ A1

PAGE 2 OF 2

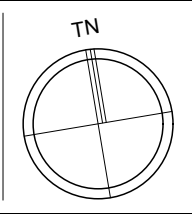
Drawing No.
1753detail 1

Rev.
C

C	ADDITIONAL DETAIL (ROCK FACE)	22/11/23
B	PAGE 2 SCALE 1:50 ADDED	06/08/23
A	FIRST ISSUE	02/08/23



25/02/25	A	Amended Plans
Date :	Issue :	Description :



The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NORTHERN BEACHES DRAFTING

Assessor name: Natascha Haralidis
Accreditation No: HERA10140
Property Address: Granny, 20 Sunrise Road, Palm Beach, NSW, 2108

Website: <https://www.fr5.com.au/QRCodeLanding?PublicId=5CM2OD28WI>

Project : Secondary Dwelling Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m²

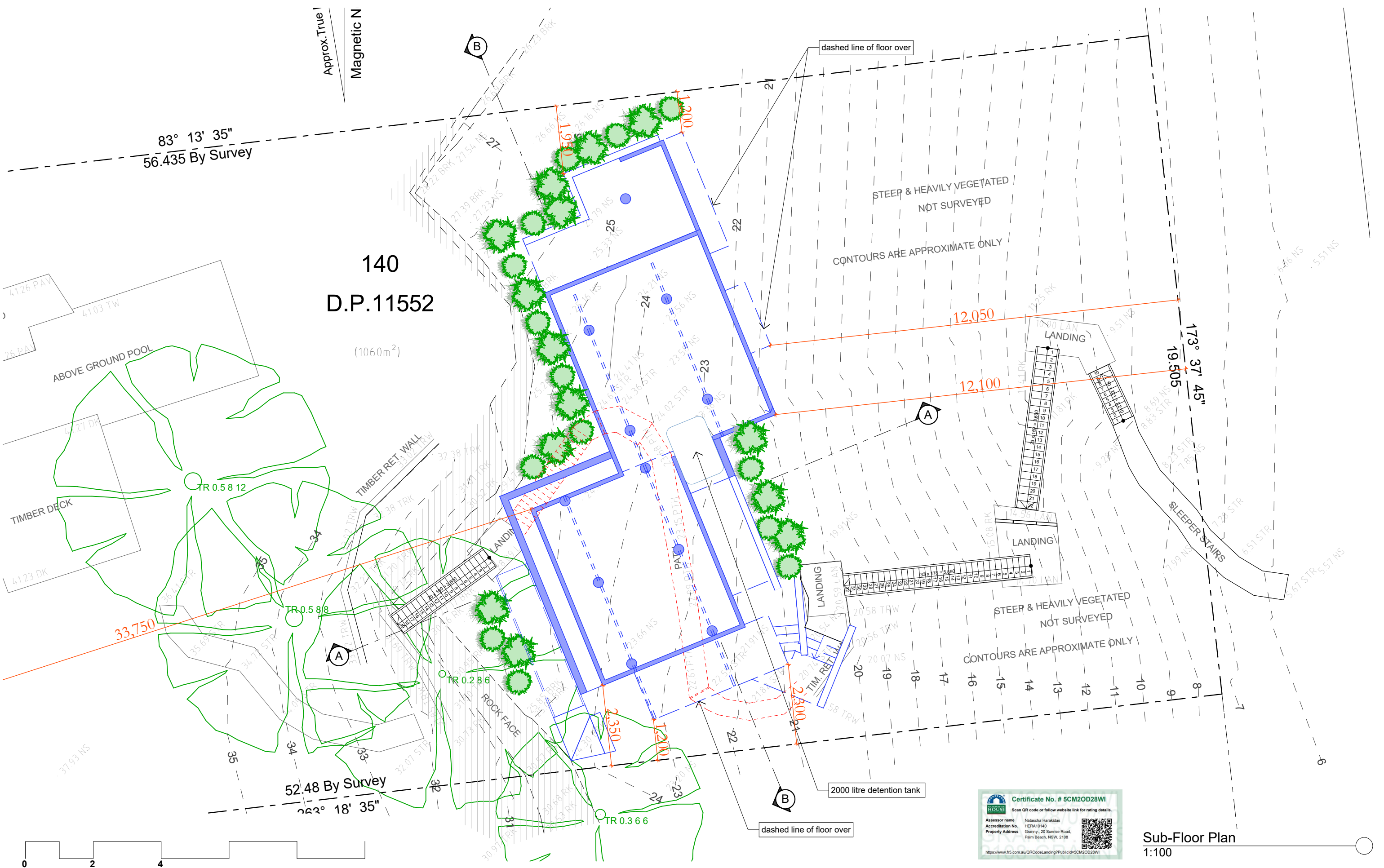
Client : Private Resident

Drawing : - Site, Site Analysis & Waste Management Plan

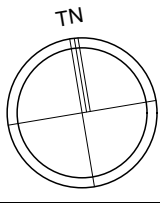
Legend:

- Proposed Work
- Demolition
- Existing

Drawn/Designed : PB	Date : 260225
Project Number : 2408	Scale : 1:200 @ A3
Drawing No. : DA4	Issue : A



25/02/25	A	Amended Plans
Date :	Issue :	Description :



The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



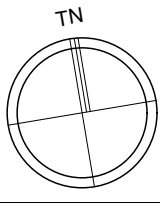
Project : Secondary Dwelling Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m²
Client : Private Resident
Drawing : - Sub Floor Plan

- Proposed Work
- Demolition
- Existing

Drawn/Designed : PB
Project Number : 2408
Drawing No. : DA5
Date : 260225
Scale : 1:100 @ A3
Issue : A



25/02/25	A	Amended Plans
Date :	Issue :	Description :



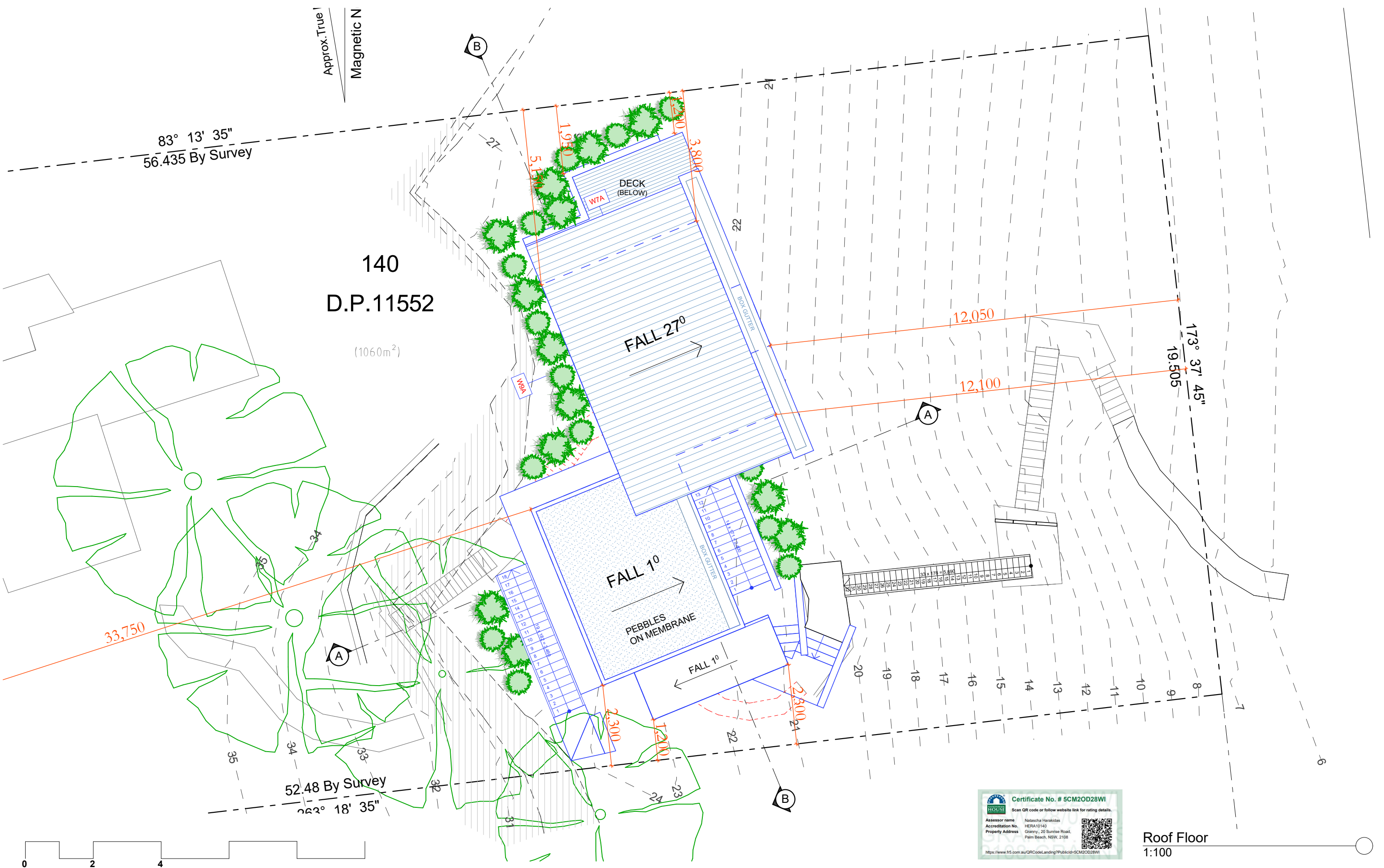
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Project : Secondary Dwelling Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m²
Client : Private Resident
Drawing : - Ground Floor Plan

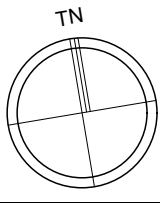
- = Proposed Work
- = Demolition
- = Existing

Drawn/Designed : PB
Project Number : 2408
Drawing No. : DA6
Date : 260225
Scale : 1:100 @ A3
Issue : A



Roof Floor
1:100

25/02/25	A	Amended Plans
Date :	Issue :	Description :



The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



NORTHERN BEACHES
DRAFTING

P
e phil@northernbeachesdrafting.com.au

0414 978 499

Project : Secondary Dwelling Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m2
Client : Private Resident
Drawing : - **Roof Floor Plan**

= Proposed Work

= Demolition

= Existing

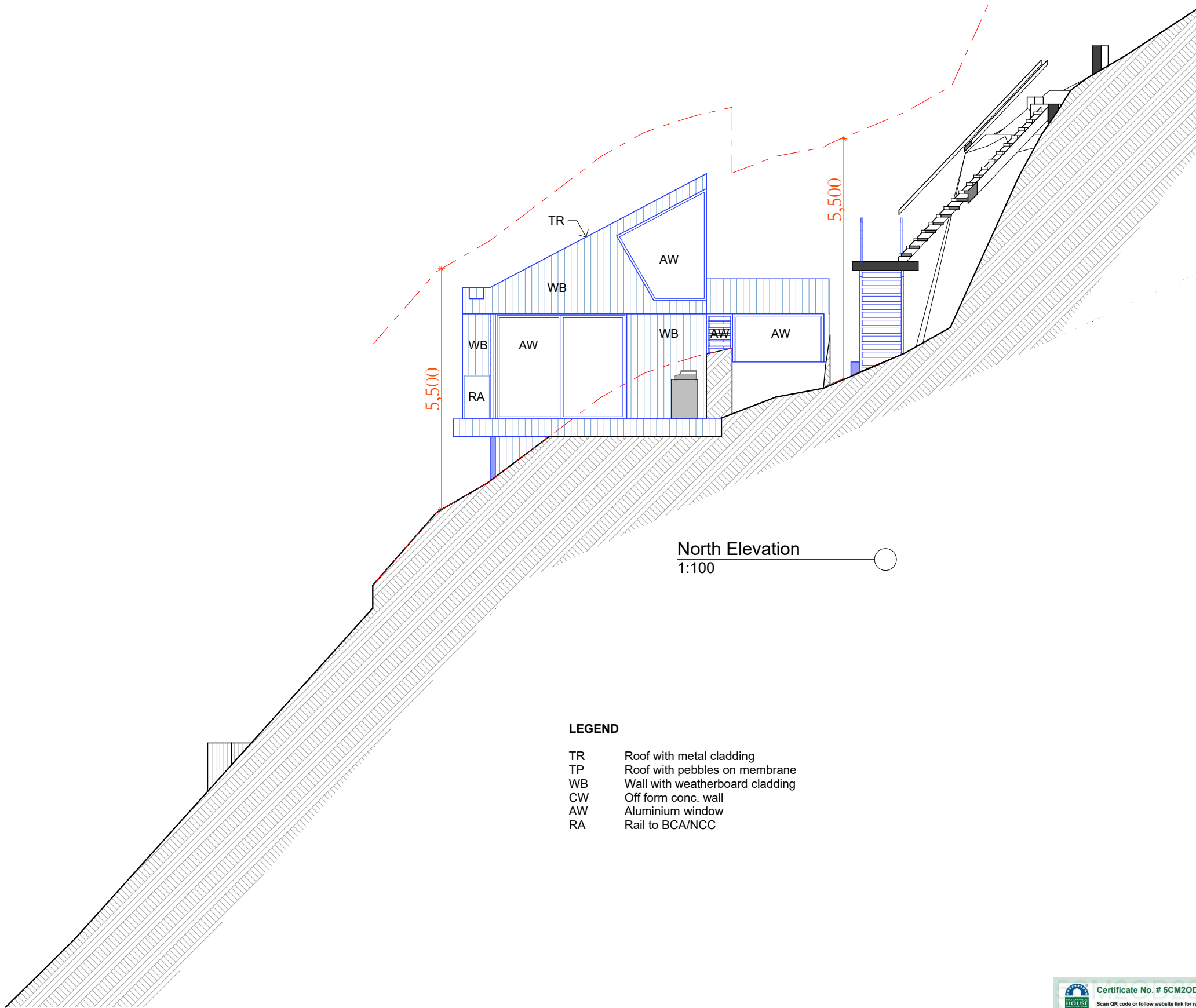
Drawn/Designed : PB	Date : 260225
Project Number : 2408	Scale : 1:100 @ A3
Drawing No. : DA7	Issue : A

RL + 30,250
Ridge

RL + 27,700
Parapet

RL + 27,300
Parapet

RL + 24,500
Ground Floor



North Elevation
1:100

LEGEND

- TR Roof with metal cladding
- TP Roof with pebbles on membrane
- WB Wall with weatherboard cladding
- CW Off form conc. wall
- AW Aluminium window
- RA Rail to BCA/NCC



Certificate No. # 5CM2OD28WI

Scan QR code or follow website link for rating details.

Assessor name: Natascha Harakidas
Accreditation No.: HERA10140
Property Address: Granny, 20 Sunrise Road, Palm Beach, NSW, 2108

<https://www.frs.com.au/QRCodeLanding?PublicId=5CM2OD28WI>

25/02/25	A	Amended Plans
Date :	Issue :	Description :

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

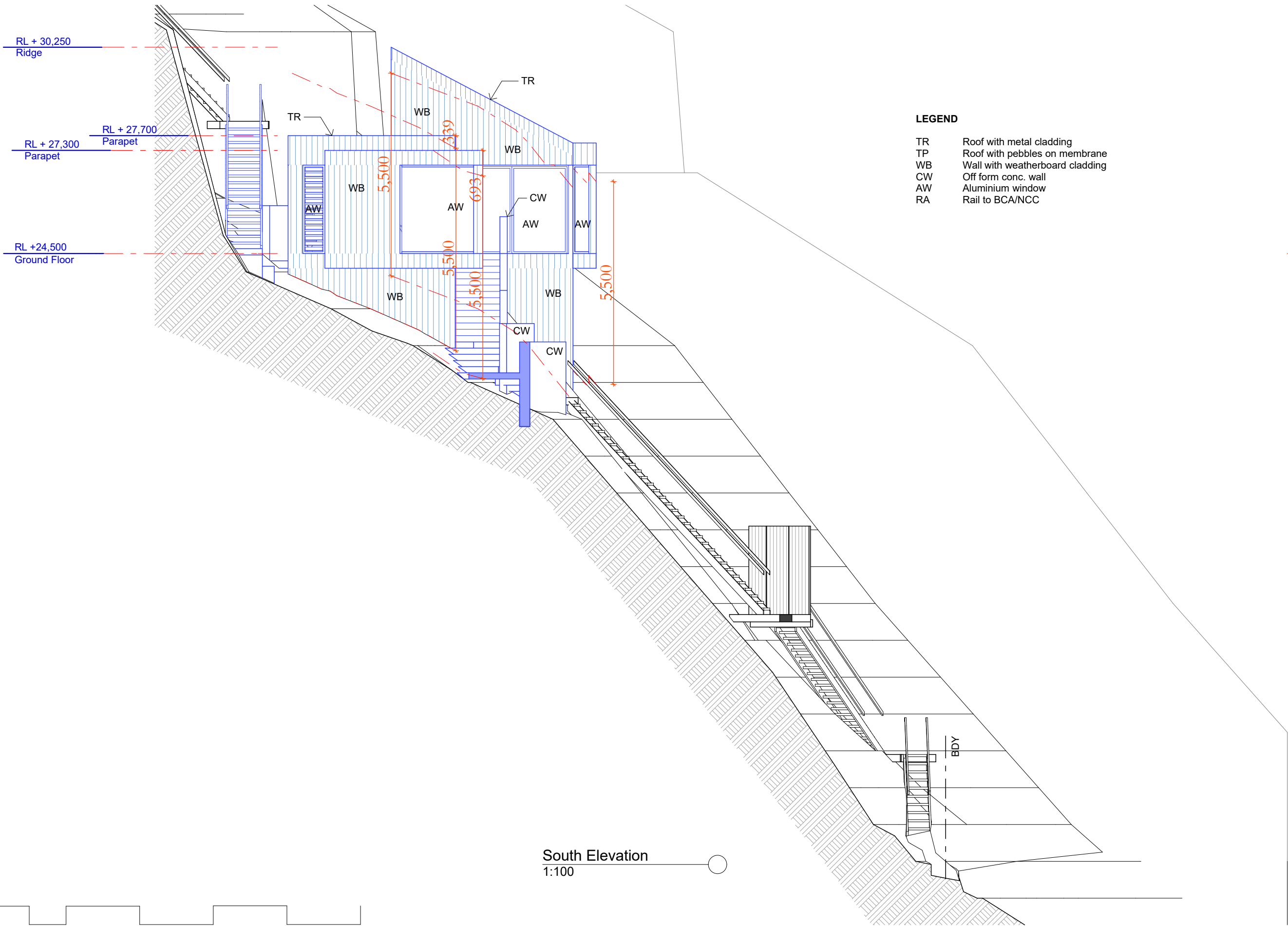


0414 978 499
p e phil@northernbeachesdrafting.com.au

Project : Secondary Dwelling
Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m2
Client : Private Resident
Drawing : - Elevations, N

- = Proposed Work
- = Demolition
- = Existing

Drawn/Designed : PB
Project Number : 2408
Drawing No. : DA8
Date : 260225
Scale : 1:100 @ A3
Issue : A



LEGEND

- TR Roof with metal cladding
TP Roof with pebbles on membrane
WB Wall with weatherboard cladding
CW Off form conc. wall
AW Aluminium window
RA Rail to BCA/NCC

South Elevation
1:100



25/02/25	A	Amended Plans
Date :	Issue :	Description :

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings.
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P 0414 978 499
E phil@northernbeachesdrafting.com.au

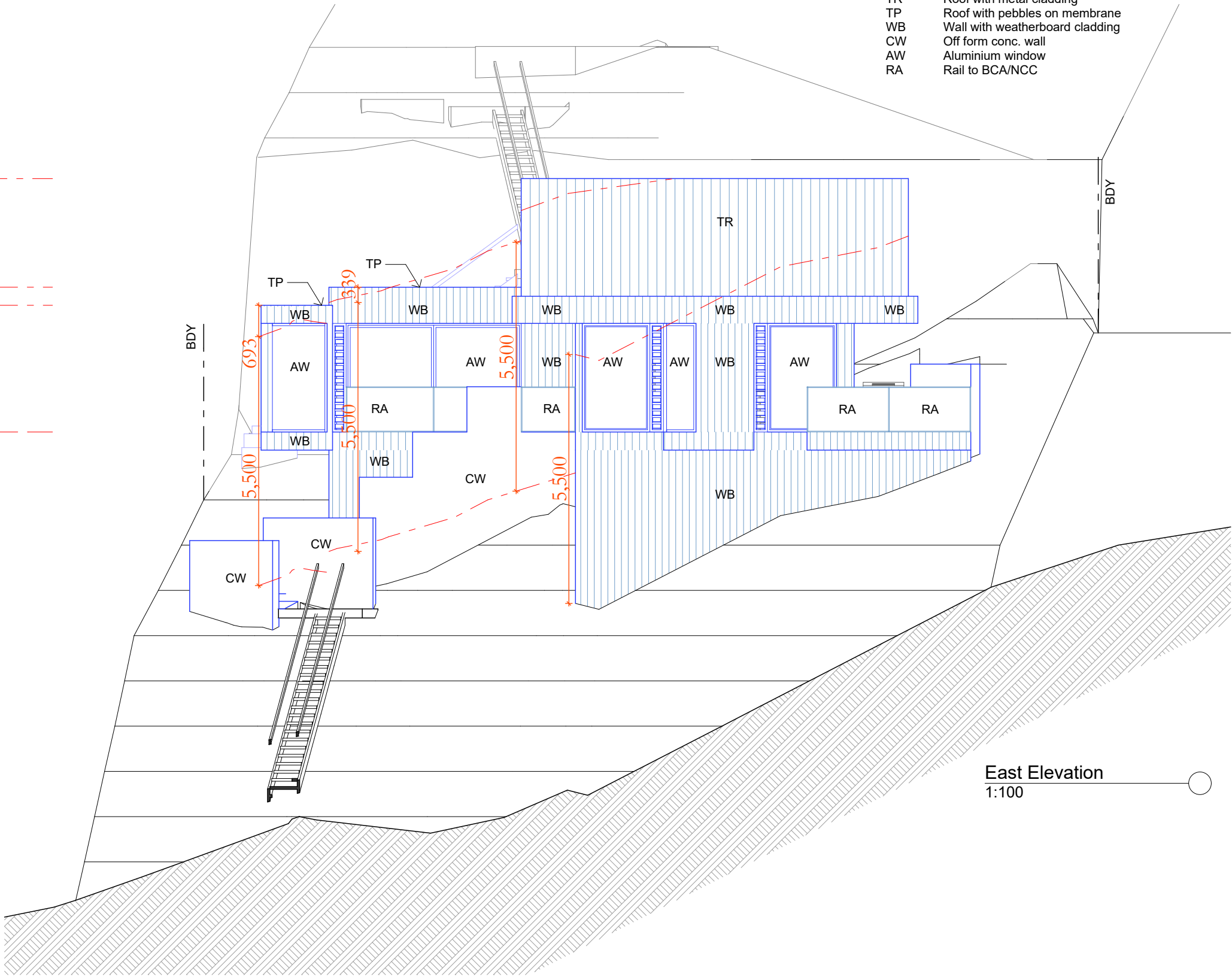
Project : Secondary Dwelling
Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m2
Client : Private Resident
Drawing : - Elevations, S

- = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB
Project Number : 2408
Drawing No. : DA9
Date : 260225
Scale : 1:100 @ A3
Issue : A

LEGEND

- TR Roof with metal cladding
TP Roof with pebbles on membrane
WB Wall with weatherboard cladding
CW Off form conc. wall
AW Aluminium window
RA Rail to BCA/NCC



East Elevation
1:100



25/02/25	A	Amended Plans
Date :	Issue :	Description :

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

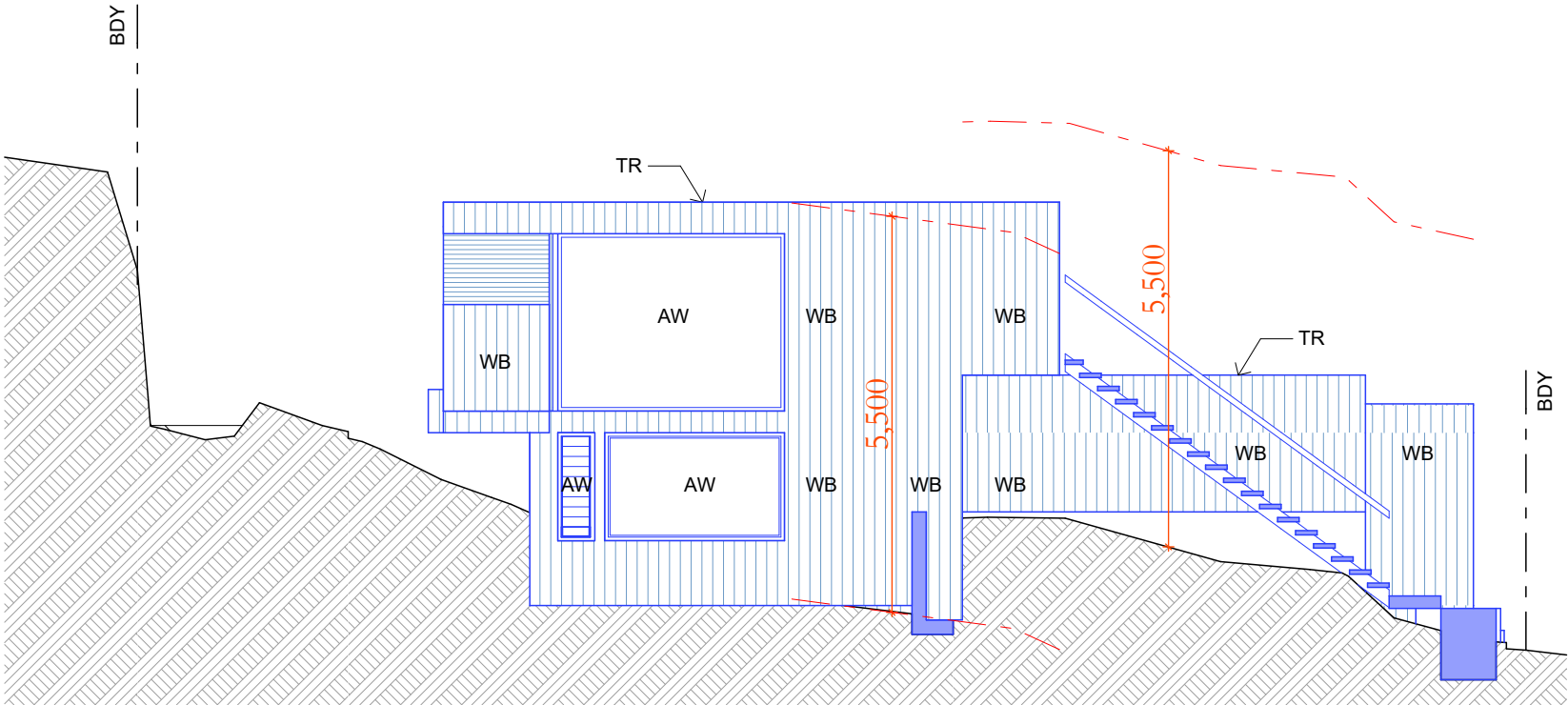


0414 978 499
e phil@northernbeachesdrafting.com.au

Project : Secondary Dwelling
Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m2
Client : Private Resident
Drawing : - Elevations, E

- = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB
Project Number : 2408
Drawing No. : DA10
Date : 260225
Scale : 1:100 @ A3
Issue : A



Nationwide House Energy Rating Scheme

NatHERS® Certificate No. 5CM2OD28W1

Generated on 28 Feb 2025 using FirstRate®: 5.5.5a (3.22)

Property

Address Granny, 20 Sunrise Road,
Palm Beach, NSW, 2108

Lot/DP 140/11552

NCC Class* Class 1a

Floor/sl Floor/s

Type New Home

Plans

Main plan Issue A 26/02/2025

Prepared by Northern Beaches Drafting

Construction and environment

Assessed floor area [m ²]	Exposure type
Conditioned* 42.1	exposed
Unconditioned* 12.3	NatHERS climate zone
Total 54.4	56 Misacot AMO
Garage	

Accredited assessor

Name	Natasha Harakidas
Business name	AENEC
Email	natasha@aenec.com.au
Phone	0418510104
Accreditation No.	HERA10140
Assessor Accrediting Organisation	HERA
Declaration of interest	No

NCC Requirements

NCC provisions	Volume 2
State/Territory variation	Yes

National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 4.2 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at www.abcb.gov.au.

Note, variations and addenda to the NCC energy efficiency requirements may apply in some states and territories.

Thermal performance star rating

7
The more stars, the more energy efficient

NATIONWIDE HOUSE ENERGY RATING SCHEME®

30 MJ/m²

Predicted annual energy need for heating and cooling based on standard occupancy assumptions.

For more information on our methodology visit www.natthers.gov.au

Thermal performance [MJ/m²]

Limits taken from ASB-C 2002

	Heating	Cooling
Modelled	20.4	9.6
Load limits	N/A	N/A

Features determining load limits

Floor type	N/A
(lowest conditioned area)	
NCC climate zone 1 or 2	N/A
Outdoor living area	N/A
Outdoor living area ceiling fan	N/A


Whole of Home performance rating

No Whole of Home performance rating generated for this certificate

Verification


To verify this certificate, scan the QR code or visit www.natthers.gov.au/QRCode and natthers.gov.au/QRCode

When using either link, ensure you are visiting www.natthers.gov.au

Project Specification		Form # AENEC		Australian Energy Efficiency Consulting P:0416 316 204 E:info@aenec.com.au			
Project Address: Granny, 20 Sunrise Road, Palm Beach							
NATHERS IDENTIFICATION NUMBER: 5CM20D2BW							
<p>This Project Specification outlines only some of the NATHERS commitments. For the full list of specifications and construction allocations, you must refer to the corresponding NATHERS document that has been provided.</p>							
External Walls Specification:							
Type	Material	Added Insulation	Colour**	Detail			
Timber Framed	Weatharboard	R2.70	Dark	As per drawings			
Internal Walls specification:							
Type	Material	Added Insulation	Colour**	Detail			
Timber Framed	Plasterboard	Nil	-	As per drawings			
Roof Specification:							
Type	Material	Added Insulation	Colour**	Detail			
Timber Framed	Metal/CT outer & Fibreboard inner	Barking + R6.00	Dark	For ceilings with outdoor roof/outdoor space above			
Floors/Ceilings Specification:							
Type	Material	Added Insulation	Covering	Detail			
Masonry	Concrete	375 mm wafflepod	As per drawings	Slab on ground			
Timber Framed	Concrete	R4.00	As per drawings	Above subfloor			
Window Specification*							
Frame material		Glazing	U Value	SHGC	Detail		
See NATHERS		As suitable	See NATHERS	See NATHERS	Refer to NATHERS for more info		
For colling fan requirements please refer to NATHERS							
<p>* NOTE: WINDOW PERFORMANCE IS DETERMINED BY U-VALUE AND SHGC NOT THE SYSTEM DESCRIPTION. THESE PERFORMANCE FIGURES CAN BE ACHIEVED BY MULTIPLE WINDOW/DOOR SYSTEMS AND THEIR DESCRIPTION IN THE NATHERS IS SECONDARY. FOCUS OF THE PERFORMANCE VALUES.</p>							
<p>** LIGHT COLOR INSTALLATIONS HAVE SOLAR ABSORBANCE BEING LOWER THAN 0.45. MEDIUM COLOR INSTALLATIONS HAVE SOLAR ABSORBANCE BEING BETWEEN 0.45 AND 0.70. DARK COLOR INSTALLATIONS HAVE SOLAR ABSORBANCE BEING HIGHER THAN 0.701.</p>							
<p>IT IS ILLEGAL TO COPY/PASTE NATHERS STAMPS FROM STAMPED DRAWINGS TO ANOTHER DRAWING SET, EVEN IF THIS IS FOR THE SAME PROJECT. NATHERS CERTIFICATES ARE ISSUED FOR THE SPECIFIC DRAWING VERSION AND DATE OF ISSUE AND ARE VALID ONLY FOR THIS PARTICULAR VERSION. IF YOU UPDATE DRAWINGS, YOU MUST UPDATE THE NATHERS CERTIFICATE AS WELL.</p>							

West Elevation

1:100



CAUTION – ALL OF THE ITEMS BELOW MUST BE ADHERED BY
FOR NATHERS TO BE VALID

- NOTES:
1. ALL DOWNLIGHTS TO BE:
 - a. APPROVED NON-VENTILATED
 - b. WITH FIRE-RATED COVER/SHIELD TO ALLOW CONTINUOUS INSULATION LED TYPE. IF HALOGEN LIGHT ARE TO BE INSTALLED THIS CERTIFICATION IS NOT VALID
 2. ALL VENTS AND WALL OPENINGS INSTALLED TO BE "THE SEALED" TYPE
 3. ALL INSULATION IS TO BE INSTALLED IN ACCORDANCE NCC PART 3.12.1.1
 - a. CREATION OF CONTINUOUS THERMAL BARRIER
 - b. COMPLIANCE WITH A54859
 - c. MAINTAINING THICKNESS OF BULK INSULATION AND AIR GAPS FOR REFLECTIVE INSULATION
 4. BUILDING SEALINGS AS PER NCC PART 3.12.3
 - a. WEATHER SEALS AND DRAFT EXCLUDERS
 - b. DRAFT STOPPER CAPS
 5. SERVICES AS PER NCC PART 3.12.5
 - a. INSULATION OF SERVICES, PIPING AND DUCTWORK

NOTE: CEILING FANS HAVE BEEN NOMINATED WHEN PERFORMED THE NATHERS CALCULATIONS AND EACH CERTIFICATION HAS BEEN ISSUED ACCORDINGLY. ENSURE THAT THE INSTALLATIONS ARE CARRIED OUT.



Certificate No. # 5CM2OD28W1

Scan QR code or follow website link for rating details.

Assessor name	Natascha Harakidas	
Accreditation No.	HERA10140	
Property Address	Granny, 20 Sunrise Road, Palm Beach, NSW, 2108	

<https://www.f15.com.au/QRcodeLanding?PublicId=5CM2OD28W1>

0	2	4
25/02/25	A	Amended Plans
Date :	Issue :	Description :




The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings.
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Project : Secondary Dwelling
Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m2

Client : Private Resident

Drawing : - Elevations, W

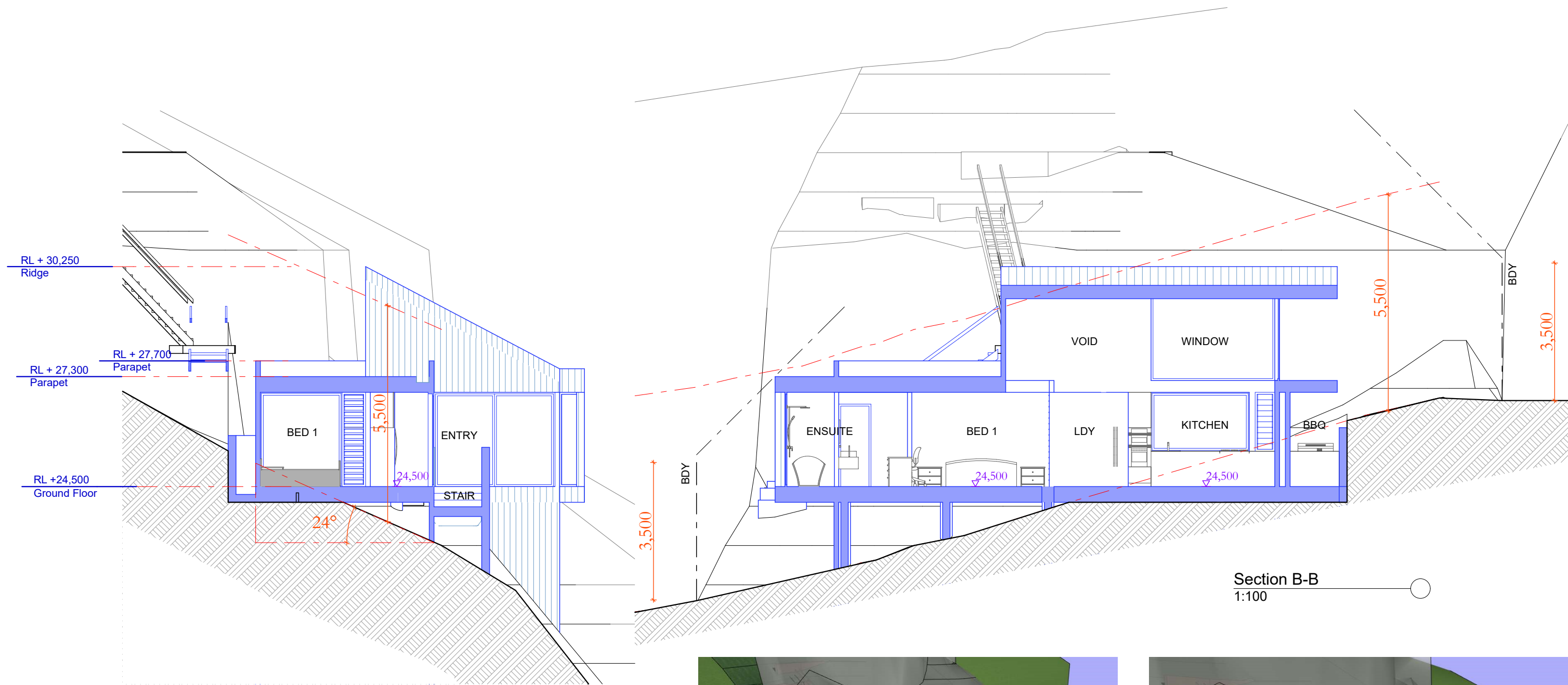
 = Proposed Work
 = Demolition
 = Existing

Drawn/Designed : PB
Project Number : 2
Drawing No. : D

Date : 260225

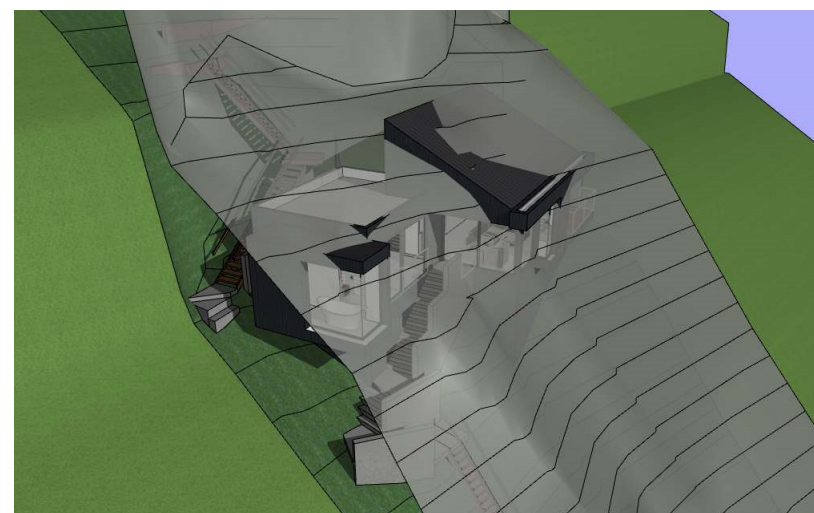
Scale : 1:100 @ A3

Issue : **A**



Section A-A
1:100

Section B-B
1:100



transgression through 5500 height plane shaded



25/02/25	A	Amended Plans
Date :	Issue :	Description :

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

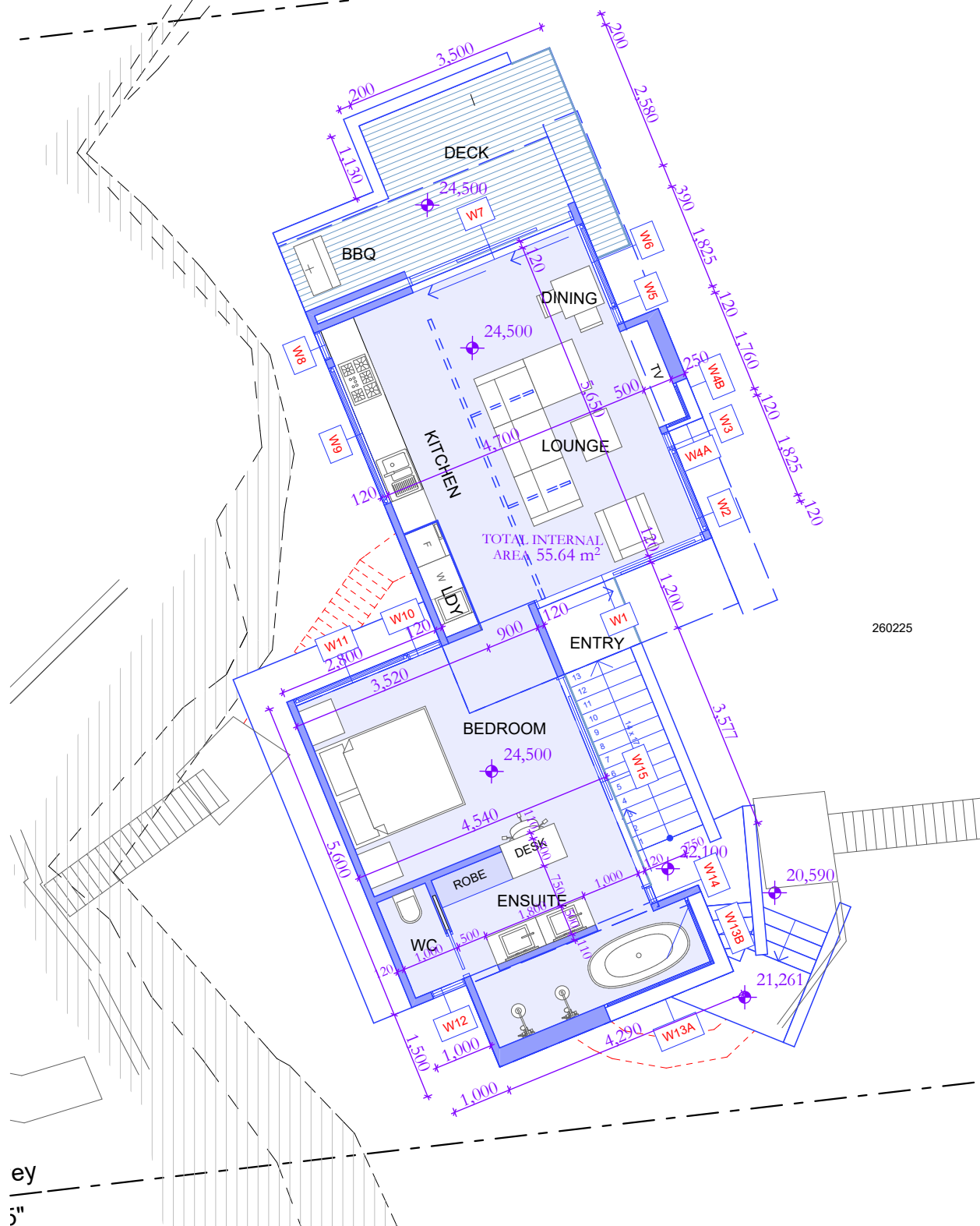


P e phil@northernbeachesdrafting.com.au 0414 978 499

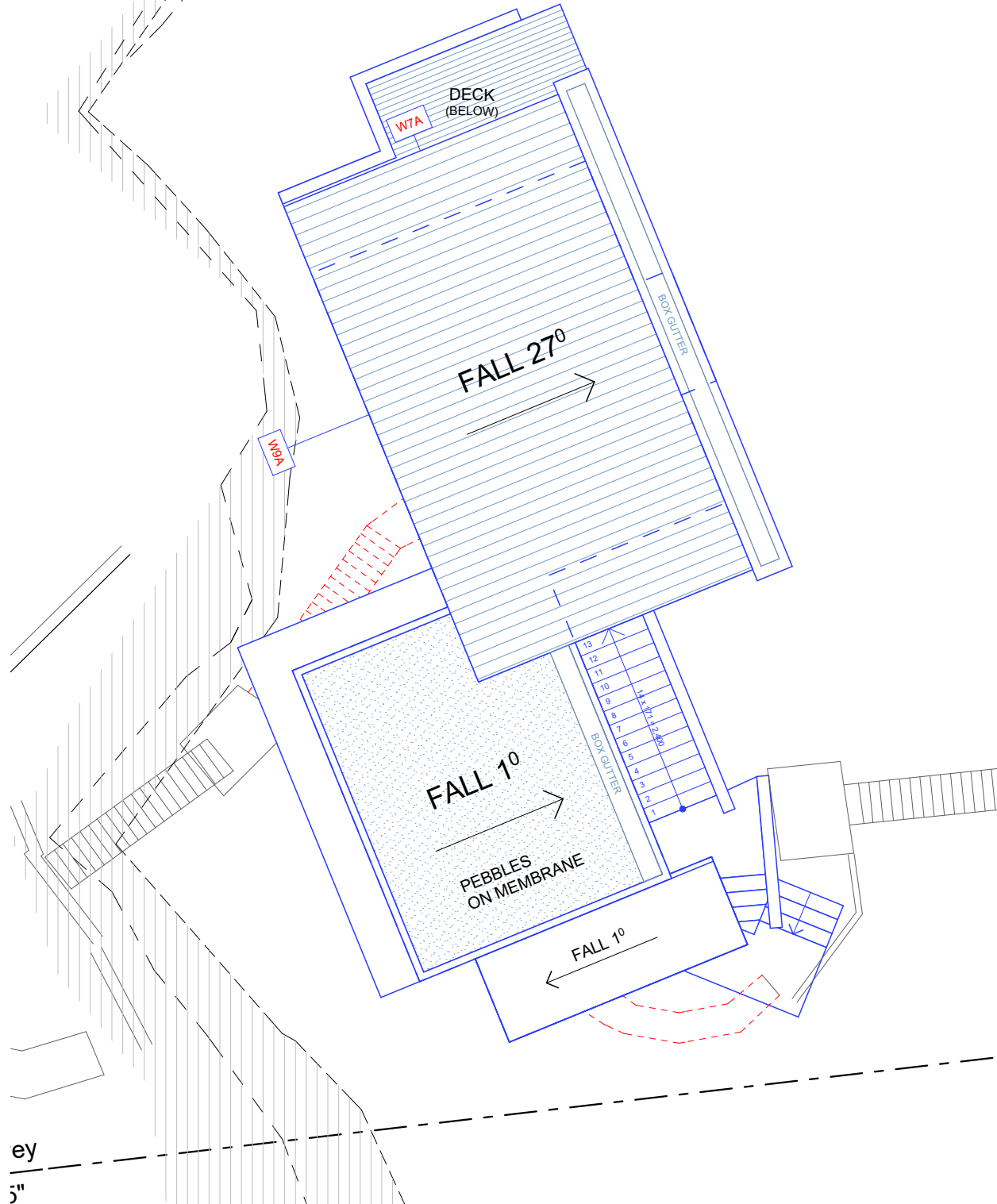
Project : Secondary Dwelling
Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m2
Client : Private Resident
Drawing : - Section A-A, B-B

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB
Project Number : 2408
Drawing No. : DA12
Date : 260225
Scale : 1:100 @ A3
Issue : A



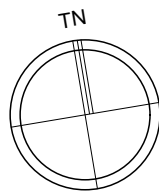
Ground Floor Window Schedule
1:100



Roof Floor Window Schedule
1:100



25/02/25	A	Amended Plans
Date :	Issue :	Description :



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Project : Secondary Dwelling
Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m2
Client : Private Resident
Drawing : Window Schedule - Floor Window Schedule 01

- = Proposed Work
- = Demolition
- = Existing

Drawn/Designed : PB	Date : 260225
Project Number : 2408	Scale : 1:100 @ A3
Drawing No. : CDC121	Issue : A

NOTE - TOP BLADE FIXED ON ALL LOUVRES - to louvres only outside

GENERAL NOTES:
-Residential
Aluminium black with black hardware unless otherwise stated

Reveals: -----
Colour : -----
Fittings : Lock with key standard

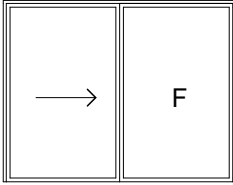
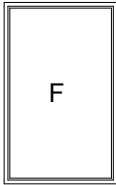




Screens : Flyscreens
Flashing: to bottom of all windows
EX = Existing opening dimensions to be checked

STUD OPENING SIZES

ALL WINDOWS TO BE CONFIRMED AND CROSS CHECKED ON-SITE

NOTE - BUILDERS TO CONFIRM BASIX SPECIFICATION WITH CLIENT BEFORE ORDERING WINDOWS

Window Schedule viewed from external

Window...	Qu...	Style	Height	Width	3D Front View	Location	Glass Type
W1	1	SLIDING DOOR	2,400	3,080		ENTRY	
W2	1	FIXED	2,400	1,495		LOUNGE	window have operable external Venetian blind
W3	1	LOUVRE	2,400	300		LOUNGE	window have operable external Venetian blind
W4A	1	CORNER FIXED	2,400	430		LOUNGE	window have operable external Venetian blind
W4B	1	CORNER FIXED	2,400	650		LOUNGE	window have operable external Venetian blind
W5	1	LOUVRE	2,400	300		DINING	window have operable external Venetian blind

REFER TO CORRESPONDING NATHERS CERTIFICATE(S) FOR CORRECT WINDOW SPECIFICATIONS / ALLOCATIONS (SEE AE.05 FORM FOR DETAIL)



P 0414 978 499
e phil@northernbeachesdrafting.com.au

Project : Secondary Dwelling
Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m2
Client : Private Resident
Drawing : **Window Schedule - 02**

Drawn/Designed : PB

Project Number : **2408**

Drawing No. : **CDC122**

Date : 260225

Scale : as shown

Issue :

NOTE - TOP BLADE FIXED ON ALL LOUVRES - to louvres only outside

GENERAL NOTES:
-Residential
Aluminium black with black
hardware unless otherwise stated

Reveals: -----
Colour : -----
Fittings : Lock with key standard


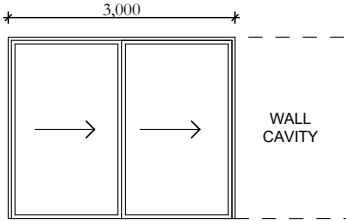
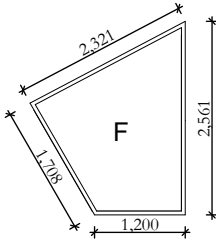



Screens : Flyscreens
Flashing: to bottom of all windows
EX = Existing opening dimensions to be checked

STUD OPENING SIZES

**ALL WINDOWS TO BE CONFIRMED
AND CROSS CHECKED ON-SITE**

**NOTE - BUILDERS TO CONFIRM BASIX
SPECIFICATION WITH CLIENT BEFORE
ORDERING WINDOWS**

Window Schedule viewed from external

Window...	Qu...	Style	Height	Width	3D Front View	Location	Glass Type
W6	1	FIXED	2,400	1,525		DINING	window have operable external Venetian blind
W7	1	SLIDING DOOR	2,400	3,000		LOUNGE / KITCHEN	
W7A	1	FIXED HIGHLIGHT	AS NOTED	AS NOTED		KITCHEN	
W8	1	LOUVRE	1,500	500		KITCHEN	
W9	1	FIXED	1,500	2,500		KITCHEN	
W9A	1	FIXED HIGHLIGHT	2,464	3,150		KITCHEN	

REFER TO CORRESPONDING NATHERS CERTIFICATE(S) FOR CORRECT WINDOW SPECIFICATIONS / ALLOCATIONS (SEE AE.05 FORM FOR DETAIL)



P 0414 978 499
e phil@northernbeachesdrafting.com.au

Project : Secondary Dwelling
Development Application
20 Sunrise Rd, Palm Beach
Lot 140 in DP 11552 - 1060m2
Client : Private Resident
Drawing : Window Schedule - 03

Drawn/Designed : PB

Project Number : 2408

Drawing No. : CDC123

Date : 260225


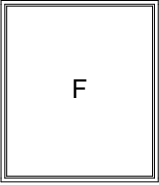

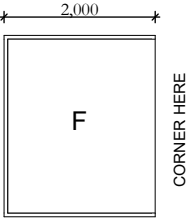
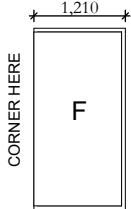
Scale : as shown

Issue :

NOTE - TOP BLADE FIXED ON ALL LOUVRES - to louvres only outside

GENERAL NOTES: -Residential Aluminium black with black hardware unless otherwise stated	Reveals: ----- Colour : ----- Fittings : Lock with key standard	Screens : Flyscreens Flashing: to bottom of all windows EX = Existing opening dimensions to be checked
STUD OPENING SIZES	ALL WINDOWS TO BE CONFIRMED AND CROSS CHECKED ON-SITE	NOTE - BUILDERS TO CONFIRM BASIX SPECIFICATION WITH CLIENT BEFORE ORDERING WINDOWS

Window Schedule viewed from external

Window...	Qu...	Style	Height	Width	3D Front View	Location	Glass Type
W10	1	LOUVRE	2,400	600		BEDROOM	window have operable external Venetian blind
W11	1	FIXED	2,400	2,080		BEDROOM	window have operable external Venetian blind
W12	1	LOUVRE	2,400	600		WC	window have operable external Venetian blind
W13A	1	CORNER FIXED	2,400	2,000		ENSUITE	window have operable external Venetian blind
W13B	1	CORNER FIXED	2,400	1,210		ENSUITE	window have operable external Venetian blind


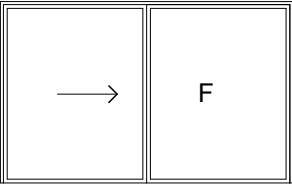
REFER TO CORRESPONDING NATHERS CERTIFICATE(S) FOR CORRECT WINDOW SPECIFICATIONS / ALLOCATIONS (SEE AE.05 FORM FOR DETAIL)



NOTE - TOP BLADE FIXED ON ALL LOUVRES - to louvres only outside

GENERAL NOTES: -Residential Aluminium black with black hardware unless otherwise stated	Reveals: ----- Colour : ----- Fittings : Lock with key standard	Screens : Flyscreens Flashing: to bottom of all windows EX = Existing opening dimensions to be checked
STUD OPENING SIZES	ALL WINDOWS TO BE CONFIRMED AND CROSS CHECKED ON-SITE	NOTE - BUILDERS TO CONFIRM BASIX SPECIFICATION WITH CLIENT BEFORE ORDERING WINDOWS

Window Schedule viewed from external

Window...	Qu...	Style	Height	Width	3D Front View	Location	Glass Type
W14	1	LOUVRE	2,400	300		ENSUITE	window have operable external Venetian blind
W15	1	SLIDING DOOR	2,400	3,870		BEDROOM	window have operable external Venetian blind
	19						



REFER TO CORRESPONDING NATHERS CERTIFICATE(S) FOR CORRECT WINDOW SPECIFICATIONS / ALLOCATIONS (SEE AE.05 FORM FOR DETAIL)



P
e phil@northernbeachesdrafting.com.au 0414 978 499

Project : Secondary Dwelling Development Application
 20 Sunrise Rd, Palm Beach
 Lot 140 in DP 11552 - 1060m2
 Client : Private Resident
 Drawing : **Window Schedule - 05**

Drawn/Designed : PB

Project Number : **2408**

Drawing No. : **CDC125**

Date : 260225

Scale : as shown

Issue :