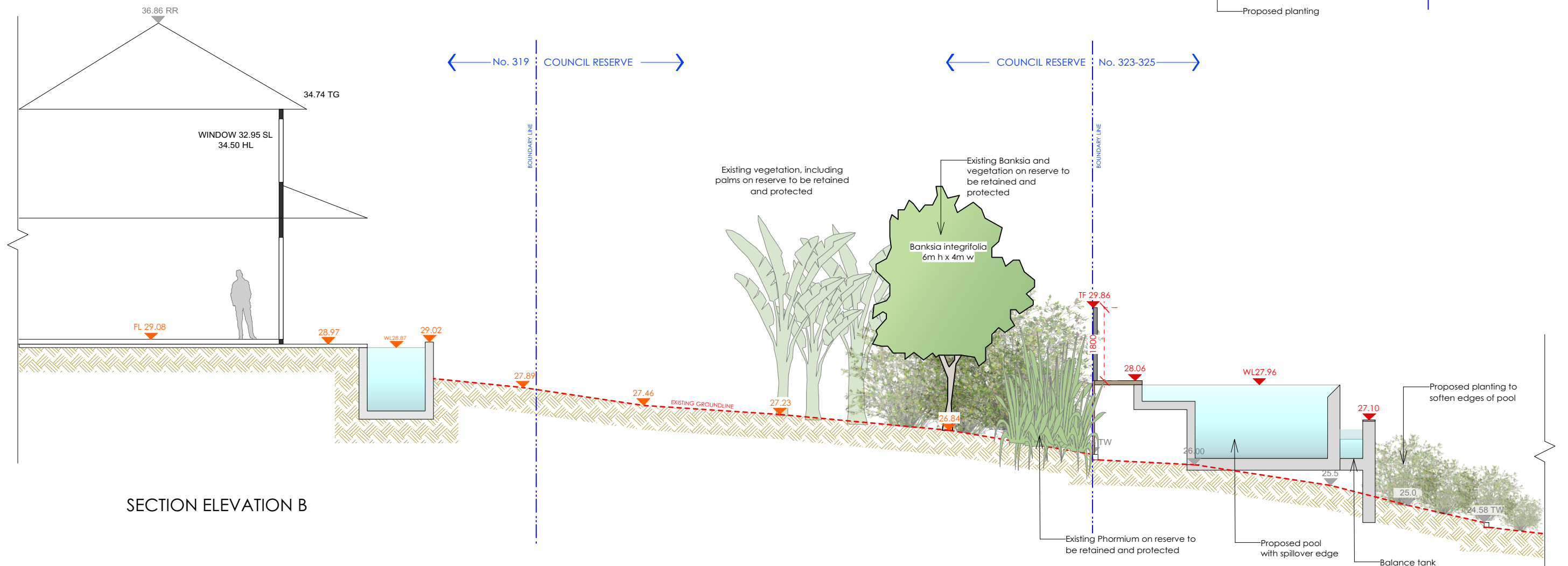


SECTION A-A



SECTION ELEVATION B

C 11/12/19 For DA submission
B 19/11/19 For DA submission
A 24/9/19 For external consultants review

landart.
HOME + GARDEN + BEYOND

Unit 2/68 Tulloh St Willoughby NSW 2068
PO Box 705 Crows Nest NSW 1585
T: (02) 9958 0462
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CLIENT
Blampied & Webster Residence

PROJECT
323-325 Whale Beach Road, Palm Beach
Lots 241 & 242 D.P. 16362

SECTIONS AND ELEVATIONS

28/08/2019

DRAWN
KB

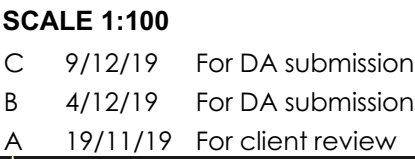
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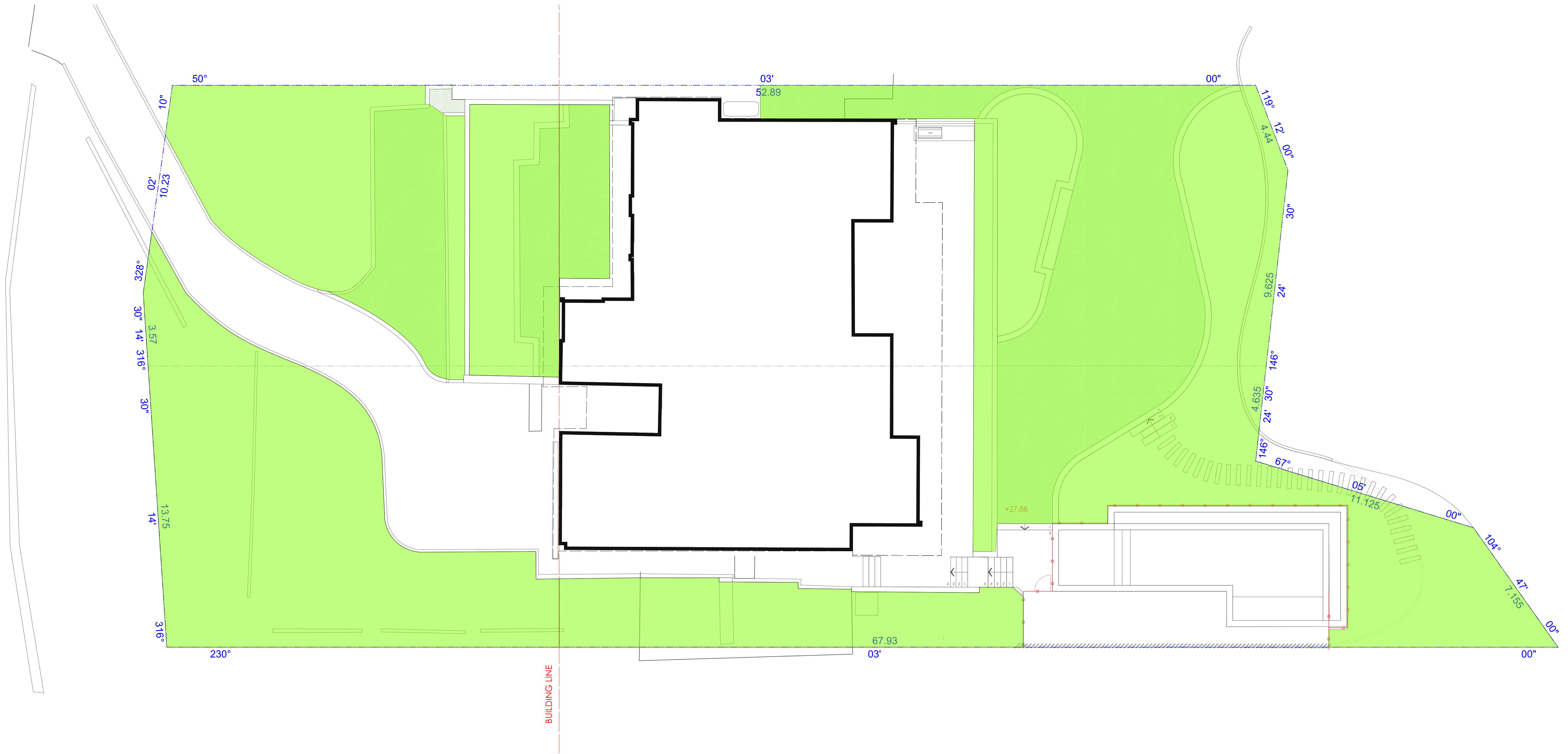
DWG NO

SE 01

REVISION

C



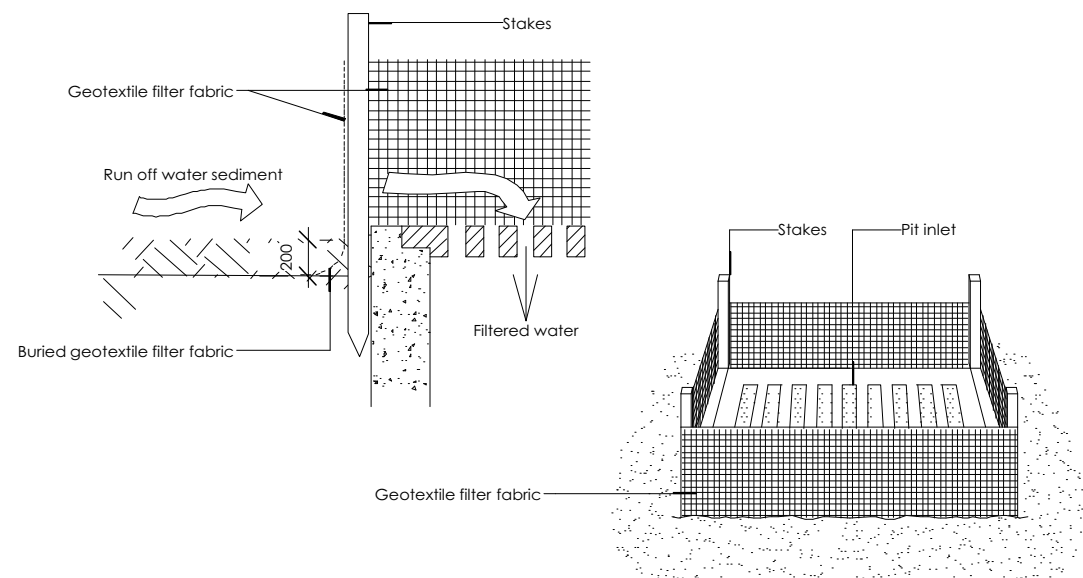


| TOTAL SITE: | | | | FRONT SETBACK: | | | |
|---|--|--|--|---------------------------------|--|--|--|
| SITE AREA: | | | | TOTAL FRONT AREA: | | | |
| MINIMUM REQUIREMENT: | | | | MINIMUM REQUIREMENT: | | | |
| DCP CLAUSE D12.10 ii) IMPERVIOUS VARIATION: | | | | PROPOSED FRONT LANDSCAPED AREA: | | | |
| TOTAL MINIMUM REQUIREMENT: | | | | 399.9m2 meets requirement | | | |
| TOTAL PROPOSED LANDSCAPE AREA: | | | | | | | |
| 871.9m2 - meets requirement | | | | | | | |

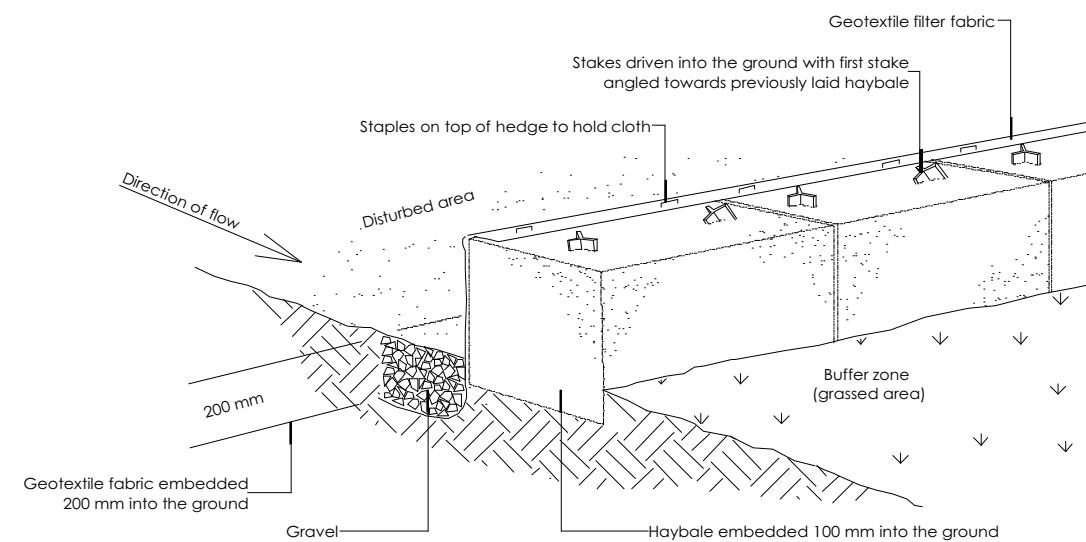


A 3/12/19 For DA submission

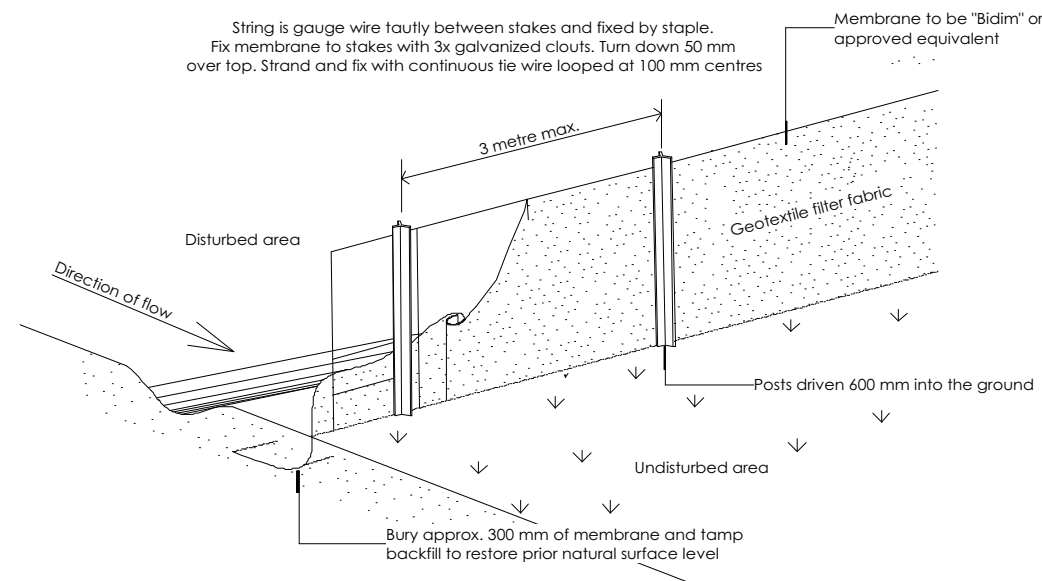
| DWG NO | REVISION |
|--------|----------|
| LAC 01 | A |



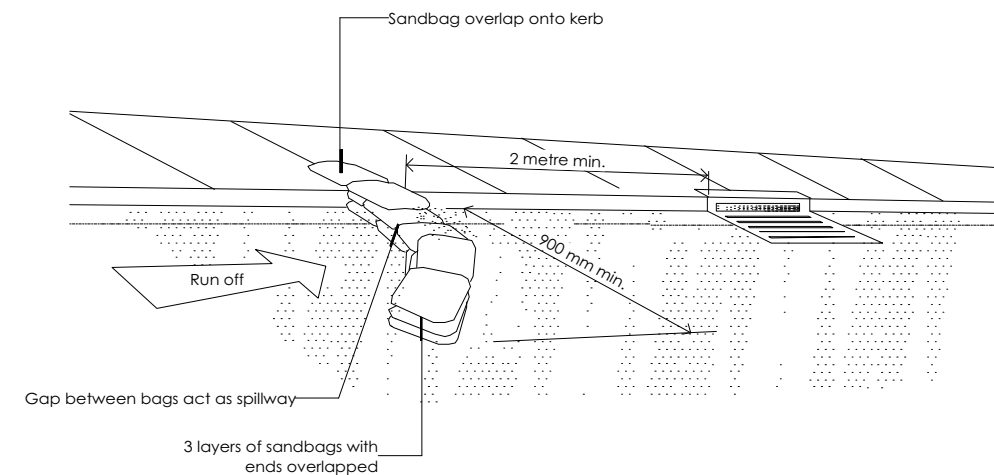
GEOTEXTILE FILTER FABRIC SURROUND



STRAW BALE AND GEOTEXTILE SEDIMENT FILTER



SEDIMENT FENCE



SANDBAG SEDIMENT TRAP FOR KERB INLET ON GRADE

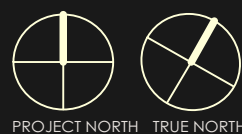
General Notes:

- All work shall be generally carried out in accordance with:
 - Local authority requirements
 - EPA requirements
 - NSW department of housing manual
- Maintain the erosion control devices to the satisfaction of the superintendent and the local authority.
- When stormwater pits are constructed, prevent site run off entering unless silt fences are erected around pits.
- Contractor is to ensure all erosion & sedimentation control devices are maintained in good working order and operate effectively. Repairs and/or maintenance shall be undertaken as required, particularly following storm events.
- Clean behind fence each major storm or otherwise as directed and remove all silt from the site.
- Silt fence is to be installed & approved by Council's supervising engineers before overburden is removed. this fence may require replacement at times if located within or nearby construction zones.
- 'Bidim' is supplied by Geofabrics Australia Pty. Ltd.

landart.
HOME + GARDEN + BEYOND

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CLIENT
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PROJECT
323-325 Whale Beach Road, Palm Beach
Lots 241 & 242 D.P. 16362

EROSION & SEDIMENT CONTROL PLAN

28/08/2019

DRAWN
KB

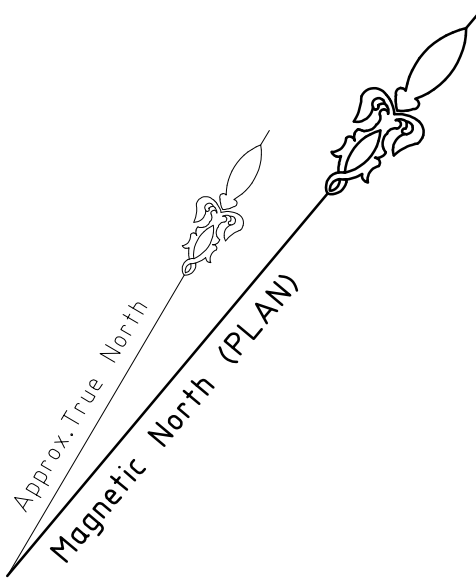
SCALE
NTS @A3

A 19/11/19 DA submission
DWG NO

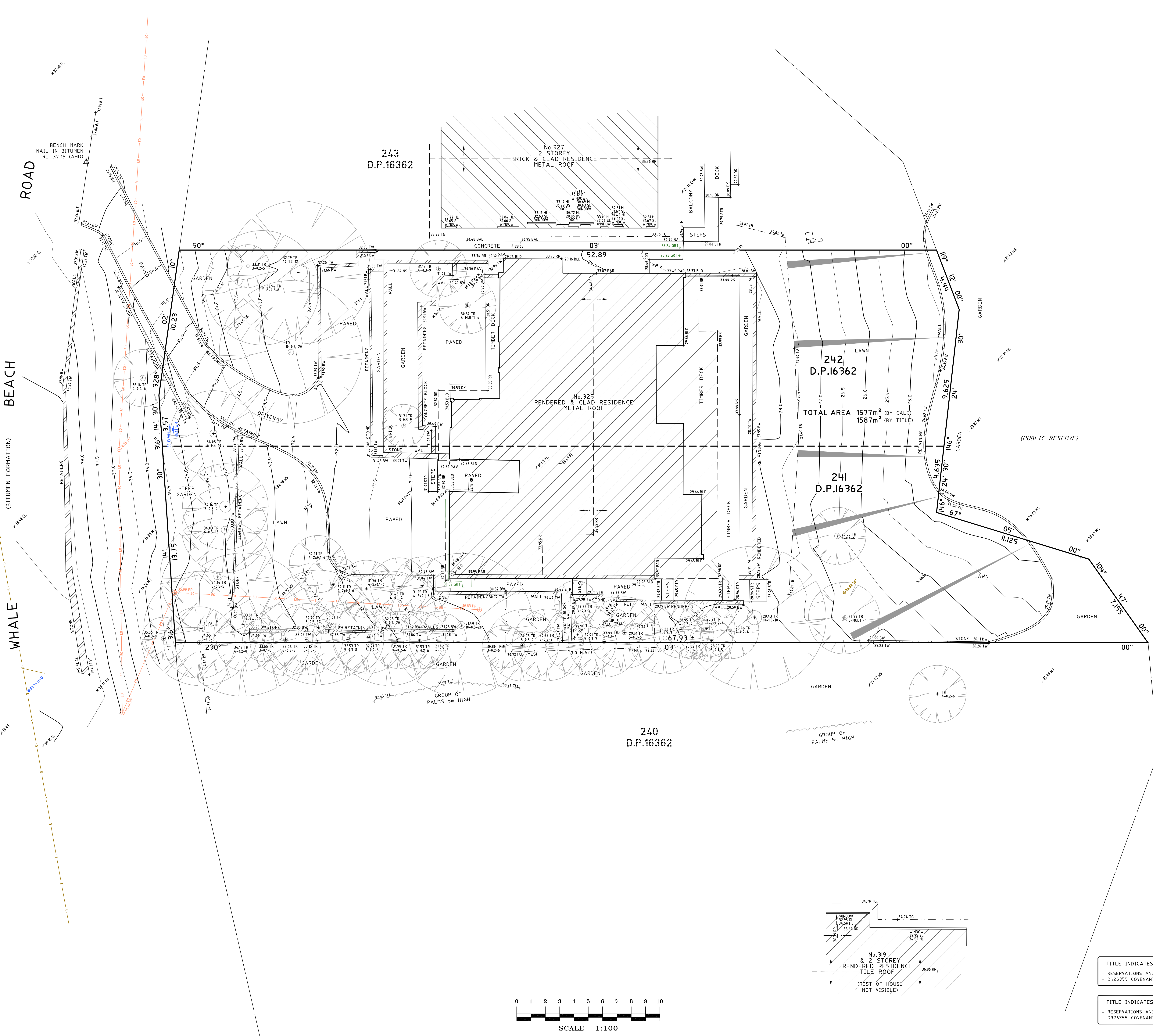
ESCP 01

REVISION

A



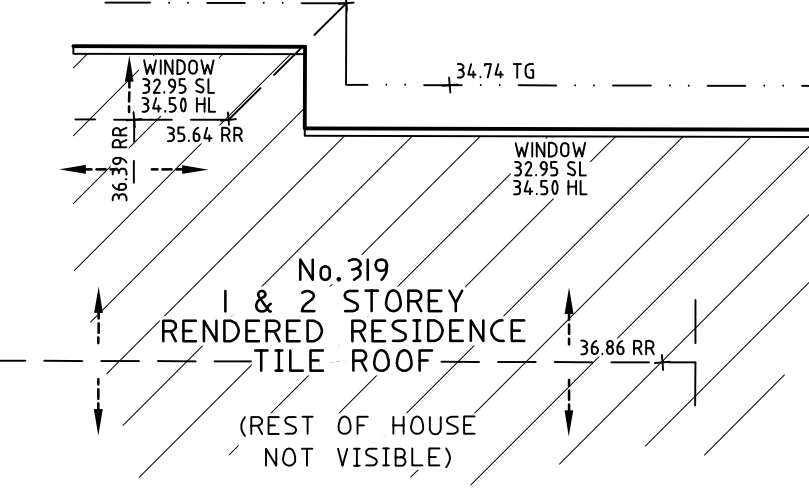
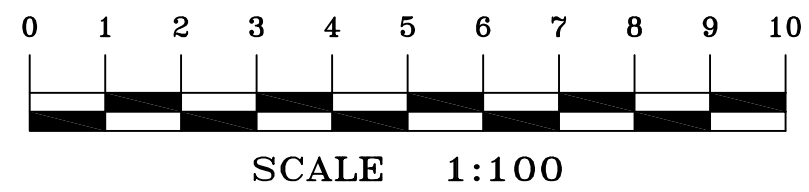
SEWER MAIN PLOTTED FROM SYDNEY WATER DIAGRAM APPROXIMATE POSITION ONLY



LEGEND:

BAL = BALCONY
BB = BOTTOM OF BANK
BIT = BITUMEN
BLD = EXTERNAL BUILDING
BW = BOTTOM WALL
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DS = DOOR SILL LEVEL
FCE = FENCE
FL = FLOOR LEVEL
GAPL = GARAGE FLOOR LEVEL
GRT = GRATE
HL = HOOD LEVEL
HYD = HYDRANT
LID = MISCELLANEOUS PIT LID
NS = NATURAL SURFACE
PAR = PARAPET
PAY = PAVING
RR = ROOF RIDGE
SIP = SEWER INSPECTION PIT
SL = SILL LEVEL
STR = STAIRS
TB = TOP OF BANK
TG = TOP OF GUTTER
TLE = TREE LINE
TR = TREE
TW = TOP OF WALL
WM = WATER METER
ELECTRICITY OVERHEAD
SEWER UNDERGROUND

TREE
SPREAD-DIAMETER-HEIGHT



TITLE INDICATES THAT LOT 241 IN D.P.16362 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- D326355 COVENANT

TITLE INDICATES THAT LOT 242 IN D.P.16362 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- D326355 COVENANT (NOT INVESTIGATED)

NOTES

- BOUNDARIES HAVE NOT BEEN REFINED (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
- A BASIC BOUNDARY SURVEY HAS BEEN UNDERTAKEN SUITABLE FOR COUNCIL DATA SUBMISSION (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
- IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED.
- THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.
- AREA IS APPROXIMATE ONLY AND HAS BEEN CALCULATED BY TITLE DIMENSIONS. ALL TITLE DIMENSIONS OF THE LAND HAVE NOT BEEN CONFIRMED BY SURVEY. IF AREAS ARE CRITICAL WE RECOMMEND A BOUNDARY SURVEY FOR PUBLIC RECORD.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF DAVID WEBSTER & CHRISTINE BLAMPIED
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGNOSTIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION, LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (DN 1180) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGNOSTIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © C.M.S. SURVEYORS 2018.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 6902
R.L. 51.412 (ORDER L2)
SOURCE: S.C.I.M.S. (24/09/18)

CLIENT: DAVID WEBSTER & CHRISTINE BLAMPIED
c/- WYER & Co, SUITE 4.09
46A MACLEAY STREET,
POTTS POINT NSW 2011

SURVEY PLAN
SHOWING DETAIL & LEVELS
OVER LOTS 241 & 242 IN D.P.16362
323-325 WHALE BEACH ROAD
PALM BEACH NSW 2108

C.M.S. Surveyors Pty Limited
ACN: 096 240 201
PO Box 463 Dee Why NSW 2099
2/39A South Creek Road, Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

| | | | |
|--------------------------|-------------------|--------------------------|--------------|
| LGA: NORTHERN BEACHES | | SHEET 1 OF 1 | |
| SURVEYED H.C. | DRAWN R.N. | CHECKED H.C. | APPROVED MDL |
| SURVEY INSTRUCTION 18080 | SCALE 1:100 IN AD | DATE OF SURVEY 25/09/18 | ISSUE 1 |
| DRAWING NAME 18080detail | | CAD FILE 18080detail.dwg | |