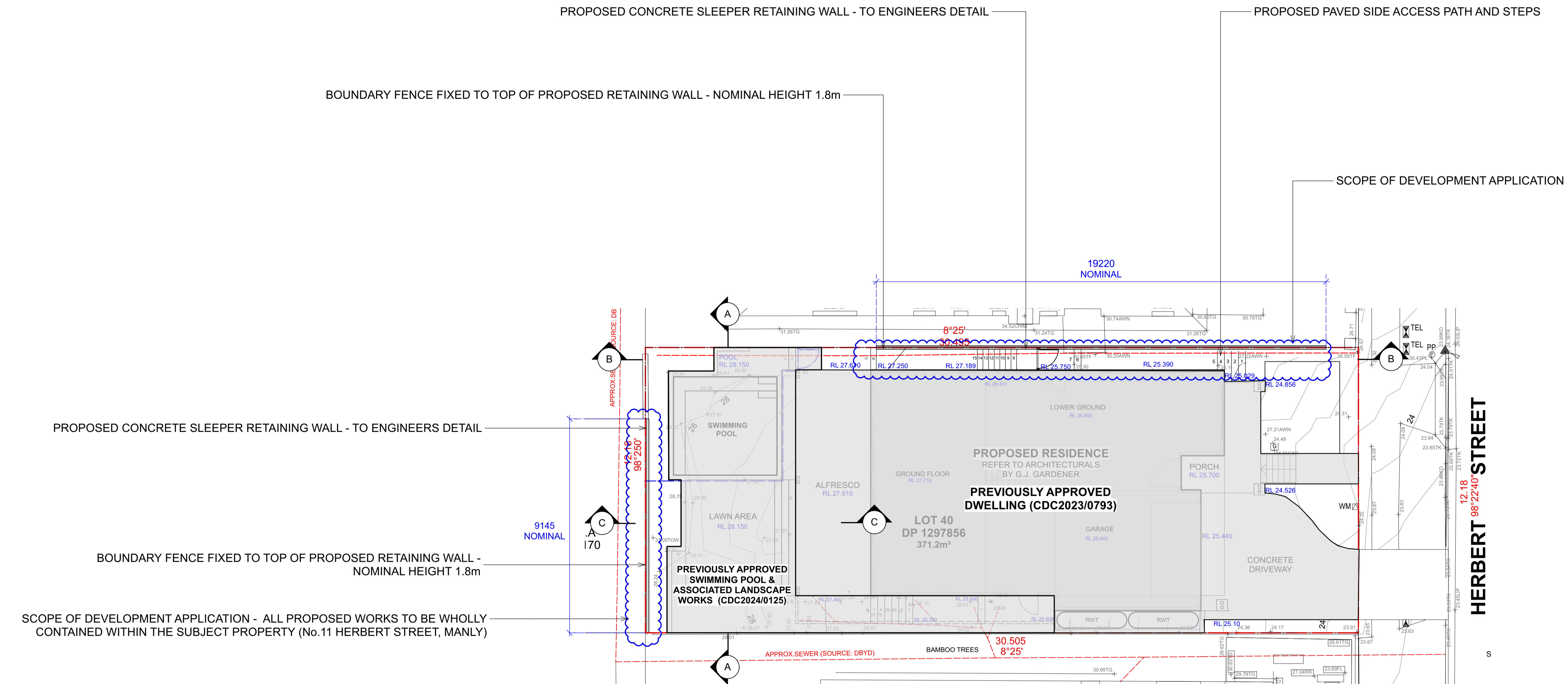


LEGEND

- CONCRETE SLEEPER RETAINING WALL
- BOUNDARY LINE



SITE PLAN

Scale 1:100

NOTE
TOP OF WALLS SHOW FOR PROPOSED RETAINING WORKS ARE INDICATIVE ONLY AND MUST BE CONFIRMED ONSITE BY BUILDER

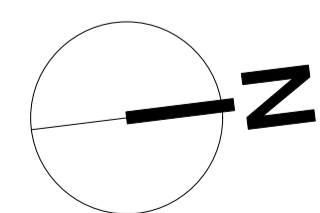
CONTOUR
LANDSCAPE ARCHITECTURE
PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDL M

PROJECT:
Anthony Dawson & Jane Hutchinson
11 HERBERT STREET MANLY, NSW 2095

NOTES
comply with building code of Australia and all relevant Australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to ahd
refer to survey information relating to existing site data
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DATE	REV.	ISSUE
27/05/24	A	DA

DATE:	27/05/2024	DRAWING	SITE PLAN
SCALE:	1:100@A1 1:200@A3	DRAWING NO :	C1
DRAWN:	CC	REV:	A



SCOPE OF DEVELOPMENT APPLICATION - ALL PROPOSED WORKS TO BE WHOLLY CONTAINED WITHIN THE SUBJECT PROPERTY (No.11 HERBERT STREET, MANLY)

BOUNDARY FENCE FIXED TO TOP OF PROPOSED RETAINING WALL - NOMINAL HEIGHT 1.8m

PROPOSED CONCRETE SLEEPER RETAINING WALL - TO ENGINEERS DETAIL

TOW TO MATCH GROUND LINE OF PROPERTY BEYOND

9145 NOMINAL

NOMINAL T.O.W 29.840

T.O.W 28.78

T.O.W 29.240

TOW RL 28.610

POOL RL 28.150

EXISTING BRICK BOUNDARY FENCE

PREVIOUSLY APPROVED SWIMMING POOL & ASSOCIATED LANDSCAPE WORKS (CDC2024/0125)

SECTION AA

Scale 1:50

NOTE

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CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
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PROJECT:

**Anthony Dawson &
Jane Hutchinson**

11 HERBERT STREET MANLY, NSW 2095

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DATE REV. ISSUE

DATE	REV.	ISSUE
27/05/24	A	DA

DATE: 27/05/2024

SCALE: 1:50@A3

DRAWN: CC

DRAWING
SECTION AA

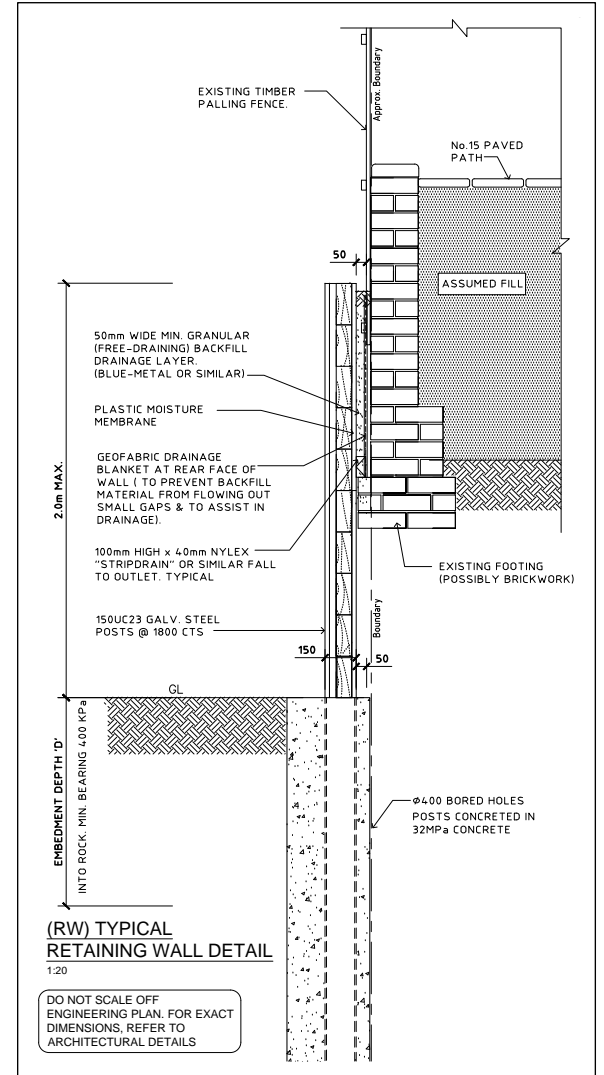
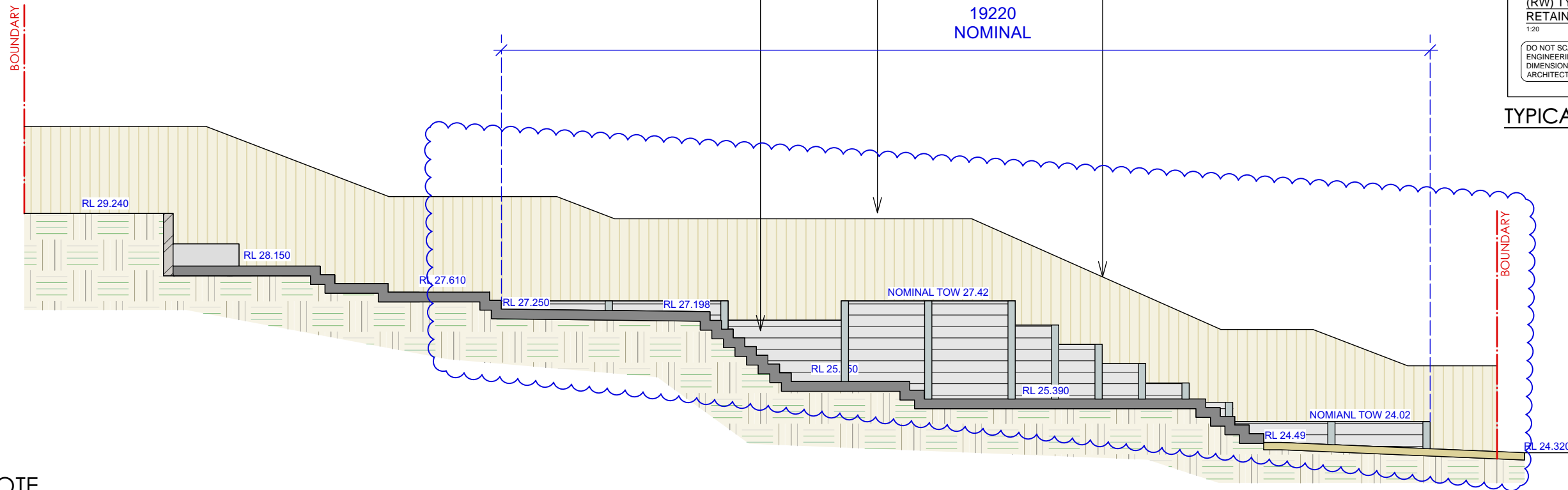
DRAWING NO : C2

REV: A

BOUNDARY FENCE FIXED TO TOP OF PROPOSED RETAINING WALL - NOMINAL HEIGHT 1.8m

SCOPE OF DEVELOPMENT APPLICATION

PROPOSED CONCRETE SLEEPER RETAINING WALL TO MATCH EXTENT OF EXISTING DILAPIDATED WALL - TO ENGINEERS DETAIL



TYPICAL WALL DETAIL

NOTE

TOP OF WALLS SHOW FOR PROPOSED RETAINING WORKS ARE INDICATIVE ONLY AND MUST BE CONFIRMED ONSITE BY BUILDER

SECTION BB

Scale 1:100

CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDL M

PROJECT:

**Anthony Dawson &
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DATE REV. ISSUE

27/05/24 A DA

DATE: 27/05/2024

SCALE: 1:100@A3

DRAWN: CC

DRAWING
SECTION BB

DRAWING NO : C3

REV: A

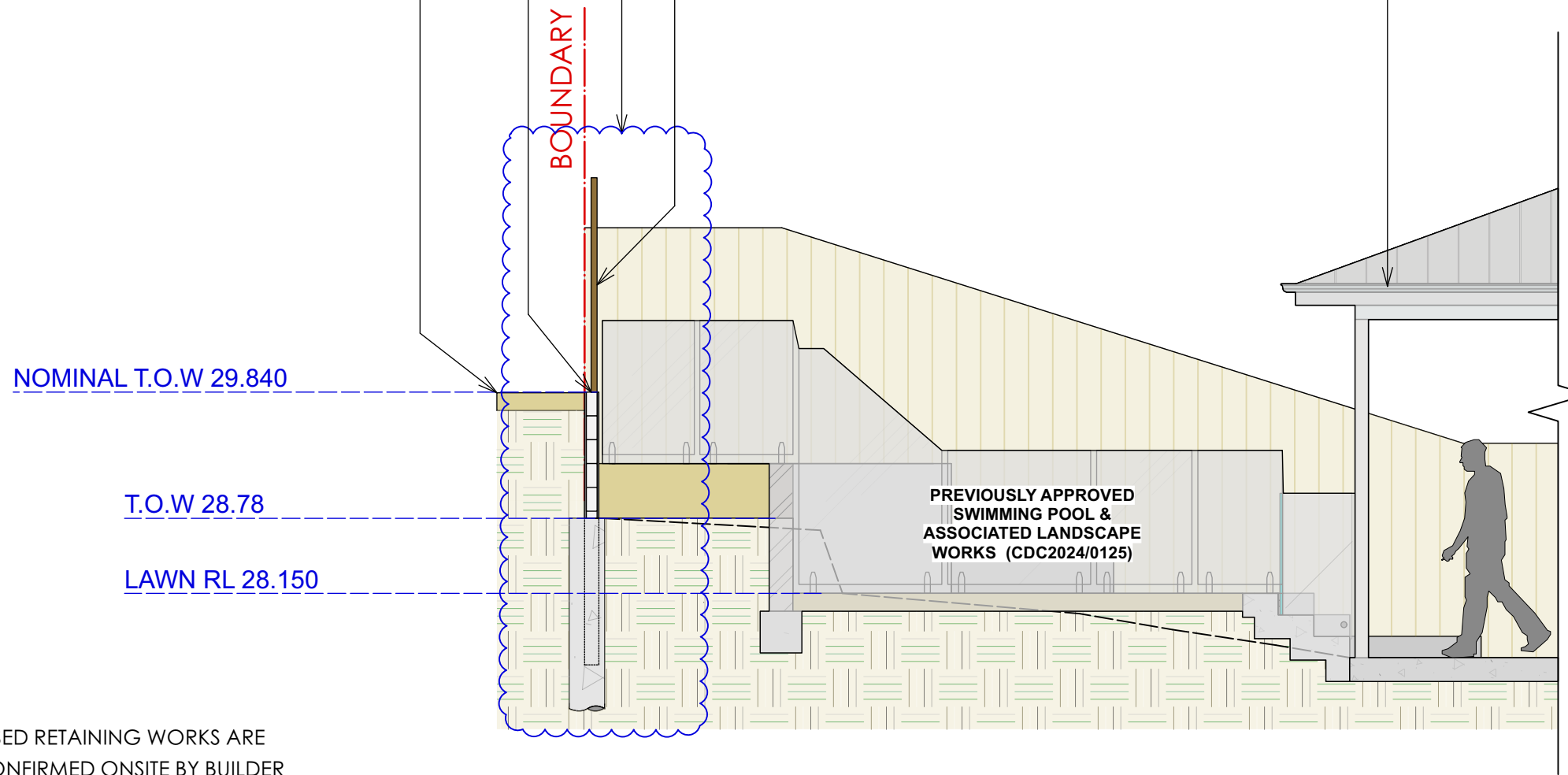
SCOPE OF DEVELOPMENT APPLICATION - ALL PROPOSED WORKS TO BE WHOLLY CONTAINED WITHIN THE SUBJECT PROPERTY (No.11 HERBERT STREET, MANLY)

BOUNDARY FENCE FIXED TO TOP OF PROPOSED RETAINING WALL - NOMINAL HEIGHT 1.8m

PROPOSED CONCRETE SLEEPER RETAINING WALL - TO ENGINEERS DETAIL

PREVIOUSLY APPROVED DWELLING (CDC2023/0793) - SHADED GREY

TOP OF WALL TO MATCH GROUND LEVEL OF PROPERTY TO THE REAR



NOTE

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SECTION CC

Scale 1:50

CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
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PROJECT:

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11 HERBERT STREET MANLY, NSW 2095

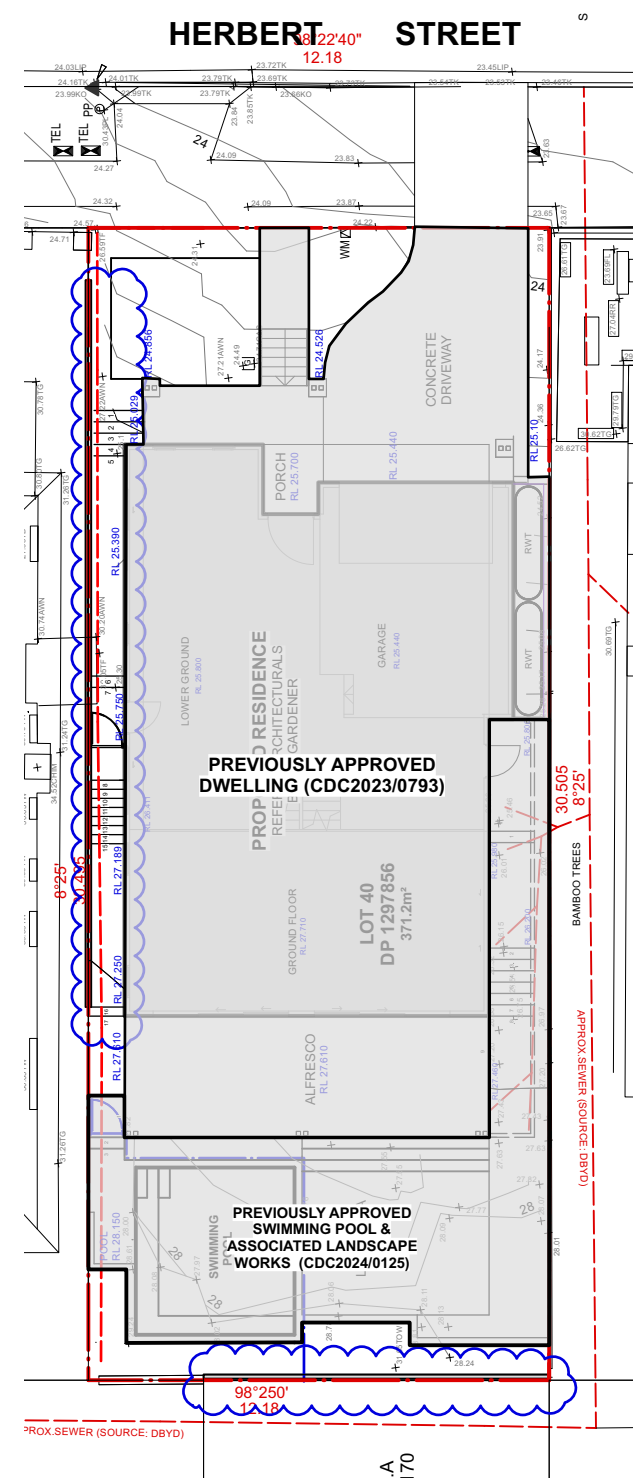
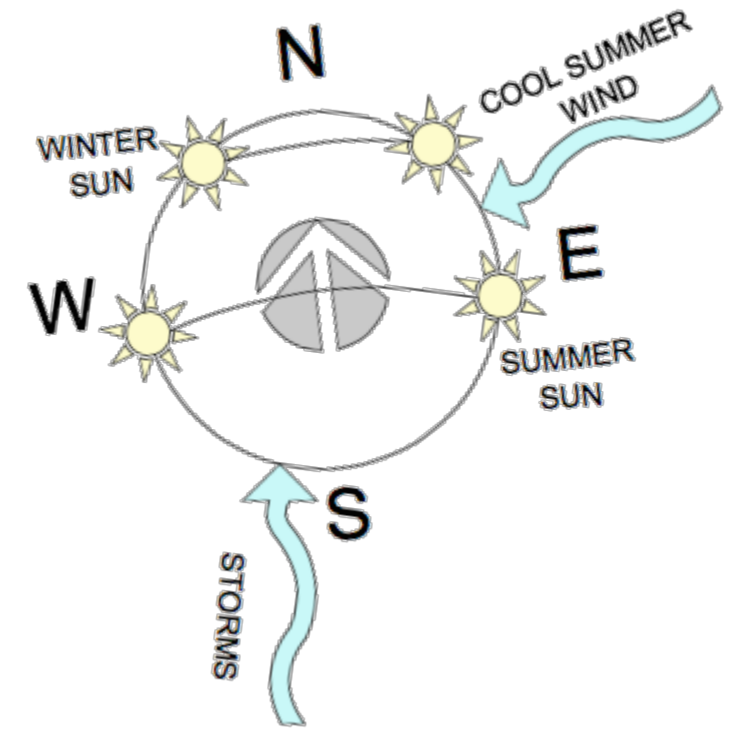
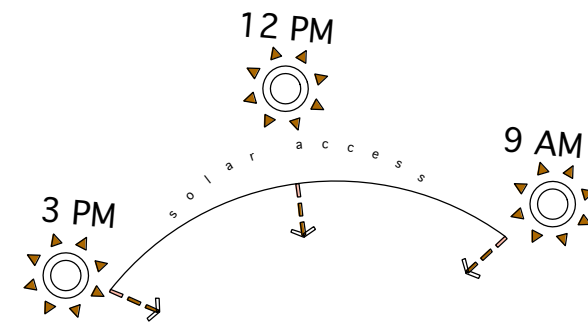
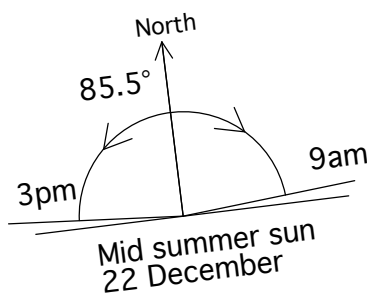
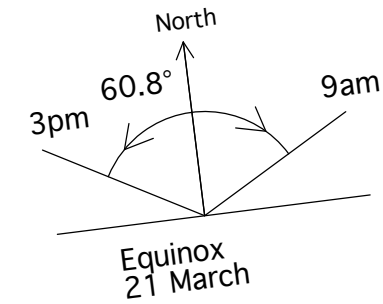
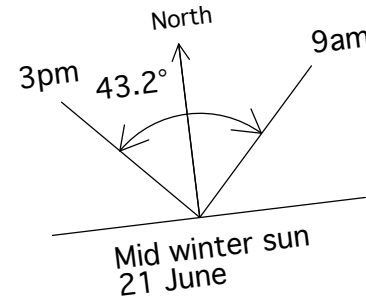
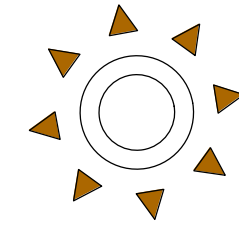
NOTES

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DATE	REV.	ISSUE
27/05/24	A	DA

DATE:	27/05/2024	DRAWING	SECTION CC
SCALE:	1:50@A3	DRAWING NO :	C4
DRAWN:	CC	REV:	A

Sun Angles



CONTOUR
LANDSCAPE ARCHITECTURE

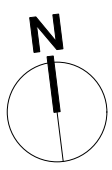
PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLAM

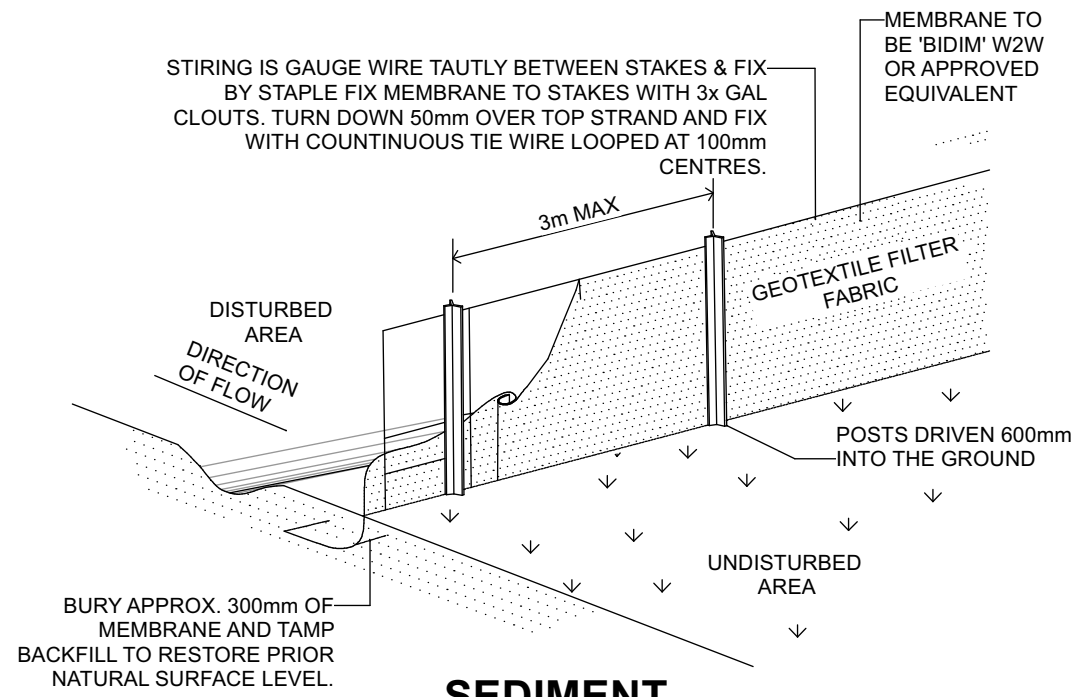
PROJECT:
**Anthony Dawson &
Jane Hutchinson**
11 HERBERT STREET MANLY, NSW 2095

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DATE	REV.	ISSUE
27/05/24	A	DA

DATE:	27/05/2024	DRAWING	SITE ANALYSIS
SCALE:	1:100@A1 1:200@A3	DRAWING NO :	C4
DRAWN:	CC	REV:	A



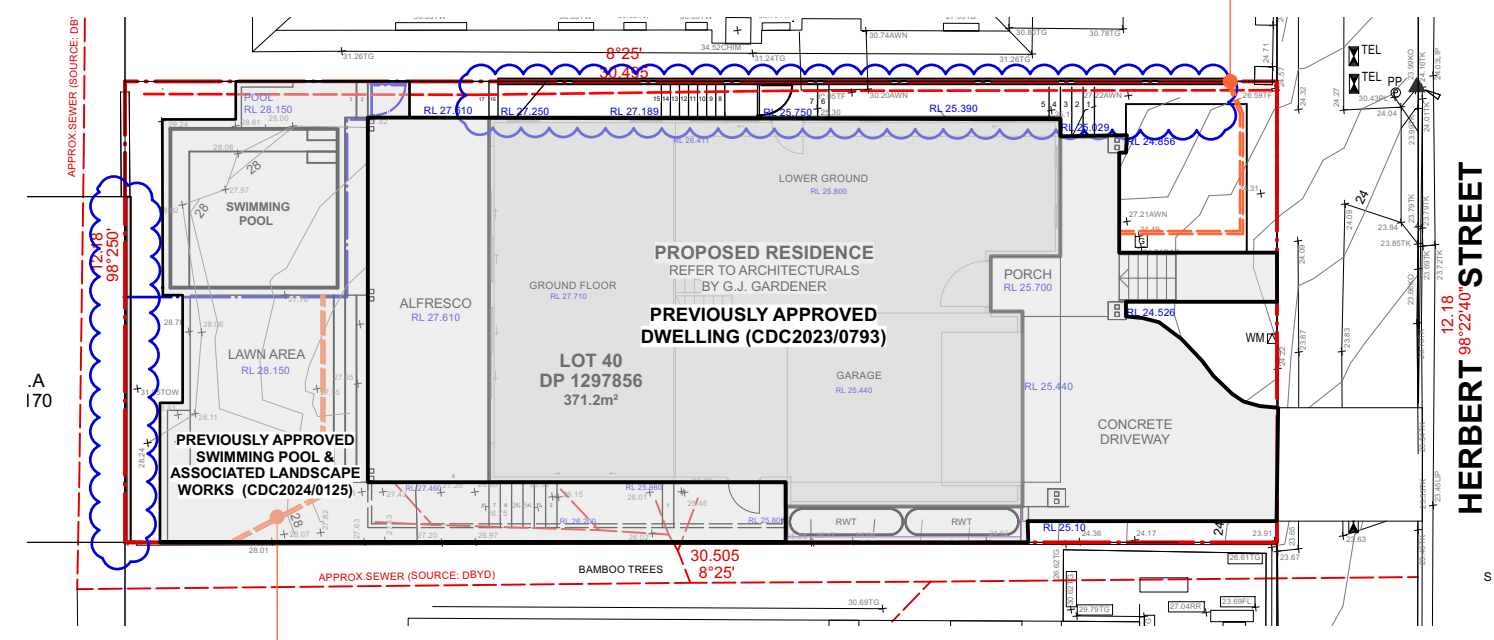


SEDIMENT CONTROL FENCE

SEDIMENT CONTROL DETAILS

Scale 1:50

1. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
 - A. LOCAL AUTHORITY REQUIREMENTS
 - B. EPA REQUIREMENTS
 - C. NSW DEPARTMENT OF HOUSING MANUAL
2. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
3. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.
4. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
5. CLEAN BEHIND FENCE EACH MAJOR STORM OR OTHERWISE AS DIRECTED AND REMOVE ALL SILT FROM THE SITE.
6. 'BIDIM' W2W IS SUPPLIED BY GEOFABRICS AUST. P/L



SEDIMENT CONTROL PLAN

Scale 1:200

CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLAM

PROJECT:
**Anthony Dawson &
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DATE	REV.	ISSUE
27/05/24	A	DA

DATE:	27/05/2024	DRAWING SEDIMENT CONTROL PLAN DRAWING NO : C5
SCALE:	1:100@A1 1:200@A3	
DRAWN:	CC	REV: A

