

## Landscape Referral Response

<b>Application Number:</b>	DA2022/0340
<b>Date:</b>	11/05/2022
<b>Responsible Officer:</b>	Thomas Burns
<b>Land to be developed (Address):</b>	Lot 361 DP 700858 , 21 Parkview Road FAIRLIGHT NSW 2094

### Reasons for referral

This application seeks consent for the following:

- Construction / development works within 5 metres of a tree or
- New residential works with three or more dwellings. (RFB's, townhouses, seniors living, guesthouses, etc). or
- Mixed use developments containing three or more residential dwellings.
- New Dwellings or

### Officer comments

#### Amended plans Comment 11/05/2022

Amended plans relocating the driveway are noted.

It is understood that due to engineering requirements, the amendment has been required.

An improved soft landscape outcome in the front setback is considered to have been achieved with the amendment.

The relocation will require removal of one small street tree in average condition, which can be replaced within the road reserve.

No objections are raised with regard to landscape issues, subject conditions including to replanting.

#### Original Comment

The application seeks consent for alterations and additions to a semi-detached dwelling.

Council's Landscape Referral section have considered the application against the Manly Local Environment Plan, and the following Manly DCP 2013 controls (but not limited to):

I 3.1.1 Streetscape (Residential areas)

I 3.1.1.4 Garages, Carports and Hardstand Areas

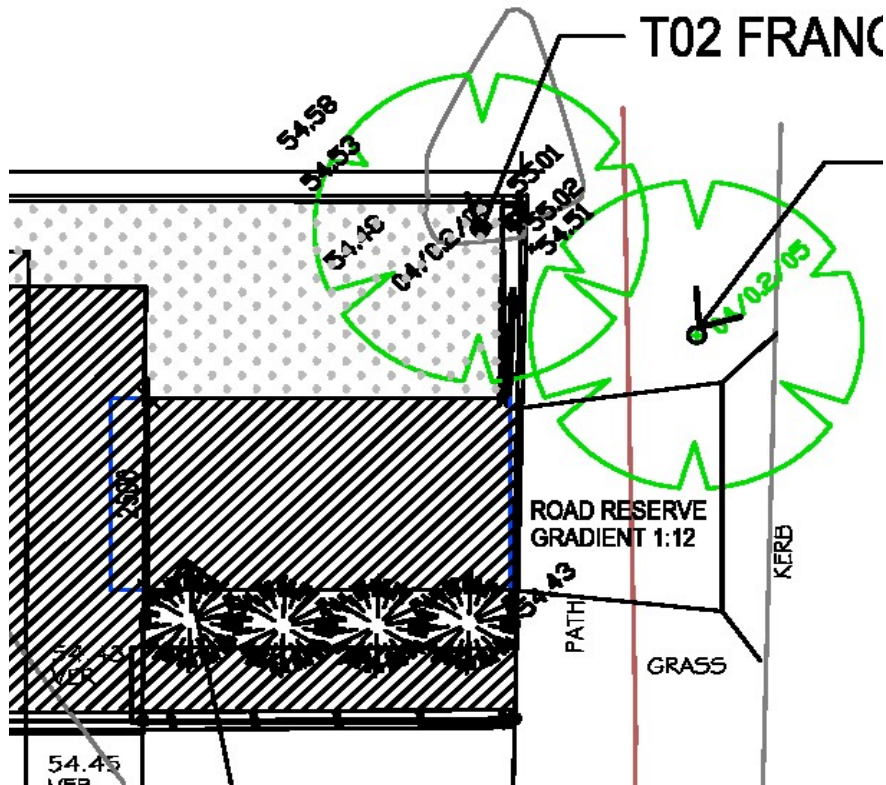
I 3.3.1 Landscaping Design

I 3.3.2 Preservation of Trees or Bushland Vegetation

The plans indicate that the new driveway crossover is to be located adjacent to an existing street tree, though the tree is indicated for retention.

Concern is raised regarding the proximity of the crossover to the tree and it is recommended that the crossover be relocated further south of the tree and butt up to the entry path to the dwelling. This would

require deletion of a small planted area indicated on the plans between the path and the drive, which seems to serve little purpose, particularly in relation to exit from a vehicle from the passenger side (if car is parked front first).



Subject to relocation of the crossover further away from the street tree, no objections are raised with regard to landscape issues subject to conditions.

The proposal is therefore supported.

Note: Should you have any concerns with the referral comments above, please discuss these with the Responsible Officer.

#### Recommended Landscape Conditions:

### CONDITIONS THAT MUST BE ADDRESSED PRIOR TO ANY COMMENCEMENT

#### Tree Removal Within the Road Reserve

a) This consent approves the removal of the following tree(s) within the road reserve::

- i) 1 x *Callistemon* sp. forward of the property to accommodate the new driveway crossover.

b) Removal of the approved tree/s in the road reserve shall only be undertaken by a Council approved tree contractor. Details of currently approved tree contractors can be obtained from Northern Beaches Council's Trees Services Section prior to removal.

Reason: Public liability.

## CONDITIONS TO BE COMPLIED WITH DURING DEMOLITION AND BUILDING WORK

### Tree and Vegetation Protection

- a) Existing trees and vegetation shall be retained and protected including:
  - i) all trees and vegetation within the site not approved for removal, excluding exempt tree legislation, (1 x *Plumeria* sp. (Frangipani) may be transplanted)
  - ii) all trees and vegetation located on adjoining private properties,
- b) Tree protection shall be undertaken as follows:
  - i) tree protection shall be in accordance with Australian Standard 4970-2009 Protection of Trees on Development Sites, temporary fencing to protect existing trees within 5 metres of development,
  - ii) existing ground levels shall be maintained within the tree protection zone of trees to be removed, Level 5 in arboriculture,
  - iii) removal of existing tree roots at or >25mm (Ø) diameter is not permitted without consultation with an arborist,
  - iv) no excavated material, building material storage, site facilities, nor landscape materials within the tree protection zone required to be retained,
  - v) structures are to bridge tree roots at or >25mm (Ø) diameter unless directed by an Arborist,
  - vi) excavation for stormwater lines and all other utility services is not permitted within the tree protection zone of any tree on the lot or any tree on an adjoining site, minimum AQF Level 5 in arboriculture including advice on root protection measures,
  - vii) should either or all of v), vi) and vii) occur during site establishment and construction works, an Arborist shall provide recommendations for tree protection measures. Details including photographs to be provided to the Certifying Authority,
  - viii) any temporary access to or location of scaffolding within the tree protection zone of a proposed tree on the lot or any tree on an adjoining site for construction works is to be undertaken using the protection measures specified in section 4.2 of Australian Standard 4970-2009 Protection of Trees on Development Sites,
  - ix) the activities listed in section 4.2 of Australian Standard 4970-2009 Protection of Trees on Development Sites, shall not be undertaken within the tree protection zone of any tree on the lot or any tree on an adjoining site,
  - x) tree pruning from within the site to enable approved works shall not exceed 10% of any tree's canopy, in accordance with Australian Standard 4373-2007 Pruning of Amenity Trees,
  - xi) the tree protection measures specified in this clause must: i) be in place before work commences, ii) be maintained throughout the construction period, and iii) remain in place for the duration of the construction period.

Reason: Tree and vegetation protection.

## CONDITIONS WHICH MUST BE COMPLIED WITH PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

### Street Tree Planting

- a) Street trees shall be planted in accordance with the following:
  - i) 1 x *Callistemon* sp. (Bottlebrush) capable of attaining a minimum height of 5m at maturity (E.g. *Callistemon citrinus*) located forward of the property, clear from driveway sightlines.

- b) All street trees shall be a minimum planting size of 75 litres, and shall meet the requirements of Natspec - Specifying Trees.
- c) All street trees shall be planted into a prepared planting hole 1m x 1m x 600mm depth, backfilled with a sandy loam mix or approved similar, mulched to 75mm depth minimum and maintained including a four post and top and mid rail timber tree guard and watered until established.
- d) Details demonstrating compliance are to be submitted to the Principal Certifying Authority prior to the issue of any Occupation Certificate.

Reason: To maintain environmental amenity.