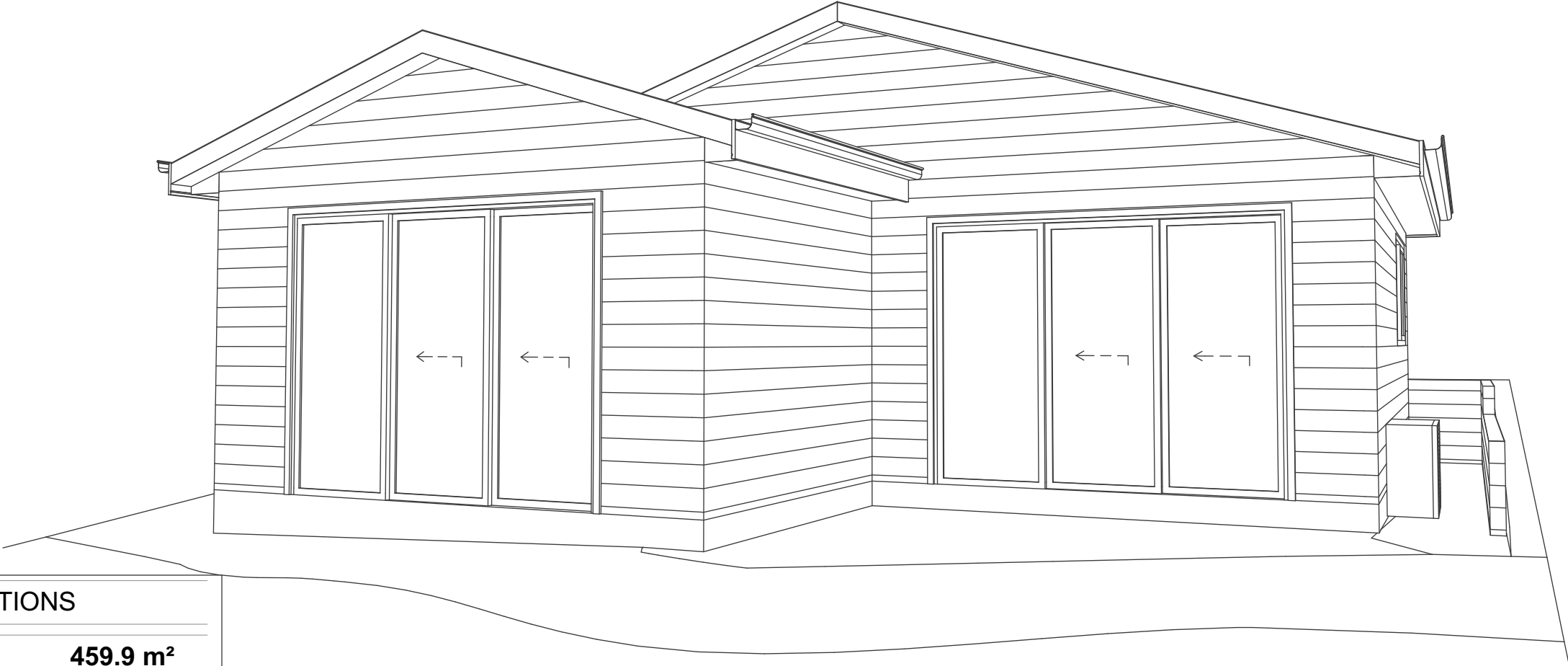


PROPOSED 2 BEDROOM GRANNY FLAT
40 Curl Curl Parade, Curl Curl



SITE CALCULATIONS	
SITE AREA	459.9 m²
EXISTING DWELLING	113.69 m²
EXISTING GARAGE	16.93 m²
EXISTING PATIO	31.09 m²
PROPOSED GRANNY FLAT	57.38 m²
TOTAL GROSS FLOOR AREA	223.08 m²
FLOOR SPACE RATIO	0.47/1
LANDSCAPE O. SPACE	191.82 m² (41.7%)
TOTAL SOFT AREAS	121.2 m² (26.3.%)
SITE COVERAGE AREAS	
BUILDINGS	223.08 m²
DRIVEWAYS/PATHS	53.40
TOTAL	276.48 m² (60.1%)

ACID SULPHATE:	N/A
BAS/BOS:	N/A
BAL RATING:	N/A
FLOOD:	N/A
HERITAGE:	N/A
MARINE GRADE:	N/A

GENERAL NOTES						CLIENT DETAILS	
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ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF GRANNYFLAT SOLUTIONS/NEW SOUTH HOMES, PRIOR TO WORKS COMMENCING.						LOT 15 - DP 5539	
						JOB REF	215780
						SCALE A3	1:1
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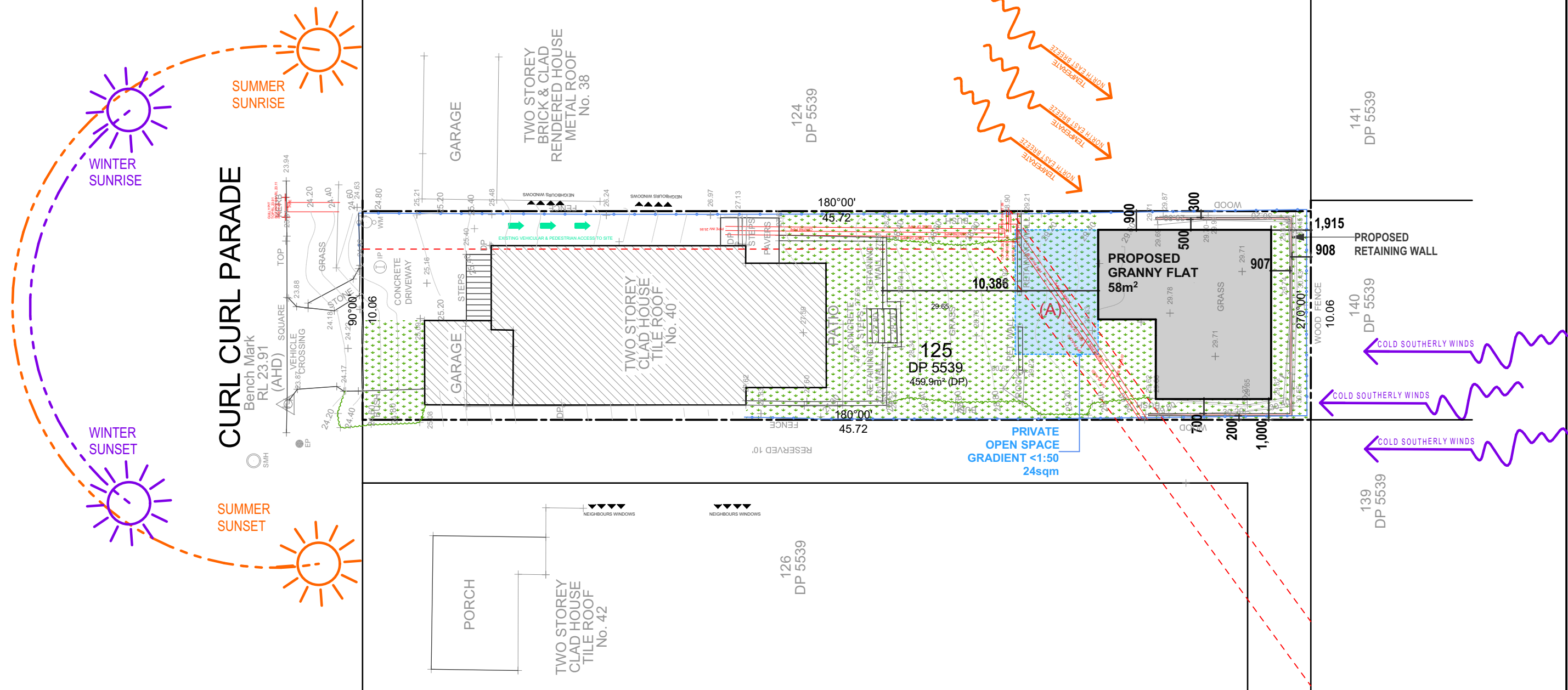
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SITE AREA - 459.9m²



(A) EASEMENT FOR DRAINAGE 1.8 WIDE (SHOWN ON DP ONLY BUT NOT ON TITLE)

IMPORTANT SURVEY NOTE:

PARCEL BOUNDARY DIMENSIONS, BEARINGS AND AREAS HAVE BEEN ADOPTED FROM THE SUBJECT DEPOSITED PLAN AND HAVE NOT BEEN INVESTIGATED. ANY BEARING, DISTANCE, AREA, SETBACK OR OTHER DIMENSION MAY BE SUBJECT TO CHANGE WITH FURTHER INVESTIGATION AND LODGEMENT OF A PLAN AT THE LAND TITLES OFFICE.

THEREFORE, AT TIME OF SITE PEGOUT BEFORE CONSTRUCTION WORKS COMMENCE, THERE MAY BE SOME MINOR DISCREPANCIES WITH THE SETBACKS BETWEEN BUILDINGS AS SHOWN ON THE SITE PLAN.

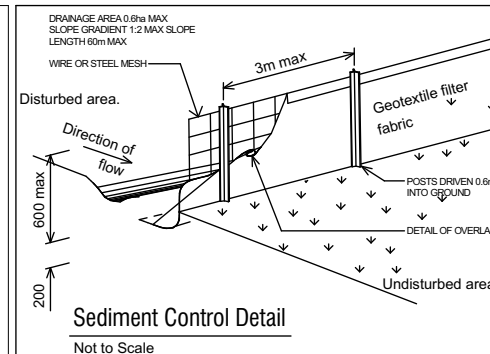
CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES AT WHICH REDUCED LEVEL CAN BE RELIED UPON. CONTOURS ARE DISPLAYED AT 1 METRE MAJOR AND 0.25 METRE MINOR INTERVALS.

SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. IT IS STRONGLY ADVISED TO VISIT 'DIAL BEFORE YOU DIG' PRIOR TO ANY EXCAVATION OR CONSTRUCTION AND VERIFY LOCATIONS WITH A SUITABLY QUALIFIED SERVICE LOCATOR PRIOR TO ANY WORKS OR CRITICAL DESIGN.

IT IS STRONGLY ADVISED TO REVIEW AN UP TO DATE TITLE SEARCH AND GIVE CAREFUL CONSIDERATION TO ALL ITEMS PRIOR TO ANY PLANNING OR CONSTRUCTION.

TREE AND ROOF PROFILE DETAILS ARE APPROXIMATE ONLY.

WHEN BUILDING ON A SITE WITH AN EXISTING INGROUND POOL, GRANNY FLAT SOLUTIONS WILL NOT BE RESPONSIBLE FOR ANY VIBRATION CAUSED TO THE POOL DURING EXCAVATION, PIERING AND CONSTRUCTION, OR TO FUTURE DAMAGE



LEGEND FOR WORKING WITHIN THE SYDNEY WATER MAIN SEWER LINE

INTERNAL SEWER LINE
RUNNING FROM THE EXISTING RESIDENCE INTO THE MAINS

SYDNEY WATER MAINS SEWER LINE
TAKEN FROM SEWER PEGOUT REPORT (WHERE AVAILABLE)

ZONE OF INFLUENCE (ZOI)-
ANY WORKS WITHIN THE **ZOI** WILL REQUIRE ADDITIONAL PIERING OR
ENCASING, AS WELL AS ADDITIONAL APPROVALS & INSPECTIONS BY
WATER SERVICES COORDINATOR

BOUNDARY LINE

FENCE LOCATION

SERVICES NOTE:

SERVICES/EXTERNAL CONDUITS WILL MOST LIKELY BE LOCATED NEAR THE WATER FLOW READER. CONDUITS PROTRUDING FROM THE GROUND IS COMMON AND MAY BE VISIBLE.

THE PROJECT MANAGER WILL ADVISE IF SERVICES/EXTERNAL CONDUITS WILL NEED TO BE LOCATED ELSEWHERE.

SITE INDUCTION NOTE:

BEFORE ENTERING THE SITE, PLEASE REVIEW AND MAKE YOURSELF FAMILIAR WITH THE EMERGENCY CONTACTS, AND SITE INDUCTION INFORMATION. IF YOU HAVE ANY TROUBLES UNDERSTANDING THE INSTRUCTIONS, PLEASE CONTACT YOUR SITE SUPERVISOR BEFORE ENTERING THE SITE.

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CLIENT DETAILS

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Brooke Bennett

LOT 15 - DP 5539

SITE PLAN

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DIAL 1100

BEFORE YOU DIG



STUD OPENING SIZE	FLYSCREEN NOTES
ADD 60mm TO HEIGHT AND 50mm TO WIDTH OF ALL WINDOWS	ALL FLYSCREEN FOR SLIDING DOORS TO HAVE MID BARS

GLAZING NOTES

ALL GLAZING TO COMPLY WITH AS1288 & BASIX CERTIFICATE.
ALL WINDOWS WILL HAVE A FIXED PANEL ON THE RIGHT AND OPENING PANEL ON THE LEFT, WHEN VIEWED FROM THE OUTSIDE, UNLESS REQUESTED OTHERWISE. SLIDING DOORS WILL OPEN IN DIRECTION AS SHOWN ON PLAN.

WINDOW FLASHING NOTES

ALL WINDOWS ON CLADDED WALLS, INCLUDING ACRYLIC RENDERED WALLS TO HAVE FLASHINGS ON ALL SIDES.

WINDOW SCHEDULE							
W#	HEIGHT	WIDTH	FRAME	GLAZING	TYPE	REVEAL	OFFSET
W01	2,100	2,724	ALUMINIUM	CLEAR	STACKING DOOR	100mm	0
W02	2,100	2,724	ALUMINIUM	CLEAR	STACKING DOOR	100mm	0
W03	1,200	1,810	ALUMINIUM	CLEAR	SLIDING	100mm	0
W04	600	610	ALUMINIUM	CLEAR	SLIDING	100mm	+6mm
W05	1,200	1,450	ALUMINIUM	CLEAR	SLIDING	100mm	0
W06	400	1,800	ALUMINIUM	CLEAR	FIXED	100mm	0
W07	1,029	1,810	ALUMINIUM	CLEAR	SLIDING	100mm	0


BAL RATING ON PAGE 1

FLOOR FINISHES NOTES

PLEASE NOTE THAT THERE MAY BE A SMALL STEP WHEN THERE IS A CHANGE IN FLOOR FINISHES BETWEEN ROOMS

EXTERNAL DOOR WARRANTY

GRANNY FLAT SOLUTIONS CANNOT PROVIDE WARRANTY ON ENTRANCE DOORS IF THE COLOUR CHOSEN HAS A LIGHT REFLECTIVE VALUE (LRV) OF 50 OR BELOW (THESE COLOURS REPRESENT THE DARKER COLOURS IN THE PAINT SPECTRUM). THE MANUFACTURERS DO NOT WARRANT DOORS PAINTED IN DARK COLOURS AS THEY ABSORB MORE HEAT THAN COLOURS GREATER THAN 50 LRV RATING, CAUSING THEM TO WARP OR BEND. FURTHERMORE, THE MANUFACTURER'S WARRANTY IS ALSO VOID IF THE EXTERNAL DOOR IS NOT COVERED BY AT LEAST 1 METER WIDE ROOF / EAVE OVERHANG / PATIO, DUE TO THE DOOR HAVING DIRECT EXPOSURE TO WEATHER ELEMENTS (WIND, RAIN, SUN ETC.) WHICH MAY CAUSE THE DOOR TO SWELL, WARP OR BEND.



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CLIENT DETAILS



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Brooke Bennett

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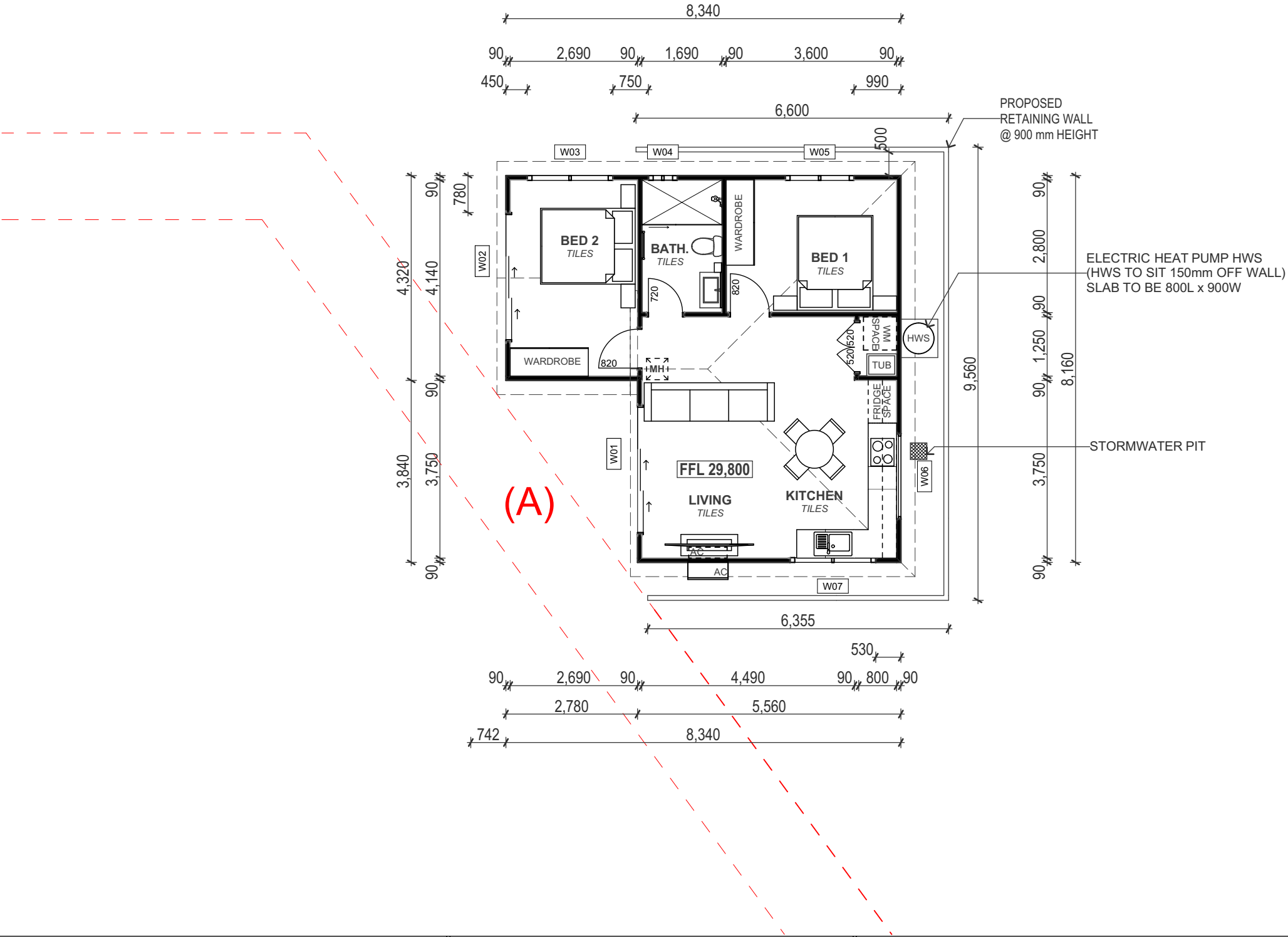
FLOOR PLAN

DESIGN BY



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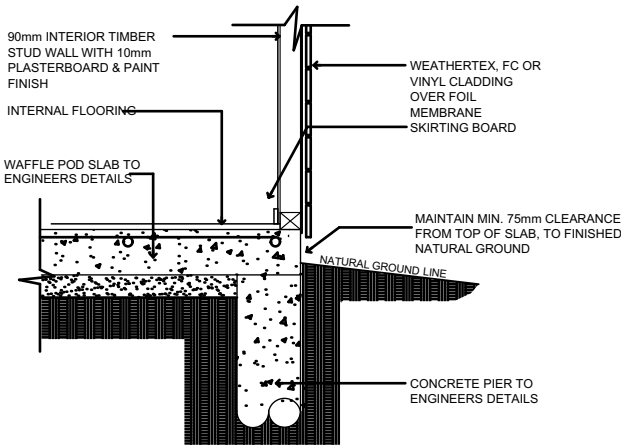
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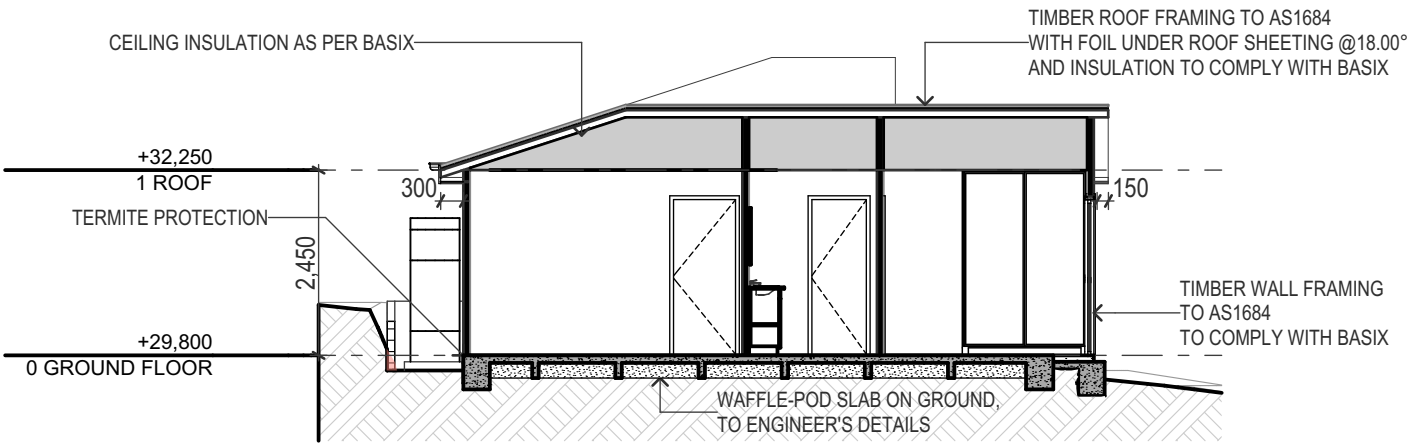
ROOF VENTILATION METHOD: EAVE VENTS

ROOF SCHEDULE

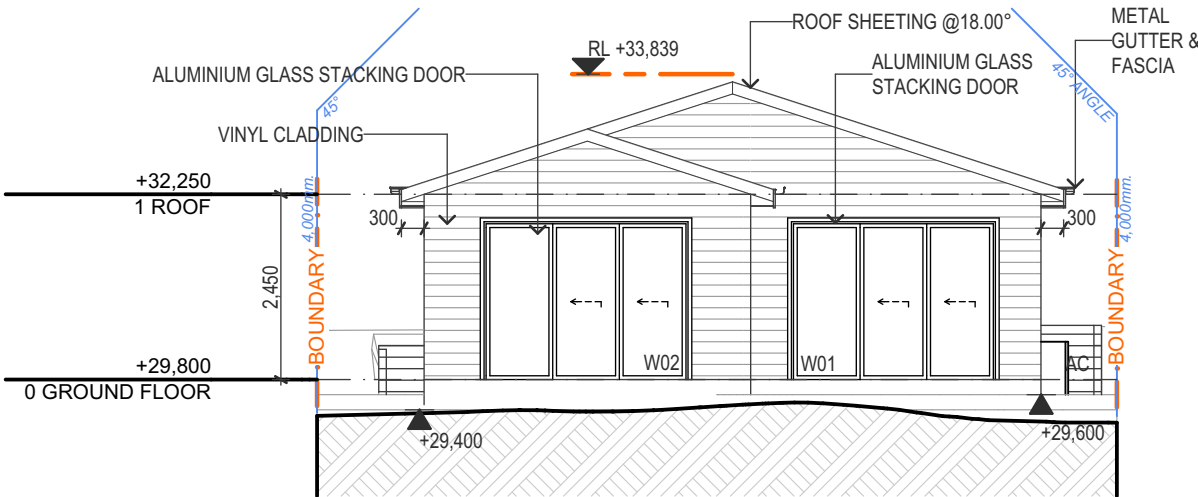
Surface Area	Eaves Length
0.36	154
7.28	2,816
14.52	0
17.59	6,010
20.17	8,760
24.90	8,830



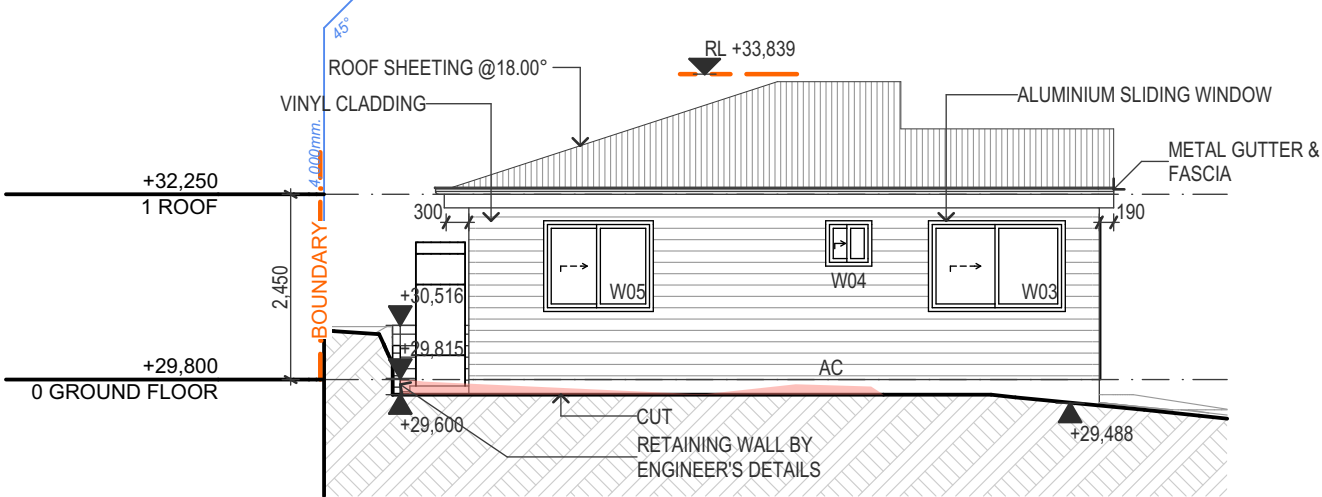
Standard Lightweight Cladding Detail
Scale- 1:20



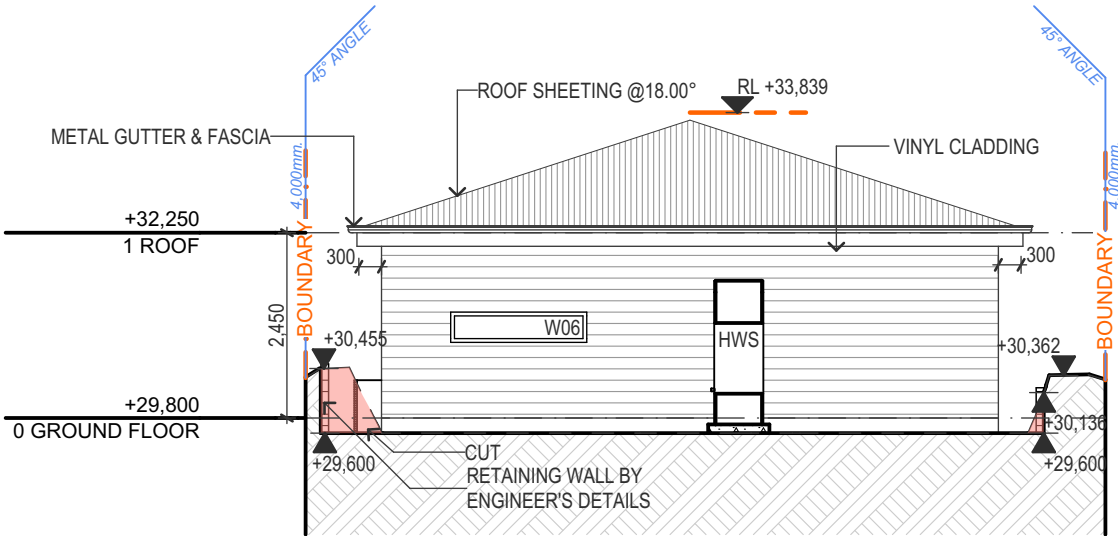
CROSS SECTION



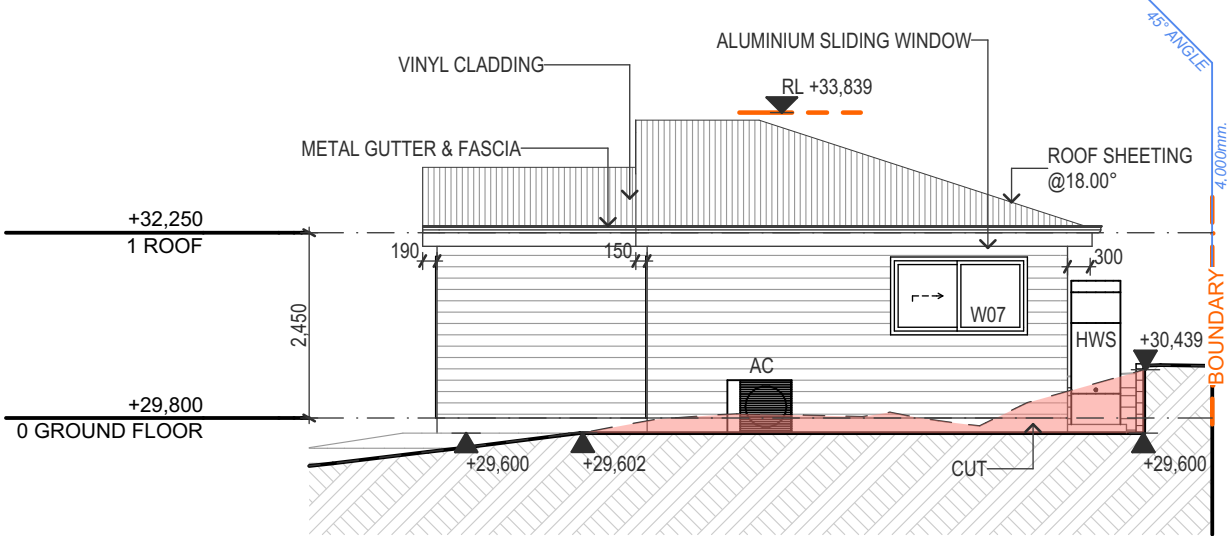
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

SITE BENCHING NOTES:

WHERE POSSIBLE/APPROPRIATE, EXISTING SOIL TO BE REUSED AS COMPACTED FILL TO AVOID ANY DROP EDGE BEAMS.
IF EXCAVATED SOIL IS NOT APPROPRIATE FOR USE, DROP EDGE BEAMS OR ADDITIONAL IMPORTED SOIL MAY BE REQUIRED.
PLEASE REFER TO YOUR TENDER VARIATION FOR ANY RELEVANT ALLOWANCES.

LANDSCAPING NOTE

UNLESS SPECIFIED IN YOUR CONTRACT, NO LANDSCAPING WORKS HAVE BEEN ALLOWED FOR AROUND THE BUILDING. AT COMPLETION OF LANDSCAPE WORKS, THE SLAB HEIGHT MUST REMAIN A MIN. OF 75mm ABOVE THE FINISHED LANDSCAPED LEVEL.

GUTTER & VALLEY NOTE

WHEN BUILDING NEAR TREES, WE STRONGLY RECOMMEND YOU INSTALL GUTTER-GUARD OR A SIMILAR PRODUCT IN ALL GUTTERS AND VALLEYS, TO PREVENT LEAF BUILD-UP AND WATER OVERFLOW UNDER THE ROOF TILES OR SHEETING

FLOOR LEVEL NOTE

THE FLOOR LEVEL SHOWN ON THE ELEVATIONS MAY VARY SLIGHTLY ON SITE, DUE TO SITE CONDITIONS AND FINAL LEVELS AFTER EXCAVATION AND REMOVAL OF SOIL.

UNLESS SPECIFIED IN YOUR TENDER AND BUILDING CONTRACT, NO DIRT REMOVAL HAS BEEN ALLOWED FOR WHEN LEVELLING THE SITE FOR A CONCRETE SLAB. WHEN ACCESS IS TIGHT, A DECISION WOULD NEED TO BE MADE AS TO WHERE TO STOCKPILE ON SITE TO AVOID ACCESS INTERRUPTIONS OR A COST TO REMOVE THE SOIL CAN BE ARRANGED OR YOU.

FURTHERMORE, NO EXTERNAL STEPS TO PORCHES, DROP EDGE BEAMS OR RETAINING WALLS HAVE BEEN ALLOWED FOR, UNLESS SPECIFIED IN YOUR TENDER.

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CLIENT DETAILS

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Brooke Bennett

LOT 15 - DP 5539

ELEVATIONS & SECTION

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Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Energy Commitments			
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 31 to 35 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3 Star (old label)		✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3 Star (old label)		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off Kitchen: individual fan, not ducted; Operation control: manual switch on/off Laundry: individual fan, not ducted; Operation control: manual switch on/off		✓ ✓ ✓	✓ ✓ ✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 2 of the bedrooms / study; dedicatedat least 1 of the living / dining rooms; dedicatedthe kitchen; dedicatedall bathrooms/toilets; dedicatedthe laundry; dedicatedall hallways; dedicated		✓ ✓ ✓ ✓ ✓ ✓	✓ ✓ ✓ ✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

Thermal Comfort Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features					
The dwelling must not have more than 2 storeys.			✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.			✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.			✓	✓	✓
The dwelling must not contain third level habitable attic room.			✓	✓	✓
Floor, walls and ceiling/roof					
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.			✓	✓	✓
Construction		Additional insulation required (R-Value)		Other specifications	
floor - concrete slab on ground		nil			
external wall - framed (weatherboard, fibre cement, metal clad)		2.00 (or 2.40 including construction)			
ceiling and roof - flat ceiling / pitched roof		ceiling: 1.95 (up), roof: foil backed blanket (75 mm)		1 wind-driven ventilator(s) + eave vents; medium (solar absorptance 0.475-0.70)	
Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.				
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.				
Windows, glazed doors and skylights					
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.			✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.			✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:			✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.					✓
- Aluminium single clear					
- Aluminium double (air) clear					
- Timber/uPVC/fibreglass single clear					
- Timber/uPVC/fibreglass double (air) clear					
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.			✓	✓	✓
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W01	2100	2724	aluminium, single, clear	eave 190 mm, 900 mm above head of window or glazed door	not overshadowed
W02	2100	2724	aluminium, single, clear	eave 150 mm, 900 mm above head of window or glazed door	not overshadowed
East facing					
W03	1200	1810	aluminium, single, clear	eave 450 mm, 350 mm above head of window or glazed door	1-2 m high, <1.5 m away
W04	600	610	aluminium, single, clear	eave 450 mm, 350 mm above head of window or glazed door	1-2 m high, <1.5 m away
W05	1200	1450	aluminium, single, clear	eave 450 mm, 350 mm above head of window or glazed door	1-2 m high, <1.5 m away
South facing					
W06	400	1800	aluminium, single, clear	eave 450 mm, 1200 mm above head of window or glazed door	2-4 m high, 2 m away
West facing					
W07	1029	1810	aluminium, single, clear	eave 450 mm, 350 mm above head of window or glazed door	1-2 m high, <1.5 m away

Certificate number: 1276679S_03

Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 52	Target 50

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CLIENT DETAILS

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LOT 15 - DP 5539

BASIX COMMITMENTS

DESIGN BY



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