

UPPER CLIFFORD AVENUE

WINTER  
SUMMER  
SUN PATH

WINTER  
SUN PATH

9AM SOLAR ANGLE  
COOLING  
SUMMER  
BREEZE

STEEP SLOPE DOWN HILL

POTENTIAL  
OVERLOOKING

NO. 48

NO. 50

NO. 37

POTENTIAL  
VIEW LOSS

HOUSE 1

NO. 52

HOUSE 2

POTENTIAL  
NOISE SOURCE

APPROVED ENVELOPE SHOWN IN RED

NO. 54

LAUDERDALE AVENUE

VIEW TO SYDNEY  
HARBOUR

NO. 56

3PM SOLAR ANGLE

3PM SOLAR ANGLE

**IMPORTANT NOTES:**  
Do not scale from drawings. Use figured dimensions only. Ensure that the drawings used carry the latest revision no. Refer in conjunction with consultant engineers drawings - refer contract drawing list.  
• All dimensions to be checked on site before commencement of work.  
• All discrepancies to be brought to the attention of the Architect.  
• Larger scale drawings and written dimensions take precedence.  
• The Esplanade Planning Level is min 3.1m AHD. All levels to AHD.  
This drawing is copyright and the property of the author, and must not be related, copied or used without the express authority of Platform Architects Pty Ltd.

REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB

REVISION NOTES

LEGEND	
(C1) CONCRETE BRUSH FINISH	(C2) METAL CLADDING
(C3) CEMENT RENDER-OFF WHITE	(C4) METAL ROOFING
(C5) CARPET-BEDROOMS	(C6) PEBBLES
(C7) TIMBER FLOOR BOARDS	(C8) OFF FORM CONCRETE
(C9) METAL OR TIMBER FENCE	(C10) STONE CLADDING
(C11) GLASS BALUSTRADE	(C12) NATURAL STONE TILES INT.
(C13) GLAZING	(C14) NATURAL STONE TILES EXT.
(S1) STONE PAVERS	(S2) REUSED ROCKS FROM SITE
(S3) TIMBER CLADDING	(S4) FLOOR TILES - WET AREA
(S5) W RL 11.1704	(S6) EXISTING RL TO BE MAINTAINED

**platform ARCHITECTS**  
Suite 503/33 East Esplanade, Manly 2025  
p. 02 9976 6666 abn. 74602656157  
not a registered architect (Trade Group Reg No. 828)

PROJECT  
TWO SEMI-DETACHED DWELLINGS  
WITH BASEMENT CARPARKING:  
52 LAUDERDALE AVENUE,  
FAIRLIGHT, NSW  
CLIENT  
DAVID ALLEN & JIM CASEY



DRAWING TITLE		PROJECT	
SITE ANALYSIS PLAN		LAF	
SCALE	STATUS	NUMBER	REVISION
1:400 @A3	DA	A0.00	A

APPROVED ENVELOPE SHOWN IN RED

BUILDING OUTLINE AT PRE-DA SHOWN GREEN, SETBACK INCREASED AFTER PRE-DA COMMENTS

1350

EXTENT OF APPROVED EXCAVATION SHOWN IN RED

**IMPORTANT NOTES:**  
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 • All discrepancies to be brought to the attention of the Architect.  
 • Larger scale drawings and written dimensions take precedence.  
 • The Estuarine Flooding Level is min 3.1m AHD. All levels to AHD.  
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REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB

REVISION NOTES

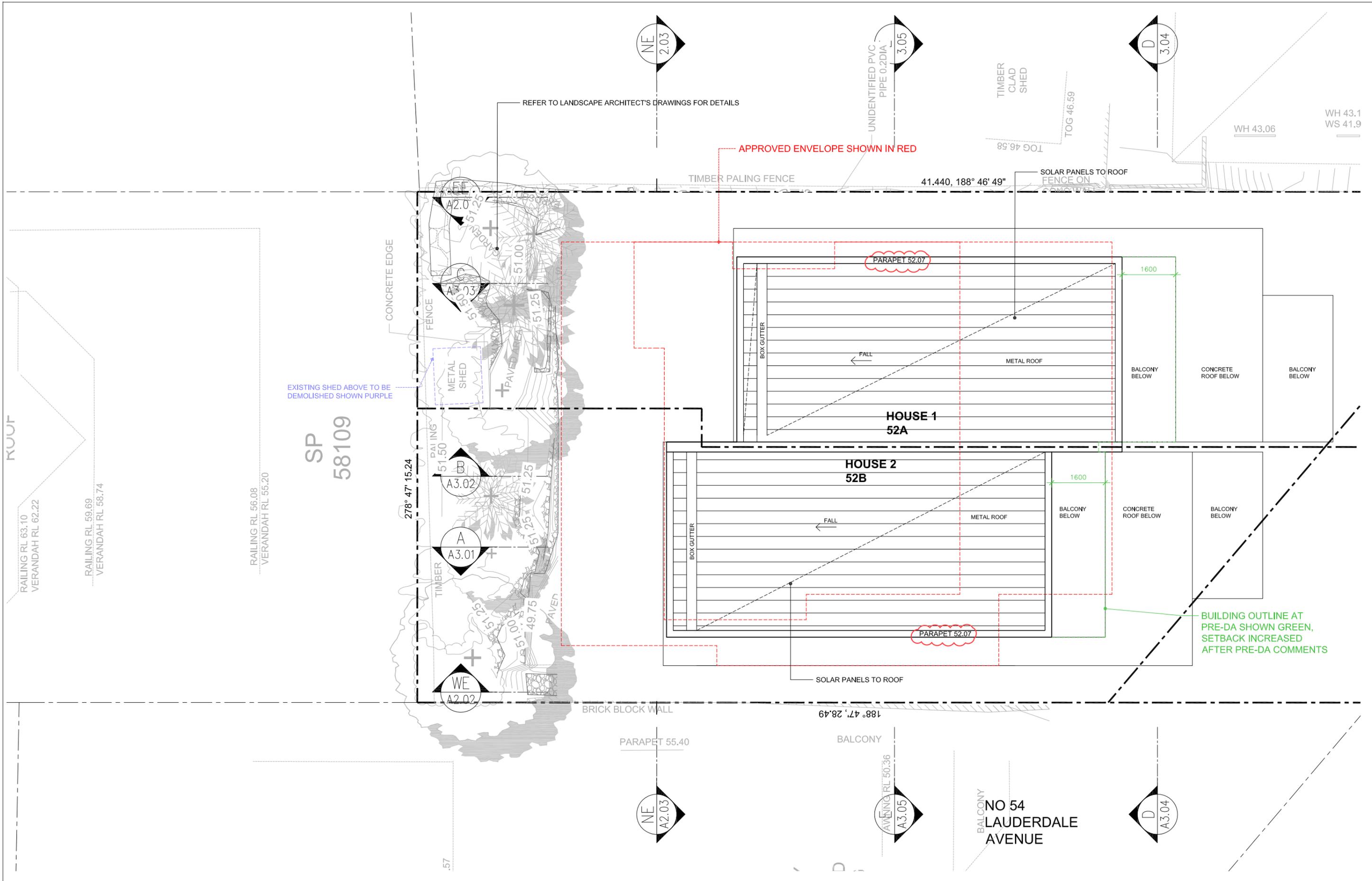
LEGEND	DESCRIPTION
	EXCAVATION LOT 1 APPROXIMATELY 715M <sup>2</sup>
	EXCAVATION LOT 2 APPROXIMATELY 650M <sup>2</sup>
	FILL DWELLING 1 APPROXIMATELY 75M <sup>2</sup>
	FILL DWELLING 2 APPROXIMATELY 65M <sup>2</sup>



PROJECT  
 TWO SEMI-DETACHED DWELLINGS WITH 1 BASEMENT CARPARKING  
 52 LAUDERDALE AVENUE, FAIRLIGHT, NSW  
 CLIENT  
 DAVID ALLEN & JIM CASEY



DRAWING TITLE	PROJECT		
EXCAVATION & FILL SECTION	LAF		
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	DA	A0.04	A



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REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB
B	2019.09.06	DA ADDITIONAL INFO	FB

**REVISION NOTES**  
 PARAPET RL ADDED

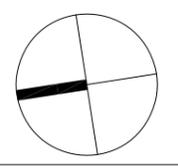
**LEGEND**

(S1) CONCRETE, BRUSH FINISH	(M1) METAL CLADDING	(S2) STONE PAVERS
(S2) CEMENT RENDER- OFF WHITE	(M2) METAL ROOFING	(S3) REUSED ROCKS FROM SITE
(S3) CARPET- BEDROOMS	(P1) PEBBLES	(S4) TIMBER CLADDING
(S4) TIMBER FLOOR BOARDS	(C1) OFF FORM CONCRETE	(S5) FLOOR TILES - WET AREA
(S5) METAL OR TIMBER FENCE	(S6) STONE CLADDING	(P) RL 11.704 PROPOSED RL
(S6) GLASS BALUSTRADE	(S7) NATURAL STONE TILES INT.	(X) RL 11.704 EXISTING RL TO BE MAINTAINED
(S7) GLAZING	(S8) NATURAL STONE TILES EXT.	

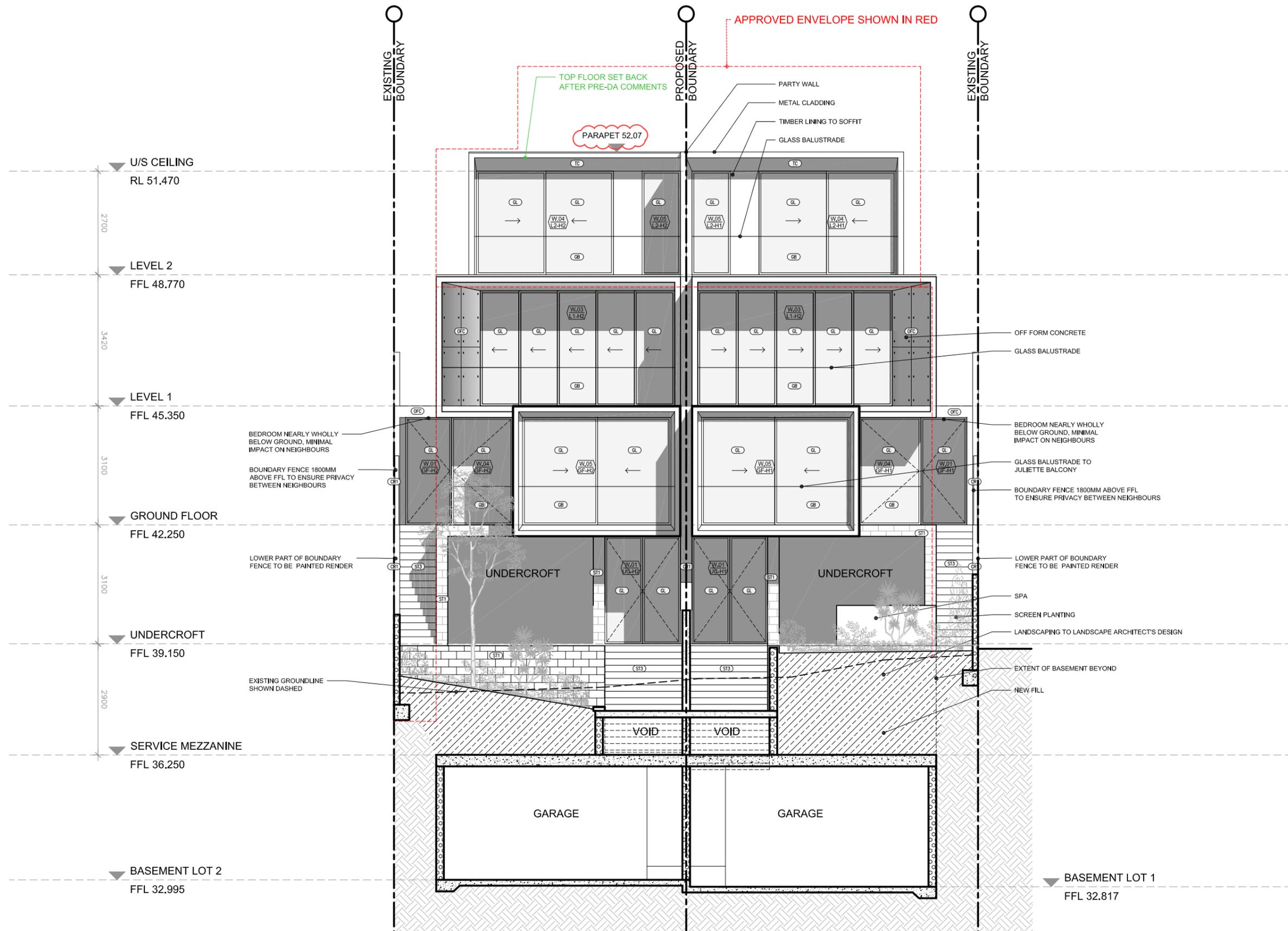
**platform ARCHITECTS**

Suite 503/39 East Esplanade, Manly 2095  
 p. 02 9976 6666 abn. 74602856157  
 nominated architect Bk14e Gough Reg No. 8280

**PROJECT**  
 TWO SEMI-DETACHED DWELLINGS  
 WITH BASEMENT CARPARKING:  
 52 LAUDERDALE AVENUE,  
 FAIRLIGHT, NSW  
 CLIENT  
 DAVID ALLEN & JIM CASEY



<b>DRAWING TITLE</b> ROOF/ SITE PLAN	<b>PROJECT</b> LAF
<b>SCALE</b> 1:100 @A3	<b>STATUS</b> DA
<b>NUMBER</b> A1.06	<b>REVISION</b> B



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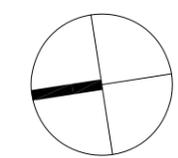
REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB
B	2019.09.06	DA ADDITIONAL INFO	FB

**REVISION NOTES**  
 PARAPET RL ADDED

LEGEND	
(CNC)	CONCRETE, BRUSH FINISH
(CR)	CEMENT RENDER- OFF WHITE
(CP)	CARPET- BEDROOMS
(TB)	TIMBER FLOOR BOARDS
(TK)	METAL OR TIMBER FENCE
(GB)	GLASS BALUSTRADE
(GL)	GLAZING
(MC)	METAL CLADDING
(MR)	METAL ROOFING
(PB)	PEBBLES
(OFC)	OFF FORM CONCRETE
(SC)	STONE CLADDING
(NSTI)	NATURAL STONE TILES INT.
(NSTE)	NATURAL STONE TILES EXT.
(SP)	STONE PAVERS
(SR)	REUSED ROCKS FROM SITE
(TC)	TIMBER CLADDING
(FT)	FLOOR TILES - WET AREA
(PRL)	PROPOSED RL
(XRL)	EXISTING RL TO BE MAINTAINED

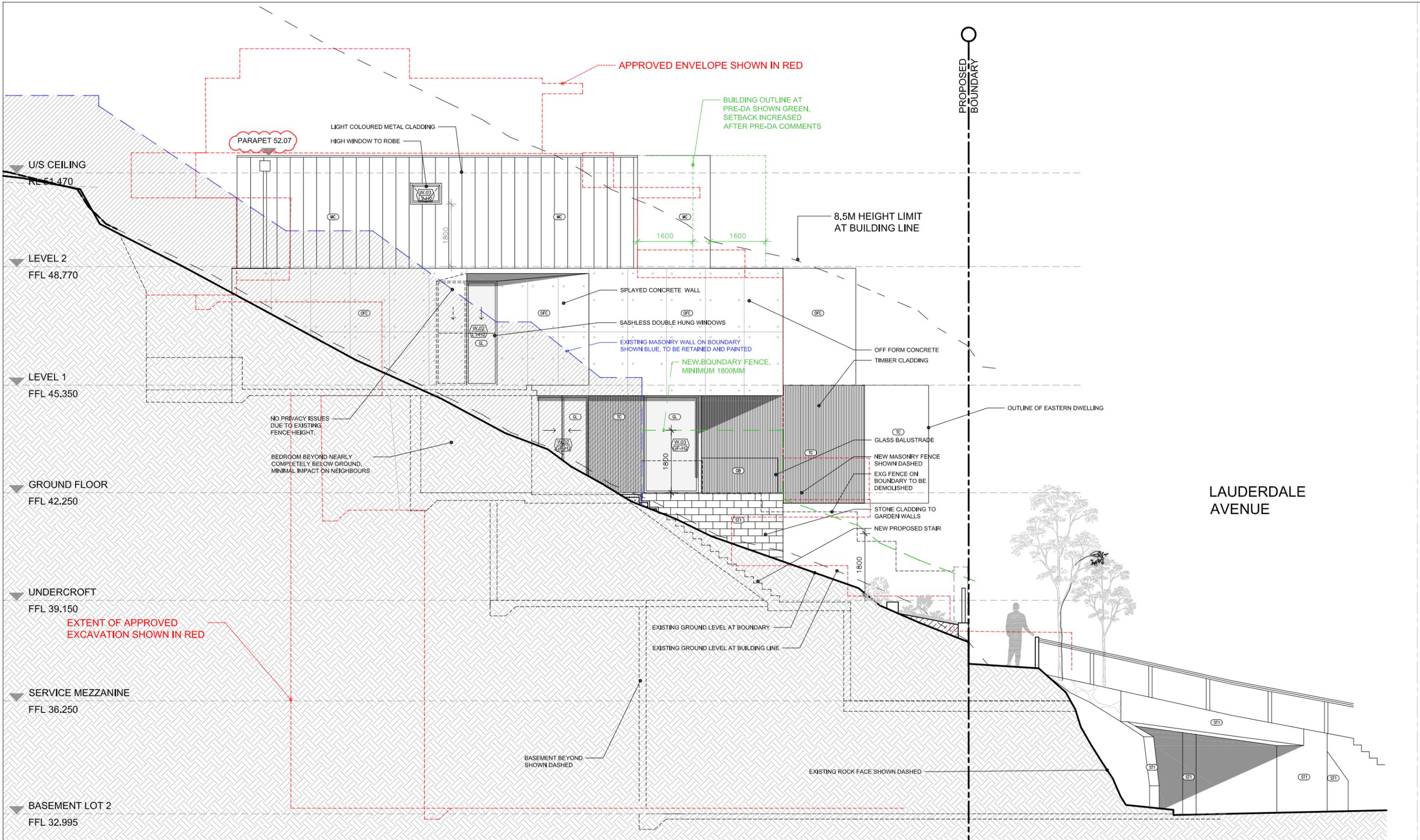


**PROJECT**  
 TWO SEMI-DETACHED DWELLINGS  
 WITH BASEMENT CARPARKING:  
 52 LAUDERDALE AVENUE,  
 FAIRLIGHT, NSW  
 CLIENT  
 DAVID ALLEN & JIM CASEY



DRAWING TITLE	STATUS	NUMBER	REVISION
SOUTH ELEVATION	DA	A2.01	B

SCALE: 1:100 @A3



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REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB
B	2019.09.06	DA ADDITIONAL INFO	FB

**REVISION NOTES**  
 PARAPET RL ADDED

**LEGEND**

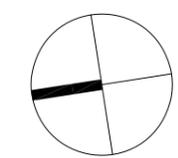
(CNC) CONCRETE, BRUSH FINISH	(MC) METAL CLADDING	(ST) STONE PAVERS
(CR) CEMENT RENDER- OFF WHITE	(MR) METAL ROOFING	(SR) REUSED ROCKS FROM SITE
(CP) CARPET- BEDROOMS	(PB) PEBBLES	(TC) TIMBER CLADDING
(TF) TIMBER FLOOR BOARDS	(OFC) OFF FORM CONCRETE	(FT) FLOOR TILES - WET AREA
(MT) METAL OR TIMBER FENCE	(SC) STONE CLADDING	(P) RL 11.704 PROPOSED RL
(GB) GLASS BALUSTRADE	(NSTI) NATURAL STONE TILES INT.	(X) RL 11.704 EXISTING RL TO BE MAINTAINED
(GL) GLAZING	(NSTE) NATURAL STONE TILES EXT.	

**platform ARCHITECTS**

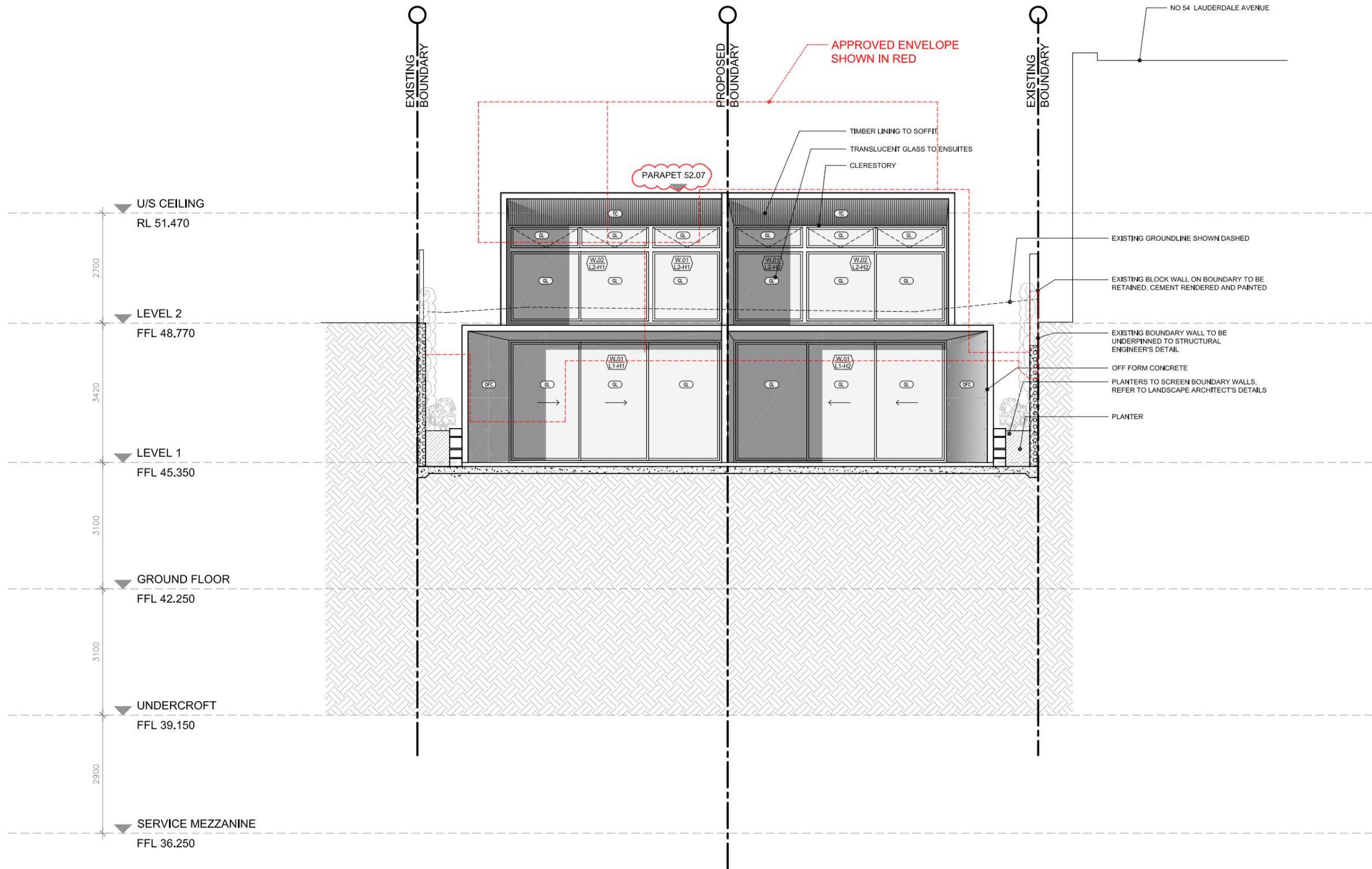
Suite 503/39 East Esplanade, Manly 2095  
 p. 02 9976 6666 abn. 74602856157  
 nominated architect Bk14e Gough Reg No. 8280

PROJECT  
 TWO SEMI-DETACHED DWELLINGS  
 WITH BASEMENT CARPARKING:  
**52 LAUDERDALE AVENUE,  
 FAIRLIGHT, NSW**

CLIENT  
 DAVID ALLEN & JIM CASEY



DRAWING TITLE	PROJECT		
<b>WEST ELEVATION</b>	<b>LAF</b>		
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	DA	A2.02	B



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REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB
B	2019.09.06	DA ADDITIONAL INFO	FB

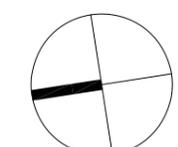
**REVISION NOTES**  
 PARAPET RL ADDED

**LEGEND**

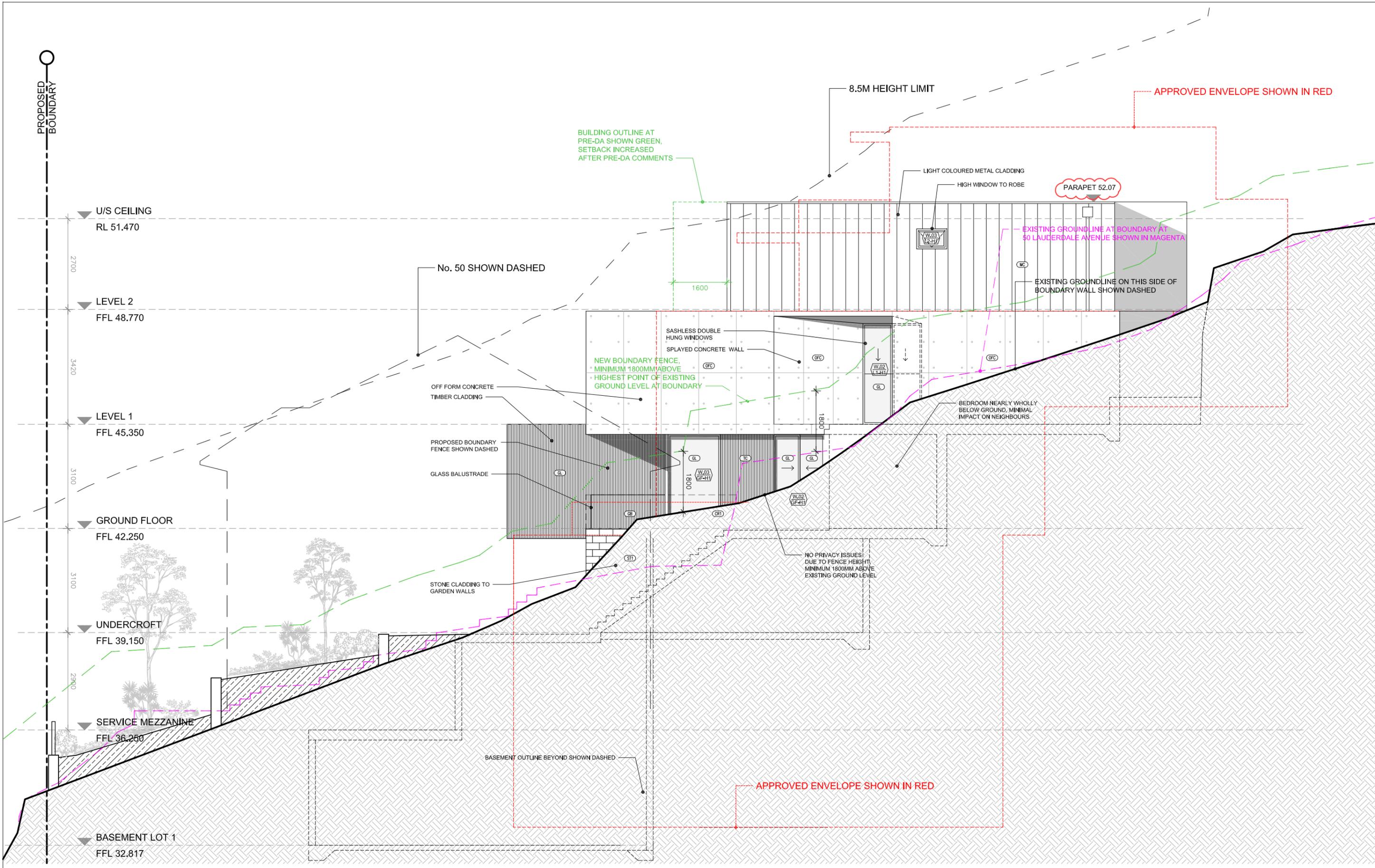
(C) CONCRETE, BRUSH FINISH	(M) METAL CLADDING	(S) STONE PAVERS
(R) CEMENT RENDER - OFF WHITE	(MR) METAL ROOFING	(SR) REUSED ROCKS FROM SITE
(CPT) CARPET - BEDROOMS	(PB) PEBBLES	(TC) TIMBER CLADDING
(TB) TIMBER FLOOR BOARDS	(OFC) OFF FORM CONCRETE	(FT) FLOOR TILES - WET AREA
(M) METAL OR TIMBER FENCE	(SC) STONE CLADDING	(P) RL 11.704 PROPOSED RL
(G) GLASS BALUSTRADE	(NTI) NATURAL STONE TILES INT.	(X) RL 11.704 EXISTING RL TO BE MAINTAINED
(GL) GLAZING	(NTE) NATURAL STONE TILES EXT.	



**PROJECT**  
 TWO SEMI-DETACHED DWELLINGS  
 WITH BASEMENT CARPARKING:  
 52 LAUDERDALE AVENUE,  
 FAIRLIGHT, NSW  
 CLIENT  
 DAVID ALLEN & JIM CASEY



<b>DRAWING TITLE</b> NORTH ELEVATION	<b>PROJECT</b> LAF
<b>SCALE</b> 1:100 @A3	<b>STATUS</b> DA
<b>NUMBER</b> A2.03	<b>REVISION</b> B



**IMPORTANT NOTES:**  
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- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is min 3.1m AHD, All levels to AHD.

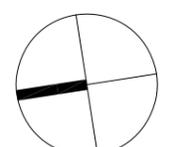
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REVISION	DATE	DESCRIPTION	BY	REVISION NOTES
A	2019.05.01	DEVELOPMENT APPLICATION	FB	PARAPET RL ADDED
B	2019.09.06	DA ADDITIONAL INFO	FB	

LEGEND	
(CNC)	CONCRETE, BRUSH FINISH
(CR)	CEMENT RENDER- OFF WHITE
(CP)	CARPET- BEDROOMS
(TF)	TIMBER FLOOR BOARDS
(TE)	METAL OR TIMBER FENCE
(GB)	GLASS BALUSTRADE
(GL)	GLAZING
(MC)	METAL CLADDING
(MR)	METAL ROOFING
(PB)	PEBBLES
(OFC)	OFF FORM CONCRETE
(SC)	STONE CLADDING
(NSTI)	NATURAL STONE TILES INT.
(NSTE)	NATURAL STONE TILES EXT.
(SP)	STONE PAVERS
(SR)	REUSED ROCKS FROM SITE
(TC)	TIMBER CLADDING
(FT)	FLOOR TILES - WET AREA
(PRL)	PROPOSED RL
(XRL)	EXISTING RL TO BE MAINTAINED

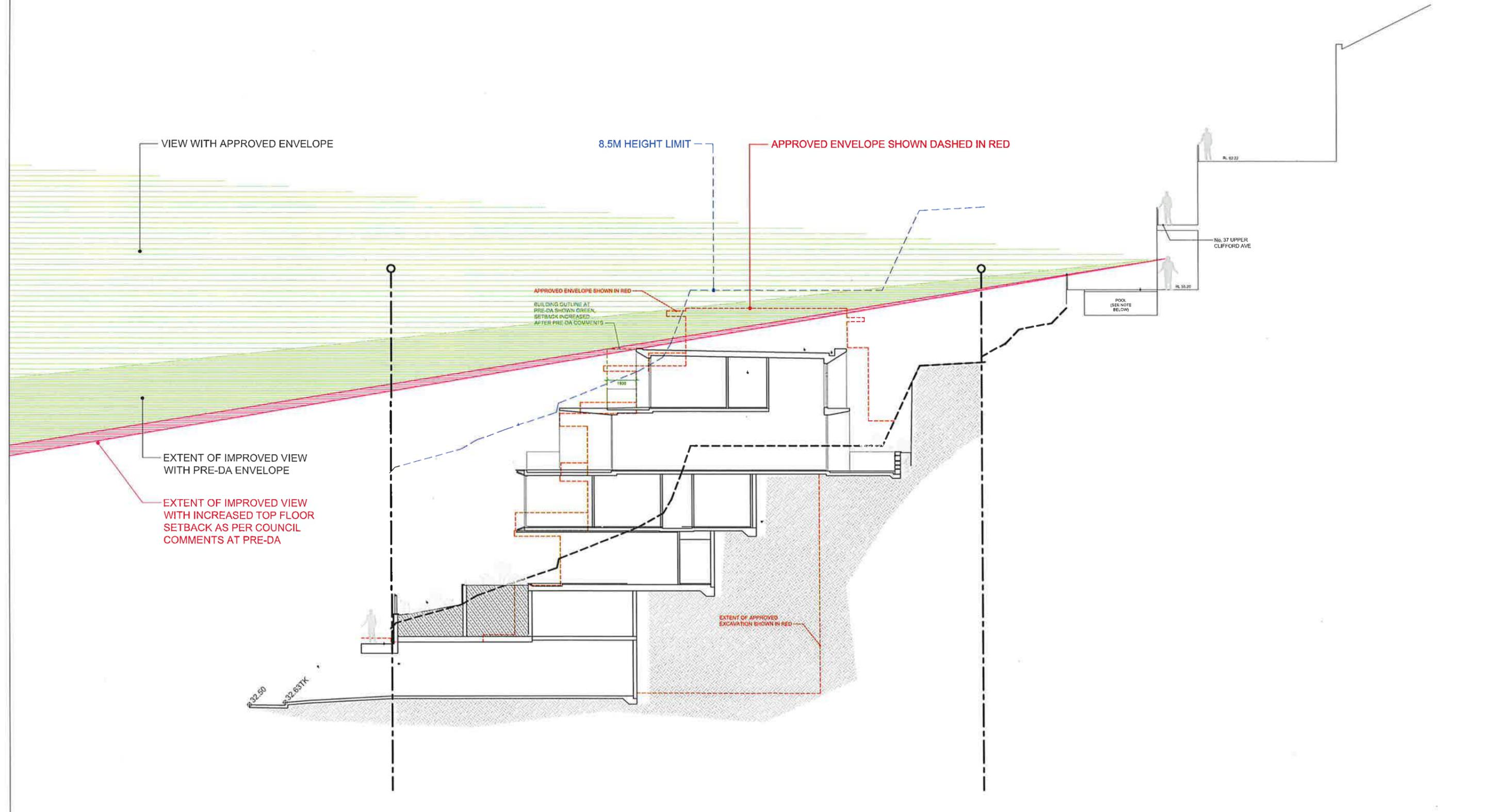


PROJECT  
 TWO SEMI-DETACHED DWELLINGS  
 WITH BASEMENT CARPARKING:  
**52 LAUDERDALE AVENUE,  
 FAIRLIGHT, NSW**  
 CLIENT  
 DAVID ALLEN & JIM CASEY



DRAWING TITLE	STATUS	NUMBER	REVISION
<b>EAST ELEVATION</b>	DA	<b>A2.04</b>	<b>B</b>

SCALE: 1:100 @A3



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- Larger scale drawings and written dimensions take precedence.
- The Existing Finished Level is min 3.1m AHD. All levels to AHD.

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REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB

REVISION NOTES

LEGEND	
(C1) CONCRETE, BRUSH FINISH	(C2) METAL CLADDING
(C3) CEMENT RENDER, OFF WHITE	(C4) METAL ROOFING
(C5) CARPET - BEDROOMS	(C6) PEBBLES
(C7) TIMBER FLOOR BOARDS	(C8) OFF FORM CONCRETE
(C9) METAL CLADDING	(C10) SILICONE CLADDING
(C11) GLASS BALUSTRADE	(C12) NATURAL STONE TILES INT.
(C13) CLAZING	(C14) NATURAL STONE TILES EXT.
(S1) STONE PAVERS	(S2) REUSED ROCKS FROM SITE
(S3) TIMBER CLADDING	(S4) FLOOR TILES - WET AREA
(S5) PROPOSED RL	(S6) EXISTING RL TO BE MAINTAINED

**platform ARCHITECTS**

Suite 503/39 East Esplanade, Manly 2095  
 p. 02 9976 6666 abn. 74602856157  
 registered architect (NSW) Reg No. 8280

PROJECT  
 TWO SEMI-DETACHED DWELLINGS  
 WITH BASEMENT CARPARKING  
 52 LAUDERDALE AVENUE,  
 FAIRLIGHT, NSW  
 CLIENT  
 DAVID ALLEN & JIM CASEY



DRAWING TITLE	STATUS	NUMBER	REVISION
VIEW ANALYSIS 1	DA	A4.01	A

SCALE: 1:200 @A3

VIEW WITH APPROVED ENVELOPE

8.5M HEIGHT LIMIT

APPROVED ENVELOPE SHOWN DASHED IN RED

EXTENT OF IMPROVED VIEW WITH PRE-DA ENVELOPE

EXTENT OF IMPROVED VIEW WITH INCREASED TOP FLOOR SETBACK AS PER COUNCIL COMMENTS AT PRE-DA

APPROVED ENVELOPE SHOWN IN RED  
BUILDING OUTLINE AT PRE-DA SHOWN GREEN, SETBACK INCREASED AFTER PRE-DA COMMENTS

EXTENT OF APPROVED EXCAVATION SHOWN IN RED

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REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB

REVISION NOTES

LEGEND	
(C) CONCRETE BRUSH FINISH	(M) METAL CLADDING
(R) CEMENT RENDER - OFF WHITE	(MR) METAL ROOFING
(C) CARPET - BEDROOMS	(P) PEBBLES
(FB) TIMBER FLOOR BOARDS	(OC) OFF FORM CONCRETE
(M) METAL OR TIMBER FENCE	(S) STONE CLADDING
(G) GLASS BALUSTRADE	(N) NATURAL STONE TILES INT.
(G) GLAZING	(N) NATURAL STONE TILES EXI.
(S) STONE PAVERS	(R) REUSED ROCKS FROM SITE
(T) TIMBER CLADDING	(F) FLOOR TILES - WET AREA
(X) RL 11.404 PROPOSED RL	(X) RL 11.704 EXISTING RL TO BE MAINTAINED

**platform ARCHITECTS**

Suite 503/39 East Esplanade, Marly 2095.  
p. 02 9976 6666 cbrn. 74602856157  
nominated architect Brian Gough Reg No 9380

PROJECT  
TWO SEMI-DETACHED DWELLINGS  
WITH BASEMENT CARPARKING.  
52 LAUDERDALE AVENUE,  
FAIRLIGHT, NSW  
CLIENT  
DAVID ALLEN & JIM CASEY



DRAWING TITLE	STATUS	NUMBER	REVISION
VIEW ANALYSIS 2	DA	A4.02	A

SCALE: 1:200 @A3

PROJECT  
LAF

VIEW WITH APPROVED ENVELOPE

8.5M HEIGHT LIMIT

APPROVED ENVELOPE SHOWN DASHED IN RED

R. 42.22

No. 37 UPPER CLIFFORD AVE

FOO (SEE NOTE BELOW)

APPROVED ENVELOPE SHOWN IN RED  
BUILDING OUTLINE AT PRE-DA SHOWN GREEN, SETBACK INCREASED AFTER PRE-DA COMMENTS

EXTENT OF IMPROVED VIEW WITH PRE-DA ENVELOPE

EXTENT OF IMPROVED VIEW WITH INCREASED TOP FLOOR SETBACK AS PER COUNCIL COMMENTS AT PRE-DA

EXTENT OF APPROVED EXCAVATION SHOWN IN RED

32.50  
32.83TK

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REVISION	DATE	DESCRIPTION	BY
A	2019 05 01	DEVELOPMENT APPLICATION	F3

REVISION NOTES

LEGEND

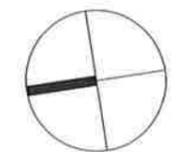
- |                                |                               |  |
|--------------------------------|-------------------------------|--|
| (CC) CONCRETE BRUSH FINISH     | (CM) METAL CLADDING           | (SR) STONE PAVERS                          |
| (CR) CEMENT RENDER - OFF WHITE | (CR) METAL ROOFING            | (SR) REUSED ROCKS FROM SITE                |
| (CF) CARPET - BEDROOMS         | (PB) PEBBLES                  | (TC) TIMBER CLADDING                       |
| (TF) TIMBER FLOOR BOARDS       | (OF) OFF FORM CONCRETE        | (FT) FLOOR TILES - WET AREA                |
| (MT) METAL LUX TIMBER HANDLE   | (SL) SLUNE LLAUUNU            | (MHL) HL 11,704 PROPOSED RL                |
| (GL) GLASS BALUSTRADE          | (NT) NATURAL STONE TILES INT. | (X) RL 11,704 EXISTING RL TO BE MAINTAINED |
| (GL) GLAZING                   | (NT) NATURAL STONE TILES EXT. |  |

**platform ARCHITECTS**

Suite 503/39 East Esplanade, Manly 2095  
 p. 02 9976 6666 abn. 74502856157  
 nominated architect under Group Reg no 8280

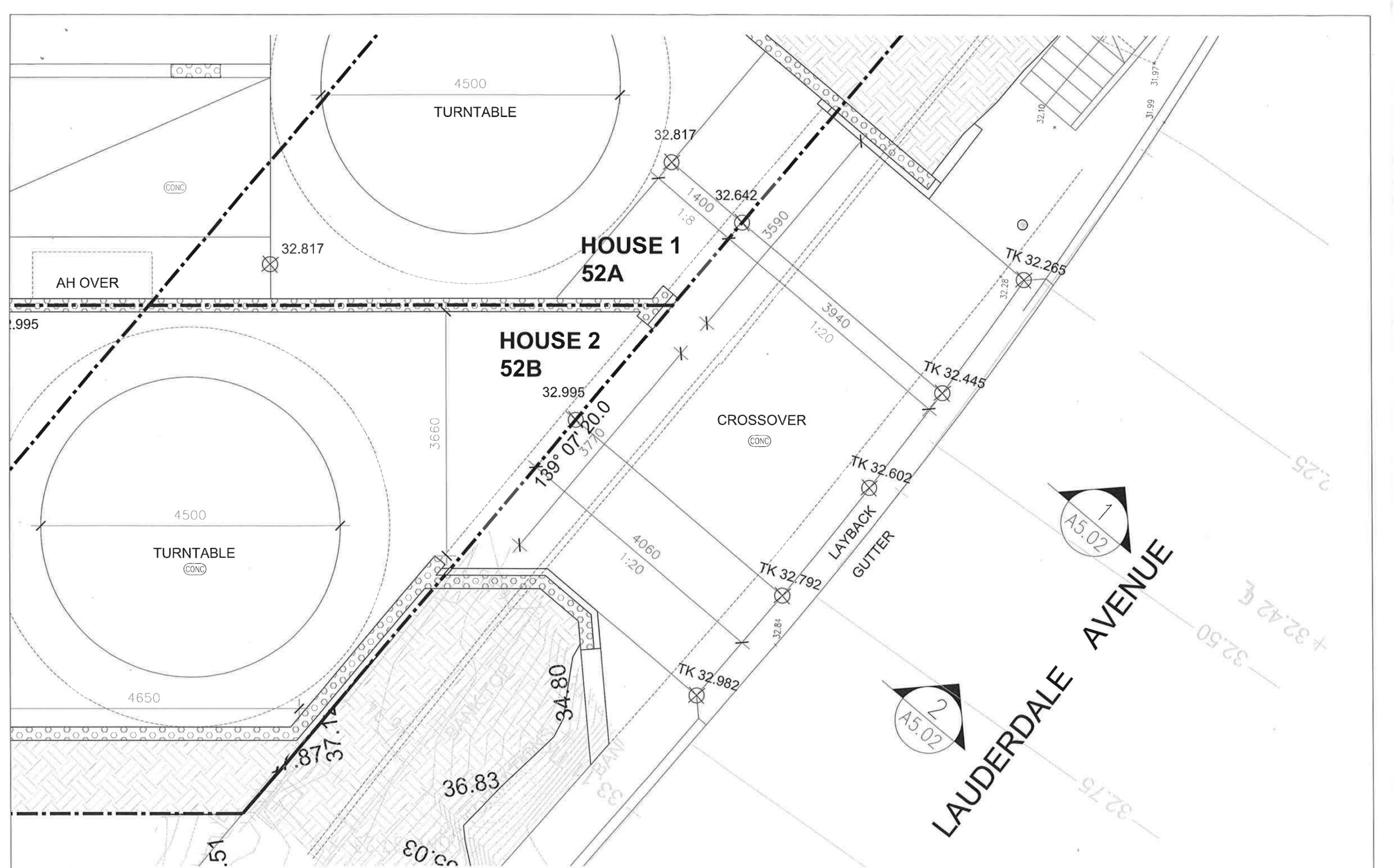
PROJECT  
TWO SEMI-DETACHED DWELLINGS  
WITH BASEMENT CARPARKING:  
52 LAUDERDALE AVENUE,  
FAIRLIGHT, NSW

CLIENT  
DAVID ALLEN & JIM CASEY



DRAWING TITLE	STATUS	NUMBER	REVISION
VIEW ANALYSIS 3	DA	A4.03	A

PROJECT  
LAF



**IMPORTANT NOTES:**  
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 • All discrepancies to be brought to the attention of the Architect.  
 • Larger scale drawings and written dimensions take precedence.  
 • The Finalisation Planning Level is min 3.1m AHJ. All levels to AHJ.  
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REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB

REVISION NOTES

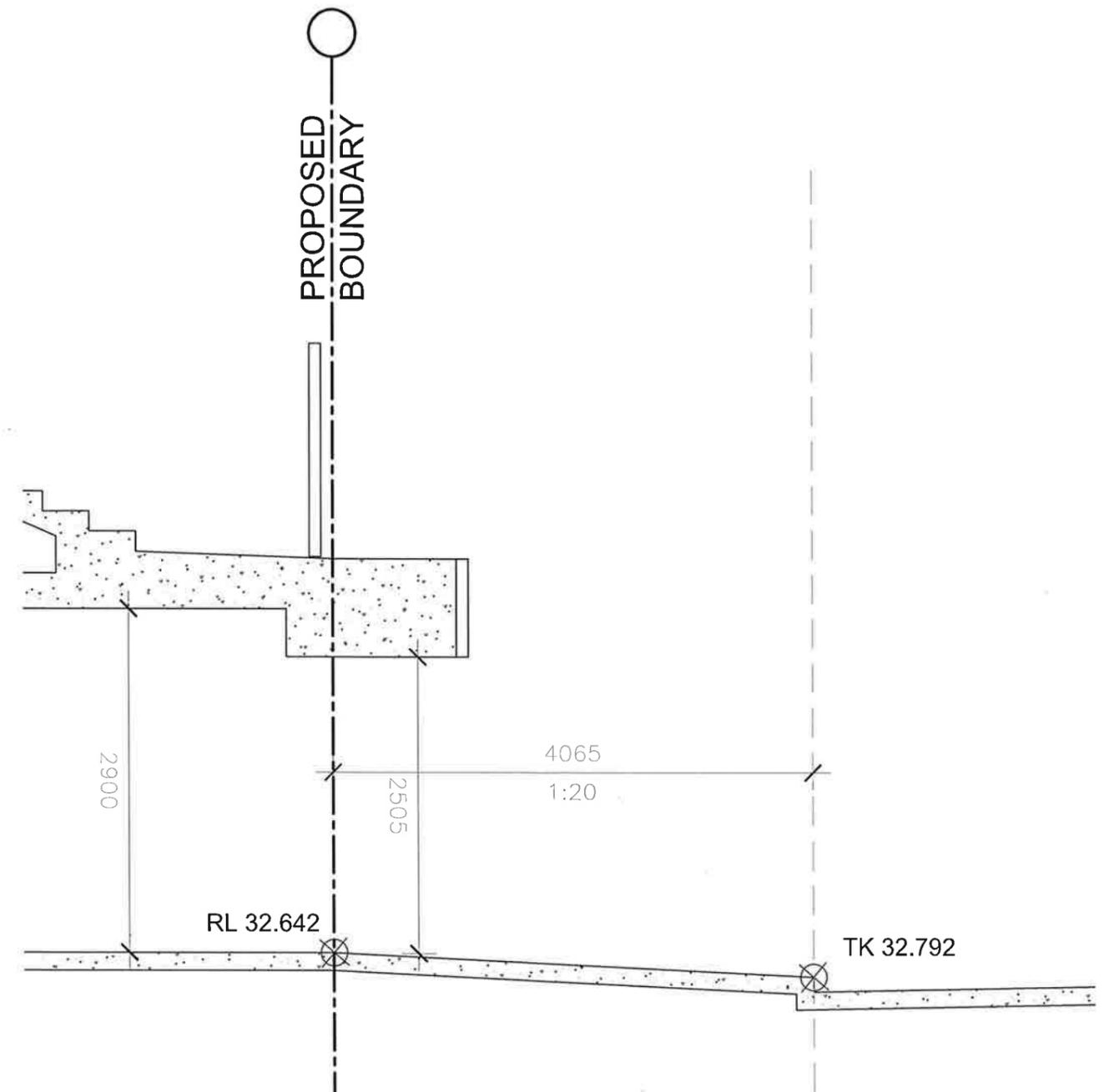
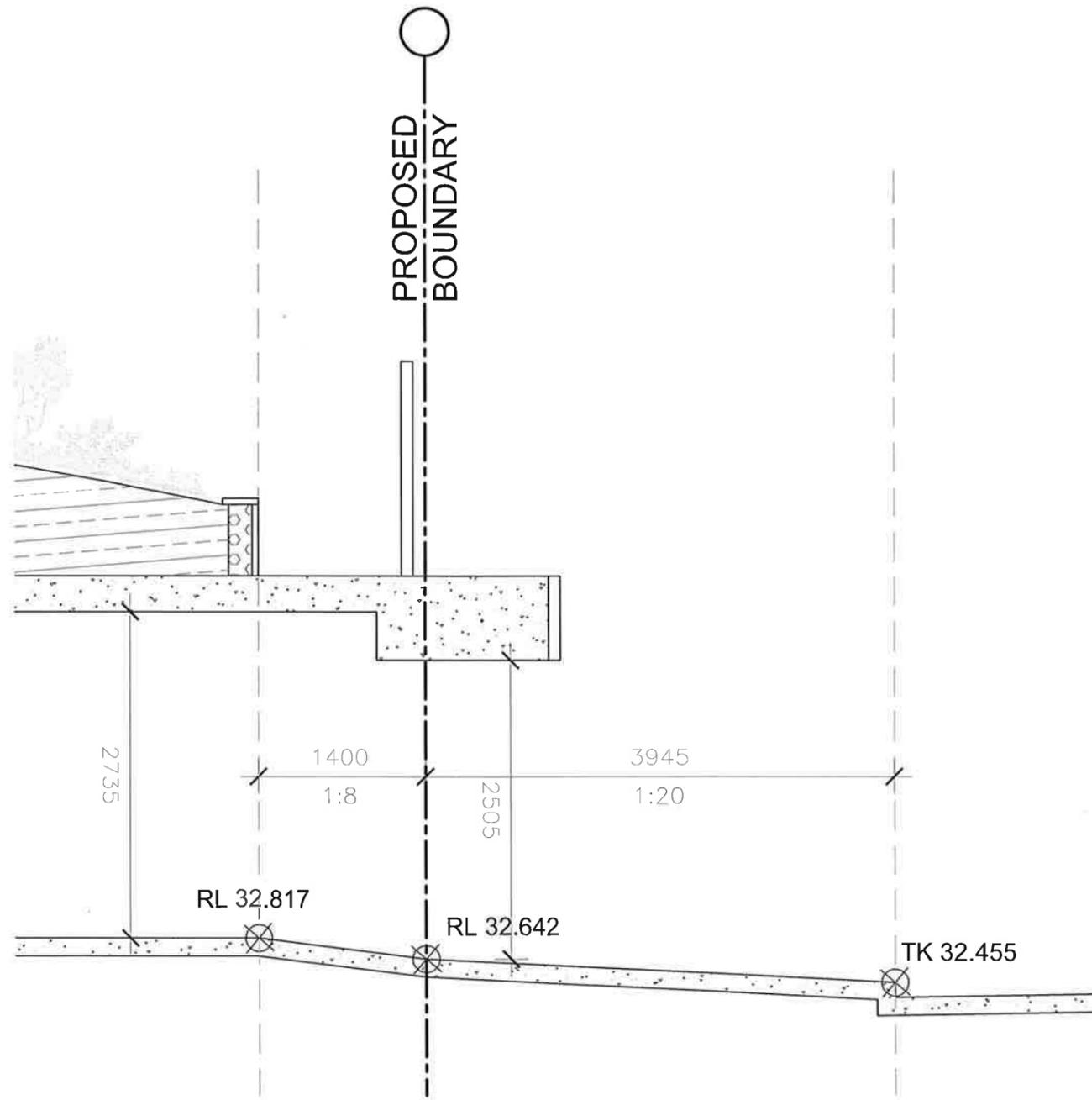
LEGEND	
(C) CONCRETE, BRUSH FINISH	(M) METAL CLADDING
(R) CEMENT RENDER-OFF WHITE	(MR) METAL ROOFING
(C) CARPET-BEDROOMS	(P) PEBBLES
(T) TIMBER FLOOR BOARDS	(O) OFF FORM CONCRETE
(F) METAL UN-TIMBER FENCE	(S) SILVER CLAUJUNG
(G) GLASS BALUSTRADE	(N) NATURAL STONE TILES INT.
(GL) GLAZING	(NS) NATURAL STONE TILES EXT.
(S) STONE PAVERS	(R) REUSED ROCKS FROM SITE
(T) TIMBER CLADDING	(F) FLOOR TILES - WET AREA
(P) PROPOSED RL	(X) EXISTING RL TO BE MAINTAINED

**platform ARCHITECTS**  
 Suite 503/39 East Esplanade, Manly 2095  
 p. 02 9976 6666 abn. 74602856157  
 not a public company Reg No. 8280

PROJECT  
 TWO SEMI-DETACHED DWELLINGS  
 WITH BASEMENT CARPARKING  
 52 LAUDERDALE AVENUE,  
 FAIRLIGHT, NSW  
 CLIENT  
 DAVID ALLEN & JIM CASEY



DRAWING TITLE	SCALE	STATUS	NUMBER	REVISION	PROJECT
DRIVEWAY PLAN	1:50@A3	DA	A5.01	A	LAF



DRIVEWAY SECTION 1  
LOT 1, 52A LAUDERDALE AVENUE

DRIVEWAY SECTION 2  
LOT 2, 52B LAUDERDALE AVENUE

**IMPORTANT NOTES:**  
Do not scale from drawings, use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.  
• All dimensions to be checked on site before commencement of work.  
• All discrepancies to be brought to the attention of the Architect.  
• Larger scale drawings and written dimensions take precedence.  
• The Future Planning Level is min 1.5m AHD. All levels to AHD.  
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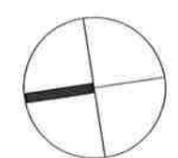
REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB

REVISION NOTES

LEGEND	
(C) CONCRETE, BRUSH FINISH	(M) METAL CLADDING
(R) CEMENT RENDER - OFF WHITE	(MR) METAL ROOFING
(C) CARPET - BEDROOMS	(P) PEBBLES
(T) TIMBER FLOOR BOARDS	(O) OFF FORM CONCRETE
(M) METAL OR TIMBER FENCE	(S) STONE CLADDING
(G) GLASS BALUSTRADE	(N) NATURAL STONE TILES INT.
(G) GLAZING	(S) NATURAL STONE TILES EXT.
(S) STONE PAVERS	(R) REUSED ROCKS FROM SITE
(C) TIMBER CLADDING	(F) FLOOR TILES - WEI AREA
(X) RL 11.704 PROPOSED RL	(X) RL 11.704 EXISTING RL TO BE MAINTAINED

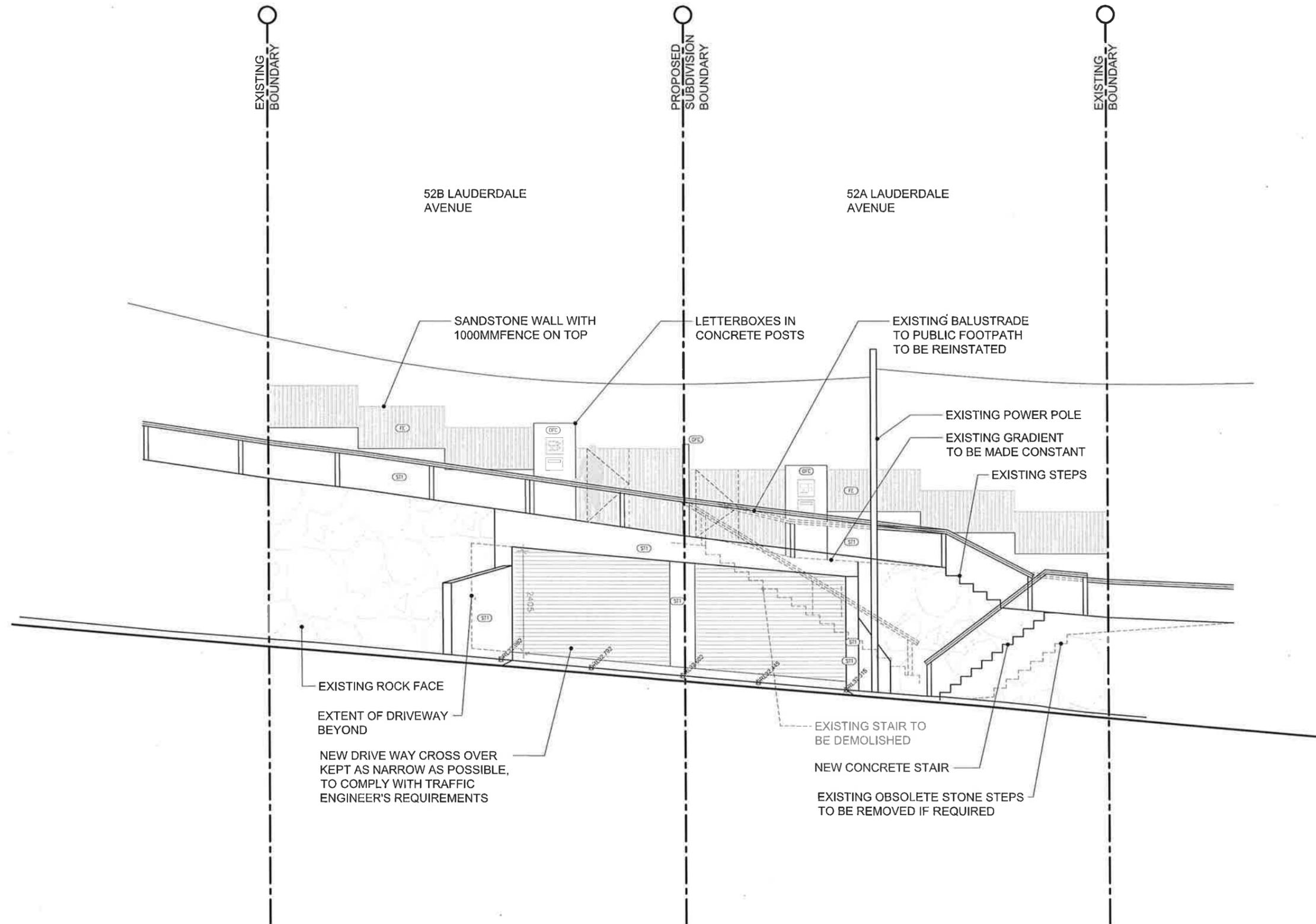


PROJECT  
TWO SEMI-DETACHED DWELLINGS  
WITH BASEMENT CARPARKING.  
52 LAUDERDALE AVENUE,  
FAIRLIGHT, NSW  
CLIENT  
DAVID ALLEN & JIM CASEY



SCALE	STATUS	NUMBER	REVISION
1:50@A3	DA	A5.02	A

DRAWING TITLE  
**DRIVEWAY SECTIONS 1 & 2**  
PROJECT  
LAF



**IMPORTANT NOTES:**  
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- All dimensions to be checked on site before commencement of work.
- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is min 3.1m AHD. All levels to AHD.

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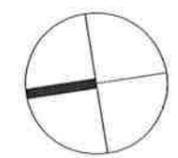
REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB

REVISION NOTES

LEGEND	
(CFC)	CONCRETE, BRUSH FINISH
(S11)	CEMENT RENDER - OFF WHITE
(S12)	CARPET - BEDROOMS
(S13)	TIMBER FLOOR BOARDS
(S14)	METAL OR TIMBER FENCE
(S15)	GLASS BALUSTRADE
(S16)	GLAZING
(S17)	METAL CLADDING
(S18)	METAL ROOFING
(S19)	PEBBLES
(S20)	OFF FORM CONCRETE
(S21)	STONE CLADDING
(S22)	NATURAL STONE TILES INT.
(S23)	NATURAL STONE TILES EXT.
(S24)	STONE PAVERS
(S25)	REUSED ROCKS FROM SITE
(S26)	TIMBER CLADDING
(S27)	FLOOR TILES - WET AREA
(S28)	HL 11.704
(S29)	HL 11.704
(S30)	EXISTING RL TO BE MAINTAINED

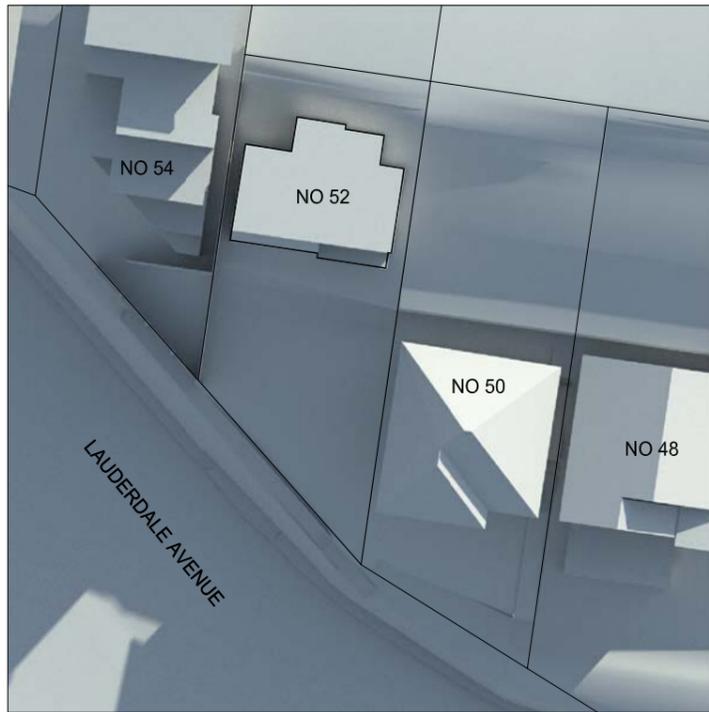


PROJECT  
 TWO SEMI-DETACHED DWELLINGS  
 WITH BASEMENT CARPARKING:  
 52 LAUDERDALE AVENUE,  
 FAIRLIGHT, NSW  
 CLIENT  
 DAVID ALLEN & JIM CASEY

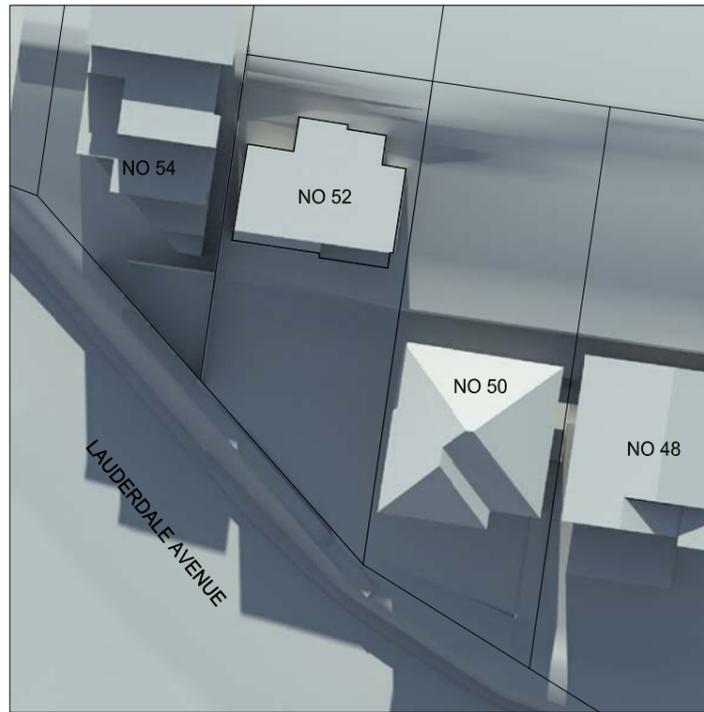


DRAWING TITLE	STATUS	NUMBER	REVISION
DRIVEWAY ELEVATION	DA	A5.03	A

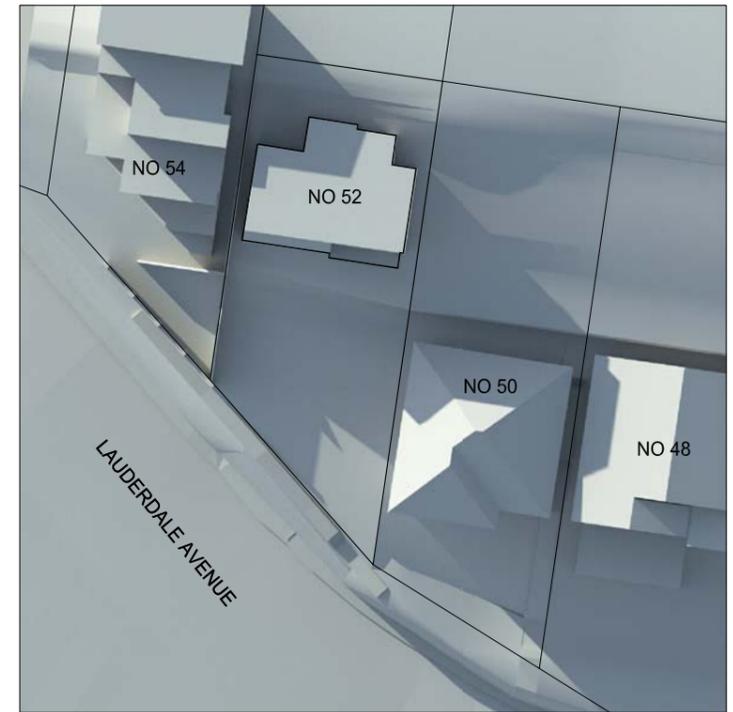
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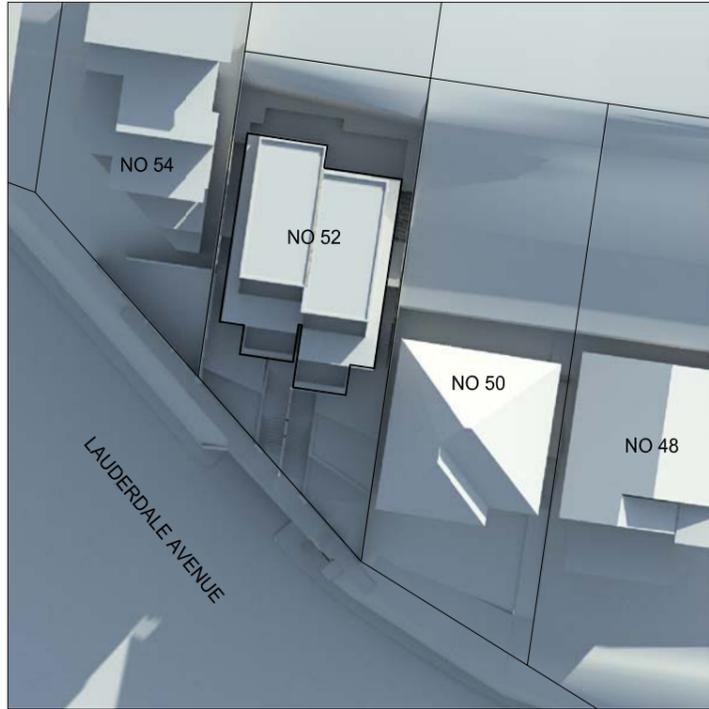
EXISTING DEVELOPMENT - 9am



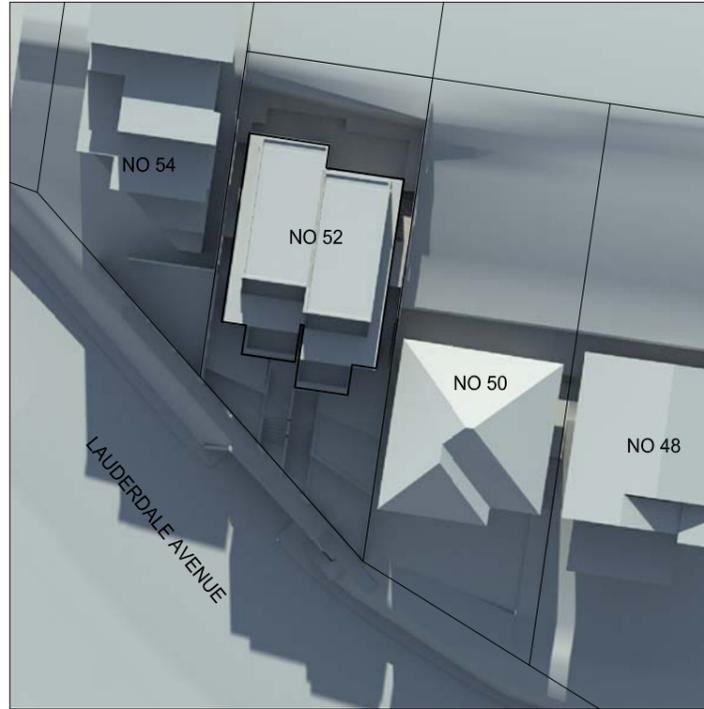
EXISTING DEVELOPMENT - 12pm



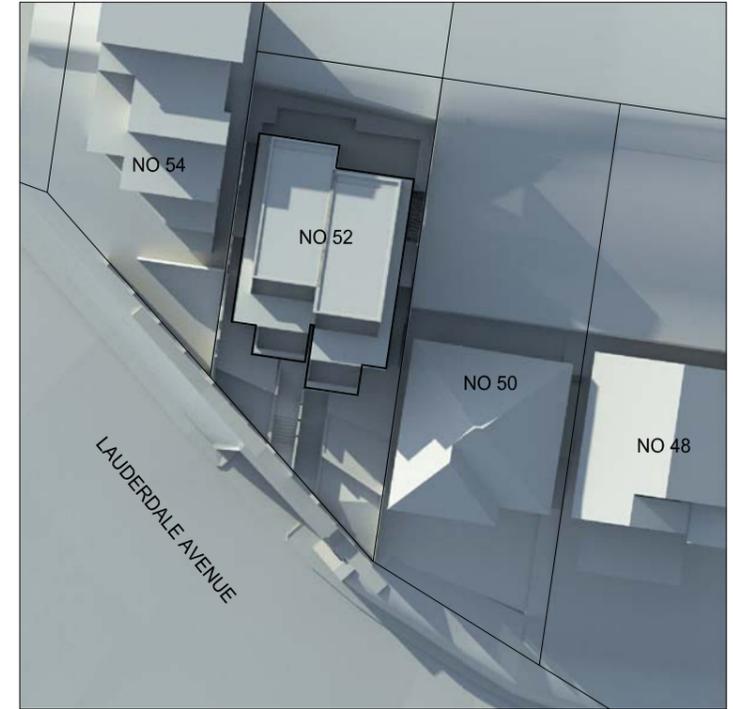
EXISTING DEVELOPMENT - 15pm



PROPOSED DEVELOPMENT - 9am



PROPOSED DEVELOPMENT - 12pm



PROPOSED DEVELOPMENT - 3pm

**IMPORTANT NOTES:**  
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REVISION	DATE	DESCRIPTION	BY
A	2019.05.01	DEVELOPMENT APPLICATION	FB
B	2019.07.09	UPDATED SHADOW DIAGRAMS	FB

REVISION NOTES  
NO. 48 INCLUDED

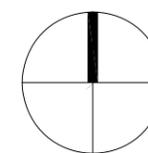
**LEGEND**

- |                           |                          |                              |
|---------------------------|--------------------------|------------------------------|
| CONCRETE, BRUSH FINISH    | METAL CLADDING           | STONE PAVERS                 |
| CEMENT RENDER - OFF WHITE | METAL ROOFING            | REUSED ROCKS FROM SITE       |
| CARPET - BEDROOMS         | PEBBLES                  | TIMBER CLADDING              |
| TIMBER FLOOR BOARDS       | OFF FORM CONCRETE        | FLOOR TILES - WET AREA       |
| METAL OR TIMBER FENCE     | STONE CLADDING           | PROPOSED RL                  |
| GLASS BALUSTRADE          | NATURAL STONE TILES INT. | EXISTING RL TO BE MAINTAINED |
| GLAZING                   | NATURAL STONE TILES EXT. |                              |

**platform ARCHITECTS**

Suite 503/39 East Esplanade, Manly 2095  
p. 02 9976 6666 abn. 74602856157  
nominated architect 8188e Gough Reg No. 8280

PROJECT  
TWO SEMI-DETACHED DWELLINGS  
WITH BASEMENT CARPARKING:  
**52 LAUDERDALE AVENUE,  
FAIRLIGHT, NSW**  
CLIENT  
DAVID ALLEN & JIM CASEY



DRAWING TITLE  
**SHADOW DIAGRAMS  
JUNE 21st**  
SCALE  
NOT TO SCALE

STATUS  
DA

NUMBER  
SH1

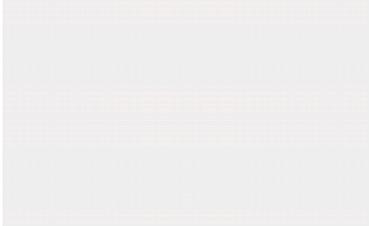
PROJECT  
LAF  
REVISION  
B

SCHEDULE OF EXTERNAL FINISHES

**52 LAUDERDALE AVENUE, FAIRLIGHT**

ISSUED FOR DA

Below is a schedule containing relevant external colours and materials to be used in the above project.

ITEM	DESCRIPTION	REF. IMAGE
Roof	Concrete roof with River Pebble Finish	
Roof	Colorbond roof standing seam in Surfmist	
External walls level 2	Colorbond roof standing seam in Surfmist	
Boundary walls base	Rendered and painted in Dulux "Natural White" or similar	
Party wall All floors	Rendered and painted in Dulux "Natural White" or similar	

SCHEDULE OF EXTERNAL FINISHES

**52 LAUDERDALE AVENUE, FAIRLIGHT**

ISSUED FOR DA

<p>External walls level 1</p>	<p>Off form concrete, smooth</p>	
<p>Boundary wall partywall to front</p>	<p>Off form concrete, smooth</p>	
<p>External walls ground floor</p>	<p>Hardwood cladding, natural finish</p>	
<p>External walls – Internal face of blade walls on level 2</p>	<p>Hardwood cladding, natural finish</p>	
<p>Soffit Level 2</p>	<p>Hardwood cladding, natural finish</p>	
<p>Boundary fence</p>	<p>Hardwood fence, natural finish</p>	
<p>External walls Undercroft, planter walls to rear &amp; driveway</p>	<p>Sandstone, split faced</p>	

SCHEDULE OF EXTERNAL FINISHES

**52 LAUDERDALE AVENUE, FAIRLIGHT**

ISSUED FOR DA

Planter walls, alternative	Sandstone blocks reused from site	
Windows and Sliding doors	Anodised aluminium frames	
Solid doors + garage doors	Stained timber	
Downpipes and gutters	Prefinished colorbond guttering where required, surfmist to roof & level 2, to match windows on ground floor	
Balustrades	Channel set frameless clear glass with SS top rail	
Terrace and Balcony	Natural stone tiles	

SCHEDULE OF EXTERNAL FINISHES

**52 LAUDERDALE AVENUE, FAIRLIGHT**

ISSUED FOR DA

platform  
ARCHITECTS

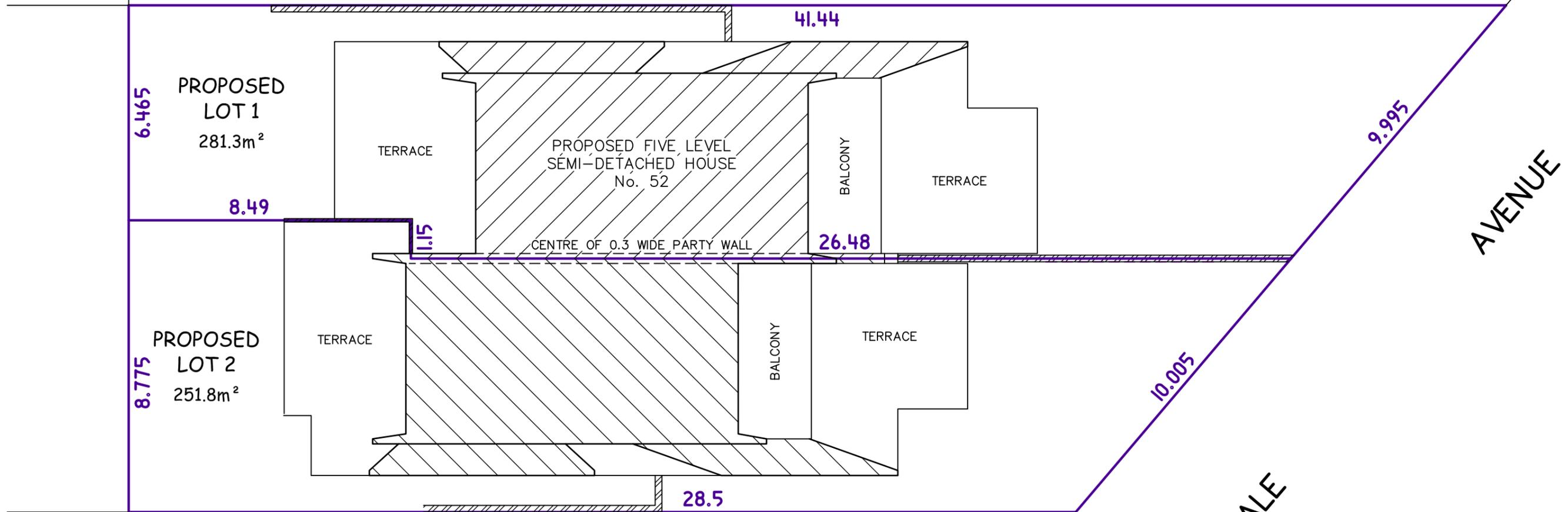
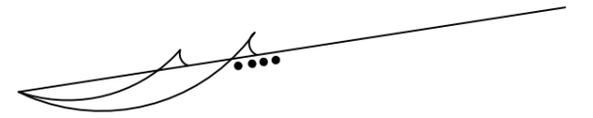
FEB 2019

outline of previously approved building dotted black

outline of the free to retain dotted green



1  
D.P. 305993



S.P. 78806



**Bee & Lethbridge Pty Ltd**  
Suite 2, 14 Starkey Street,  
PO Box. 330, Forestville, NSW 2087  
Phone: 9451 6757 Fax: 9975 3535  
Email: survey@beeeth.com.au  
ABN: 13 003 194 447  
www.beeeth.com.au

PLAN OF PROPOSED SUBDIVISION OF LOT 1 IN D.P. 172127  
KNOWN AS No. 52 LAUDERDALE AVENUE, FAIRLIGHT.

L.G.A.: NORTHERN BEACHES

CLIENT DAVID ALLEN			REF No.
PROPERTY No. 52 LAUDERDALE AVENUE, FAIRLIGHT			<b>3250</b>
DATUM -	SCALE 1:125 @ A3	DATE 04/03/2019	SHEET No. 1 of 1
SURVEYED W.B.	DRAWN R.M.	DWG No. 3250	REV No. 00



**CIVIL CONSULTING ENGINEERS**

NEW SEMI-DETACHED DWELLINGS  
52 LAUDERDALE AVENUE, FAIRLIGHT

**STORMWATER DRAINAGE NOTES:**

- ALL PIPES TO BE 100mm Ø UNLESS NOTED OTHERWISE.
- ALL PIPES TO BE uPVC TO AS 1254-2002 UNLESS NOTED OTHERWISE.
- ALL PIPES TO BE LAYED AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE.
- ALL PIPES SHALL BE LAID ON A 75mm SAND BED, COMPACTED TO 100% S.M.D. BELOW PAVEMENTS. ( NO COMPACTION REQUIRED BELOW LANDSCAPING ). COVER TO SURFACE FROM TOP OF PIPE TO BE 300mm MINIMUM. BACKFILL TO BE ADEQUATELY CONSOLIDATED AROUND PIPES BY METHOD OF RAMMING AND WATERING IN. TRENCHES TO BE FILLED WITH GRANULAR MATERIAL AS SPECIFIED.
- ALL DOWN PIPES TO BE 100mm Ø UNLESS NOTED OTHERWISE.
- DOWN PIPE LOCATIONS ARE INDICATIVE ONLY. LOCATIONS TO BE CONFIRMED WITH ARCHITECT PRIOR TO COMMENCEMENT WITH WORK.
- PROVIDE CLEANING EYES AT ALL DOWNPIPES.
- ALL PITS TO BE CAST INSITU OR, IF PRECAST, APPROVED BY ENGINEER. CAST INSITU PITS TO HAVE 150mm THICK CONCRETE WALLS AND BASE. WALLS TO BE REINFORCED WITH 1 N12 TOP TIE UNLESS NOTED OTHERWISE. CAST INSITU PITS GREATER THAN 1000 DEEP TO BE MINIMUM 900x600 AND TO HAVE 150mm THICK CONCRETE WALLS AND BASE. WALLS TO BE REINFORCED WITH N12 AT 250 EACH WAY UNLESS NOTED OTHERWISE.
- ALL PITS GREATER THAN 1000mm DEEP SHALL HAVE STEP IRONS AS PER COUNCIL STANDARDS.
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS AND SPECIFICATIONS.
- PRIOR TO COMMENCING ANY SITE WORKS THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES TO APPROVED SEDIMENT AND EROSION CONTROL PLAN, EPA GUIDELINES AND COUNCIL SPECIFICATIONS. ALL MEASURES TO REMAIN IN PLACE UNTIL COMPLETION AND STABILIZATION OF THE SITE TO COUNCIL SATISFACTION.
- ALL LEVELS SHOWN ARE TO AHD UNLESS NOTED OTHERWISE.
- ENSURE THAT ALL PITS AND STORMWATER PIPES ARE LOCATED CLEAR FROM TREE ROOT SYSTEMS.
- ALL EXISTING EARTHENWARE PIPES TO BE UPGRADED TO uPVC.
- ALL WORKS TO BE IN ACCORDANCE WITH AS 3500.3:2018 NATIONAL PLUMBING DRAINAGE CODE PART 3 - STORMWATER DRAINAGE.
- UNLESS NOTED OTHERWISE, SUB-SOIL DRAINS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3500.3 ALONGSIDE WALLS THAT IMPEDS THE NATURAL FLOW OF GROUNDWATER. THIS MAY ALSO INVOLVE TRENCHING INTO THE CLAY OR ROCK SUBGRADE TO DIRECT GROUNDWATER AWAY FROM STRUCTURES.
- IF NOT INDICATED ON PLANS, PROVIDE LEAF CATCHERS TO ALL DOWNPIPES.
- ORIFICE PLATE MUST BE INSTALLED PRIOR TO INSTALLATION OF THE ROOF DRAINAGE SYSTEM AND CONNECTION OF THE SITE STORMWATER SYSTEM TO THE ONSITE DETENTION TANK.
- EXISTING STORMWATER SYSTEM TO BE CHECKED AND UPGRADED AS REQUIRED IN ACCORDANCE WITH AS 3500.3:2018.
- CARE SHOULD BE TAKEN WHEN UNDERTAKING WORKS IN THE VICINITY OF SELECTED TREES NOT TO DISTURB THE TREE ROOT SYSTEM. HAND DIGGING OF TRENCHES MAY BE NECESSARY. REFER ARBORISTS REPORT WHERE REQUIRED.
- CONTRACTOR TO LOCATE ALL EXISTING SERVICES PRIOR TO EXCAVATION AND NOTIFY ENGINEER OF ANY POTENTIAL CLASHES WITH THE PROPOSED DRAINAGE EASEMENT PIPE LINE.
- ALL SUB-SOIL DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH THE STRUCTURAL AND GEOTECHNICAL REQUIREMENTS, AUSTRALIAN STANDARDS AS 3500.3:2018 AND IS TO BE DIRECTED TO THE SITE DRAINAGE SYSTEM BY MEANS OF GRAVITY DISCHARGE ONLY. DO NOT CONNECT SUB-SOIL PIPES TO AREAS WITH HIGHER SURFACE LEVELS U.N.O.
- ALL PIPES SHOWN ARE INDICATIVE ONLY AND MINIMUM CLEARANCES FROM THE EXTERNAL WALLS OF BUILDINGS, FOR THE EXCAVATION OF TRENCHES, ARE TO BE PROVIDED IN ACCORDANCE WITH AS 3500.3:2018.
- ANY COMPONENTS OF THE EXISTING SYSTEM PROPOSED TO BE RETAINED ARE TO BE CERTIFIED DURING CONSTRUCTION TO BE IN GOOD CONDITION AND OF ADEQUATE CAPACITY TO CONVEY ADDITIONAL RUNOFF AND BE REPLACED OR UPGRADED IF REQUIRED.
- ANY CHARGED PIPES MUST BE A MINIMUM OF 100mm (UNLESS NOTED OTHERWISE) WITH ALL JOINTS MUST BE SOLVENT WELDED. A CLEANING EYE, OR FLUSH OUT POINT, MUST BE PROVIDED AT THE LOW POINT IN THE SYSTEM WITHIN A PIT THAT CAN BE DRAINED TO AN ONSITE DISPERSAL SYSTEM.
- PROVISION IS TO BE MADE FOR THE COLLECTION AND DISPOSAL IN AN APPROVED MANNER OF ANY OVERLAND FLOW ENTERING THE SUBJECT PROPERTY, OR CONCENTRATED AS A RESULT OF THE PROPOSED WORKS. ANY REDIRECTION OR TREATMENT OF FLOWS ENTERING THE PROPERTY SHALL NOT ADVERSELY AFFECT ANY OTHER PROPERTIES.
- PREVENT ANY STORMWATER EGRESS INTO ADJACENT PROPERTIES BY CREATING PHYSICAL BARRIERS AND SURFACE DRAINAGE INTERCEPTION.
- GUTTER GUARDS MUST BE INSTALLED ON ALL GUTTERS TO MINIMISE DEBRIS ENTERING THE SYSTEM.
- ALL SUB-SOIL DRAINAGES, STRIP DRAINS AND DRAINAGE PITS SHALL DISCHARGE TO NEW INFILTRATION TRENCH AND BE CONSTRUCTED IN ACCORDANCE WITH AS3500.3.
- OVERFLOW PATHS SHALL BE PROVIDED TO ALLOW FOR FLOWS IN EXCESS OF THE CAPACITY OF THE PIPE/DRAINAGE SYSTEM DRAINING THE SITE.
- WHERE ANY NEW STORMWATER DRAINAGE SYSTEM CROSSES THE FOOTPATH AREA WITHIN ANY ROAD, SEPERATE APPROVAL UNDER SECTION 138 OF THE ROAD ACT 1993 MUST BE OBTAINED FROM COUNCIL FOR THOSE WORKS PRIOR TO THE ISSUE OF ANY CONSTRUCTION CERTIFICATE.
- THE FOLLOWING ABBREVIATIONS DENOTE:  
FSL - FINISHED SURFACE LEVEL OR RL - REDUCED LEVEL  
IL - INVERT LEVEL OF PIPE  
INV. - INVERT LEVEL OF PIT  
CL - CENTRELINE OF ORIFICE  
TWL - TOP WATER LEVEL

**NOTE:**  
THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THAT THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.

**RAINWATER HARVESTING REQUIREMENTS:**

- CONSIDERING THE ROOF CATCHMENT AREA, LOCATION OF PROPERTY, INTENDED USE OF RAINWATER AND GARDEN SIZE WE RECOMMEND PROVIDING A RAINWATER TANK FOR USE AS PER BASIX REQUIREMENTS, HCCRENS WATER SMART PRACTICE NOTE (N).4) AND THE NSW HEALTH REQUIREMENTS FOR NON DRINKING USE ONLY AS FOLLOWS:  
a) TO WATER GARDEN AREAS b) LAUNDRY WASHING.
- THE TANKS PROVIDED WILL REDUCE PRESSURE ON COUNCIL'S STORMWATER INFRASTRUCTURE.
- REFERENCES: COOMBES P.J. & KUCZERA G. (2001), "RAINWATER TANK DESIGN FOR WATER SUPPLY & STORMWATER MANAGEMENT." STORMWATER INDUSTRY ASSOCIATION REGIONAL CONFERENCE. PATRICK DUPONT & STEVE SHACKEL, "RAINWATER" AUSTRALIAN GOVERNMENT (2004), "GUIDANCE ON USE OF RAINWATER TANKS".
- ALL CONNECTIONS TO PLUMBING AND RAINWATER TANKS TO BE IN ACCORDANCE WITH SYDNEY WATERS' GUIDE "INSTALLING A RAINWATER TANK" AVAILABLE AT [www.sydneywater.com.au](http://www.sydneywater.com.au) OR FROM LOCAL COUNCIL GUIDELINES.
- PROVIDE A DUAL SUPPLY SYSTEM AND BACKFLOW PREVENTION SYSTEM IN ACCORDANCE WITH "BASIX-DESIGN GUIDE FOR SINGLE DWELLINGS" BY NSW DEPARTMENT OF INFRASTRUCTURE, PLANNING AND NATURAL RESOURCES AND AS3500.1.
- IF NOT SPECIFIED ON PLANS, THE FIRST FLUSH SYSTEM IS TO HAVE A MINIMUM SIZE OF 20L PER 100m2 OF ROOF CATCHMENT AREA PRIOR TO ENTERING THE RAINWATER TANK. INDIVIDUAL SITE ANALYSIS IS REQUIRED IN HEAVILY POLLUTED AREAS TO DETERMINE IF LARGER VOLUMES OF FIRST FLUSH RAINWATER ARE TO BE DIVERTED. IF IN DOUBT, CHECK WITH LOCAL HEALTH AUTHORITIES.
- SCREENED DOWNPIPE RAINWATER HEAD OR OTHER SUITABLE LEAF AND DEBRIS DEVICE TO BE INSTALLED ON EACH DOWNPIPE. SCREEN MESH TO BE 4-6mm AND DESIGNED TO BE SELF-CLEANING.
- FIRST FLUSH DEVICES, OR APPROVED ALTERNATIVE, TO BE INSTALLED WITH AN AUTOMATED DIVERSION AND DRAINAGE SYSTEM, THAT IS, NO MANUAL DIVERSION AND DRAINAGE VALVES. REFER TYPICAL FLUSH OUT PIT FOR DETAILS. THIS SHOULD CATER FOR THE FIRST 1mm OF RAINFALL.
- BEFORE PURCHASING MATERIALS OR PAINT TO BE USED ON ROOF CATCHMENT AREAS, THE MANUFACTURER'S RECOMMENDATIONS ON LABELS AND BROCHURES FOR RAINWATER TANK SUITABILITY TO BE READ AND ADHERED TO.
- PRE-STORAGE PITS FOR UNDERGROUND RAINWATER STORAGE TANKS AND FLUSH OUT PITS MAY ASSIST IN LIMITING SILT, AND PREVENT VERMIN, INSECTS (INCLUDING MOSQUITOES) AND DEBRIS FROM ENTERING THE RAINWATER STORAGE AREA.
- RAINWATER TANK TO BE WATER PROOFED IN ACCORDANCE WITH HB 230-200B
- BUILDER OR PLUMBER TO ENSURE THE INSTALLATION OF THE RAINWATER TANK SYSTEM IS IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND THE RAINWATER TANK DESIGN AND INSTALLATION HANDBOOK - HB 230-200B. IF IN DOUBT CONTACT ENGINEER.
- NOISE EMISSIONS FROM ANY PUMPS DO NOT EXCEED 5dB(A) ABOVE AMBIENT BACKGROUND NOISE LEVEL MEASURED AT THE ALLOTMENT BOUNDARY.

**LEGEND**

- STORMWATER PIT
- NEW STORMWATER PIPE
- STORMWATER PIPE FLOW DIRECTION
- EXISTING STORMWATER PIPE
- BOUNDARY LINE
- EXISTING SEWER MAIN
- EXISTING OVERHEAD POWER LINES
- EXISTING WATER MAINS
- EXISTING TELECOMMUNICATIONS LINE
- EXISTING GAS MAINS
- DENOTES DOWNPIPE
- DENOTES SIZE OF DOWNPIPE
- DOWNPIPE TO RAINWATER TANK
- DOWNPIPE TO BOUNDARY PIT
- DENOTES DOWNPIPE OVER
- DENOTES DOWNPIPE UNDER
- 150mm WIDE GRATED DRAIN TO ARCHITECTS DETAIL
- 200 x 200 ATLANTIS DRAINAGE CELL PLANTER DRAIN TO ARCHITECTS DETAIL
- 200 x 200 ATLANTIS DRAINAGE CELL FLOOR DRAIN TO ARCHITECTS DETAIL
- 5,000L PRE-FABRICATED TANK (1.0m W x 1.5m H x 3.5m L)
- 300mm WIDE x 110mm DEEP MIN. WIDE BOX GUTTER AT 1:500 MIN. FALL
- 300mm WIDE x 115mm DEEP x 120mm LONG RAINWATER HEAD WITH OVERFLOW
- ROOF RAINWATER OUTLET TO ARCHITECTS DETAILS
- 2,000L MIN. PRE-FABRICATED TANK
- 1,500L MIN. PRE-FABRICATED TANK

STORMWATER CALCULATIONS ACCORDING TO NORTHERN BEACHES COUNCIL (MANLY DCP)	
DEVELOPMENT SITE LOCATION	ZONE 1
TOTAL SITE AREA	531 m <sup>2</sup> > 400 m
TOTAL EXISTING SITE IMPERVIOUS AREA	221 m <sup>2</sup>
TOTAL PROPOSED SITE IMPERVIOUS AREA	380 m <sup>2</sup> > 250 m <sup>2</sup>
INCREASE IN SITE IMPERVIOUS AREA	159 m <sup>2</sup>
IMPERVIOUS PERCENTAGE PRE DEVELOPMENT	42 %
IMPERVIOUS PERCENTAGE POST DEVELOPMENT	72 %
DEVELOPMENT TYPE	NEW SEMI-DETACHED DWELLINGS
HOUSE 1 SITE AREA	281 m <sup>2</sup>
HOUSE 2 SITE AREA	250 m <sup>2</sup>
PRE DEVELOPMENT SITE DISCHARGE - HOUSE 1	
5 YR	11 l/s ( 35% IMPERVIOUS )
100 YR	19 l/s ( 35% IMPERVIOUS )
POST DEVELOPMENT SITE DISCHARGE - HOUSE 1	
5 YR	7 l/s ( 4 l/s FROM OSD )
100 YR	11 l/s ( 5 l/s FROM OSD )
PRE DEVELOPMENT SITE DISCHARGE - HOUSE 2	
5 YR	10 l/s ( 35% IMPERVIOUS )
100 YR	17 l/s ( 35% IMPERVIOUS )
POST DEVELOPMENT SITE DISCHARGE - HOUSE 2	
5 YR	6 l/s ( 4 l/s FROM OSD )
100 YR	9 l/s ( 6 l/s FROM OSD )
<b>ONSITE DETENTION DETAILS</b>	
PORTION THROUGH OSD	75 %
ORIFICE SIZE - HOUSE 1	50 mm Ø
ORIFICE SIZE - HOUSE 2	55 mm Ø
TYPE OF CONTROL	ABOVE GROUND TANKS
MAXIMUM DISCHARGE TO KERB	20 l/s
DEPTH TO ORIFICE	1.5 m
OVERFLOW TO STREET	YES
DIMENSION OF OSD TANKS (HOUSE 1 & 2)	1.0m W x 3.5m L x 1.5m D
PROPOSED OSD VOLUME (HOUSE 1 & 2)	10 m <sup>3</sup> (NOTE: 10 m <sup>3</sup> REQUIRED)
<b>RAINWATER TANK DETAILS</b>	
VOLUME OF RAINWATER (BASIX) - HOUSE 1	2,000 m <sup>3</sup>
VOLUME OF RAINWATER (BASIX) - HOUSE 2	1,500 m <sup>3</sup>

**SURVEY NOTES:**

- THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY THE PROJECT SURVEY. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. RTS CIVIL CONSULTING ENGINEERS PTY LTD DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE.
- SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT THE ENGINEER.
- REFERENCE SHOULD BE MADE DIRECTLY TO THE SURVEYOR BEFORE SETTING OUT.

**EXISTING UNDERGROUND SERVICES NOTES:**

- THE LOCATIONS OF UNDERGROUND SERVICES SHOWN IN THIS SET OF DRAWINGS HAVE BEEN PLOTTED FROM SURVEY INFORMATION AND SERVICE AUTHORITY INFORMATION. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE.
- RTS CIVIL CONSULTING ENGINEERS PTY LTD CANNOT GUARANTEE THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.
- CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY.
- CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS.
- CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH, PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.
- CONTRACTOR IS TO CONFIRM FINDINGS FOR THE LOCAL COUNCIL OR SYDNEY WATER IN RELATION TO THE SEWER OR WATER MAINS LOCATED. CONFIRMATION OF MAINS IS REQUIRED PRIOR TO CONSTRUCTION. POSSIBLE CONFLICT OF SERVICES ARE TO BE REPORTED TO THE SUPERINTENDENT OR ENGINEER FOR FURTHER DIRECTIONS.

**EXTERNAL NOTES:**

- ALL ACTIVITIES AND WORKS EXTERNAL TO THE SITE, OR THAT AFFECT PUBLIC ROADS, ARE TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S CODES AND STANDARDS.
- PUBLIC FOOTPATHS SHALL BE RECONSTRUCTED TO THE SATISFACTION OF COUNCIL'S DIRECTOR OF ENGINEERING SERVICES. A ROAD OPENING PERMIT SHALL BE OBTAINED FOR ALL WORKS CARRIED OUT IN A PUBLIC OR COUNCIL CONTROLLED LAND.
- RESTORATION OF LANDSCAPING, ROADS AND PATHS SHALL BE TO COUNCIL'S REQUIREMENTS. ALL OTHER RESTORATION SHALL BE TO THE SATISFACTION OF THE AFFECTED PARTIES.
- WHERE WORKS ARE UNDERTAKEN ON PUBLIC ROADS, ADEQUATE TRAFFIC CONTROL AND DIRECTIONS TO MOTORISTS SHALL BE PROVIDED BY OTHERS.

**DRAWING SCHEDULE:**

- CP100 - COVER PAGE, NOTES & CALCULATIONS
- SW100 - BASEMENT & MEZZANINE STORMWATER MANAGEMENT PLAN
- SW101 - UNDERROFT & GROUND FLOOR STORMWATER MANAGEMENT PLAN
- SW102 - FIRST & SECOND FLOOR STORMWATER MANAGEMENT PLAN
- SW103 - ROOF STORMWATER MANAGEMENT PLAN
- SW104 - ONSITE DETENTION & DRAINAGE DETAILS
- SE100 - SITE SEDIMENT AND EROSION CONTROL PLAN 1 OF 2
- SW101 - SITE SEDIMENT AND EROSION CONTROL PLAN 2 OF 2



NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

**CARELESS DIGGING CAN DIGGING CAN:**

- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG. - TEL. 1100

ALL DIMENSIONS MUST BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.

A1 ORIGINAL		Issued for: DEVELOPMENT APPLICATION		Title:	Initial:	Date:	Architect:	Project and Drawing Title:		Local Council:	
C	29.04.19	SITE SEDIMENT & EROSION CONTROL PLAN	R.M	DESIGN	R.M	13.02.2019		52 LAUDERDALE AVENUE, FAIRLIGHT		NORTHERN BEACHES COUNCIL	
B	23.04.19	STORMWATER MANAGEMENT PLAN FOR DA SUBMISSION	R.M	DRAWN	S.M	13.02.2019		COVERPAGE, NOTES & CALCULATIONS		Project Number:	Drawing ID:
A	28.02.19	STORMWATER MANAGEMENT PLAN FOR REVIEW	R.M	CHECKED	R.M	18.02.2019		DAVID ALLEN & CASEY FAMILY TRUST		181204	CP100
Rev:	Date:	Description:	Reviewed:	APPROVED	R.M	23.04.2019					C



**CIVIL CONSULTING ENGINEERS**

STORMWATER • CIVIL • FLOOD MITIGATION

ABN: 81 615 065 588 Phone: 0490 507 300 Email: [admin@rtscivil.com.au](mailto:admin@rtscivil.com.au) Web: [rtscivil.com.au](http://rtscivil.com.au)

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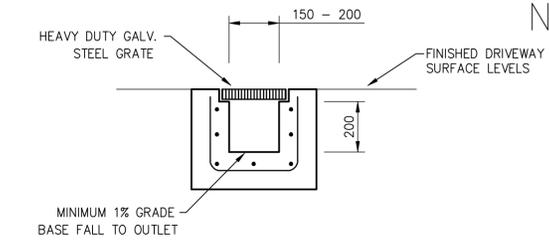
Architect: \_\_\_\_\_  
Client: DAVID ALLEN & CASEY FAMILY TRUST

Project and Drawing Title: 52 LAUDERDALE AVENUE, FAIRLIGHT  
COVERPAGE, NOTES & CALCULATIONS

Local Council: NORTHERN BEACHES COUNCIL  
Project Number: 181204  
Drawing ID: CP100  
Issue: C

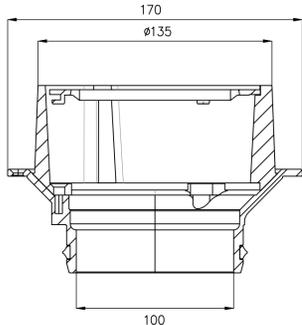
**NOTES:**  
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NOT FOR CONSTRUCTION



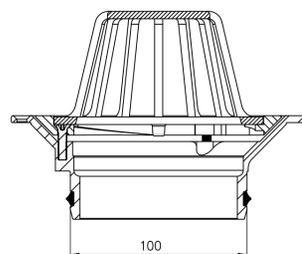
**TYPICAL DRIVEWAY GRATED DRAIN (GD)**

SCALE = 1 : 20



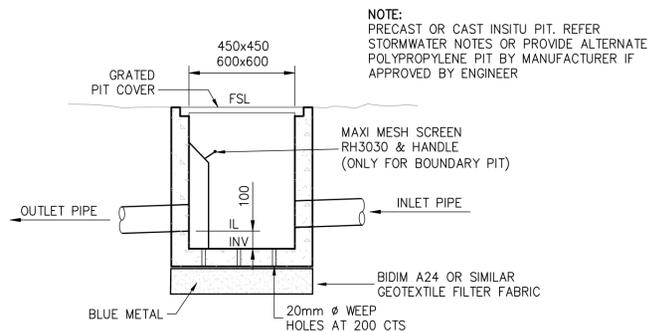
**TYPICAL RAINWATER OUTLET OVERFLOW DETAIL**

SCALE = 1 : 20



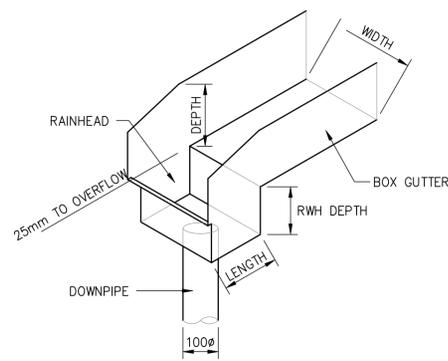
**TYPICAL RAINWATER OUTLET (RWO) DETAIL**

SCALE = 1 : 20



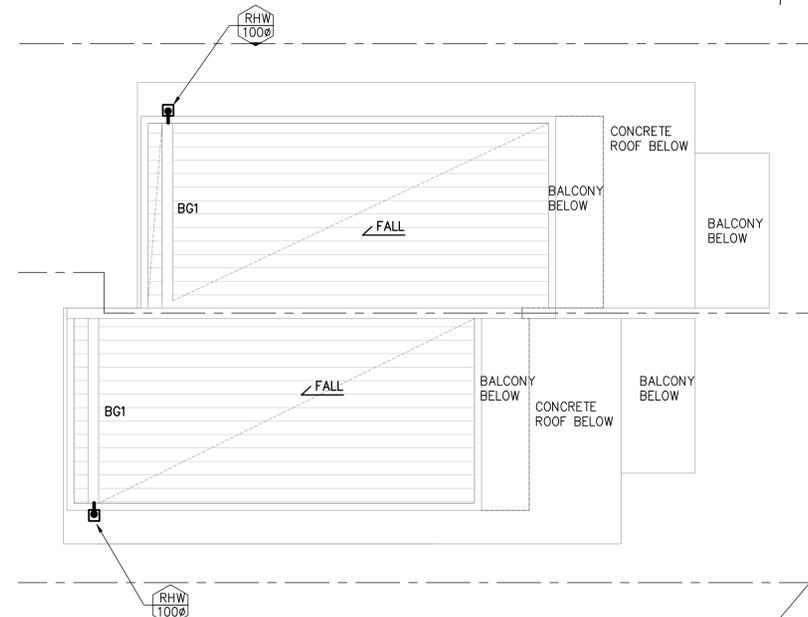
**TYPICAL PIT DETAIL**

SCALE = 1 : 20



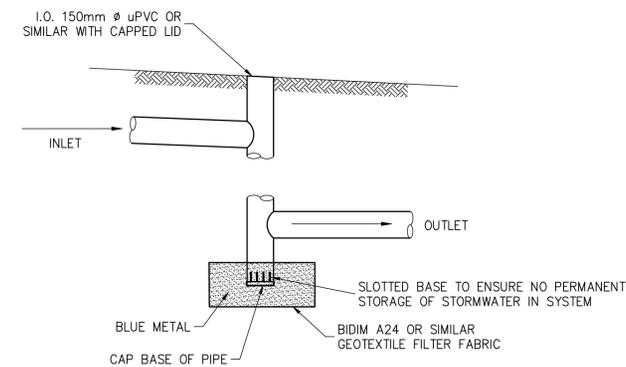
**TYPICAL BOX GUTTER & RAINHEAD DETAIL**

NTS



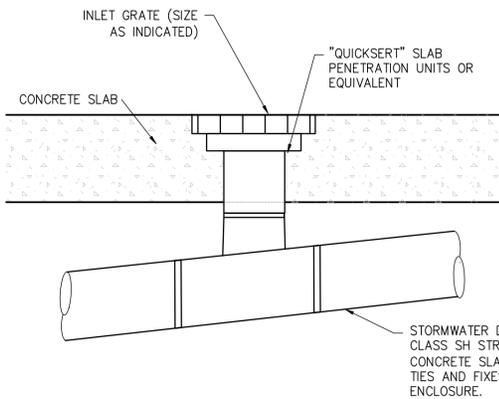
**ROOF STORMWATER MANAGEMENT PLAN**

SCALE = 1 : 100



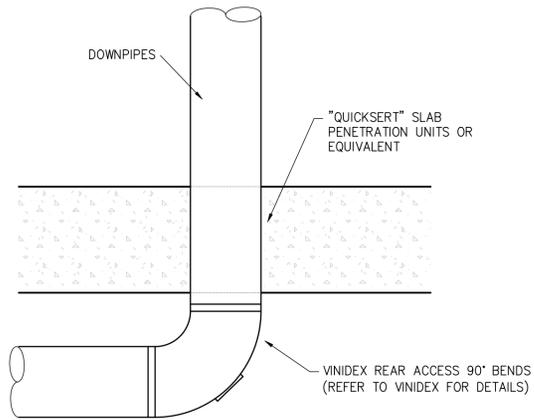
**SECTION THROUGH INSPECTION OPENING DENOTED I.O. ON PLAN**

SCALE = 1 : 20



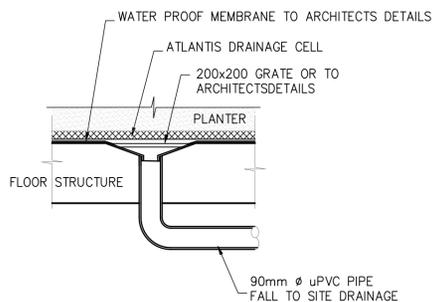
**200 x 200 FLOOR DRAIN DETAIL**

NOT TO SCALE



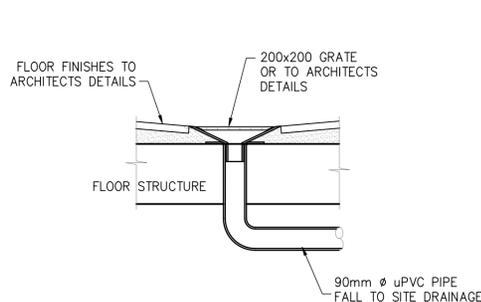
**DOWNPIPE PENETRATION THROUGH SLAB DETAIL**

NOT TO SCALE



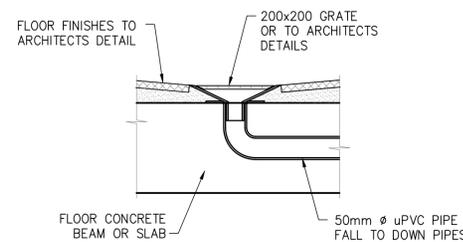
**STANDARD FLOOR DRAIN**

SCALE = 1 : 20



**STANDARD FLOOR PATIO DRAIN**

SCALE = 1 : 20



**STANDARD FLOOR DRAIN (OPTION FOR BALCONIES ONLY)**

SCALE = 1 : 10

**NOTE:**  
 FLOOR DRAINS TO BE INSTALLED WITHIN ALL PLANTERS AND PATIOS TO ARCHITECTS DETAILS AND AS3500.3 REQUIREMENTS. FLOOR DRAINS ARE TO DRAIN BY GRAVITY TO THE NEAREST DRAINAGE STRUCTURE AND MUST BE LOCATED AT LEAST 500mm ABOVE CONNECTION POINT. IF IN DOUBT, CONTACT THE ENGINEER.

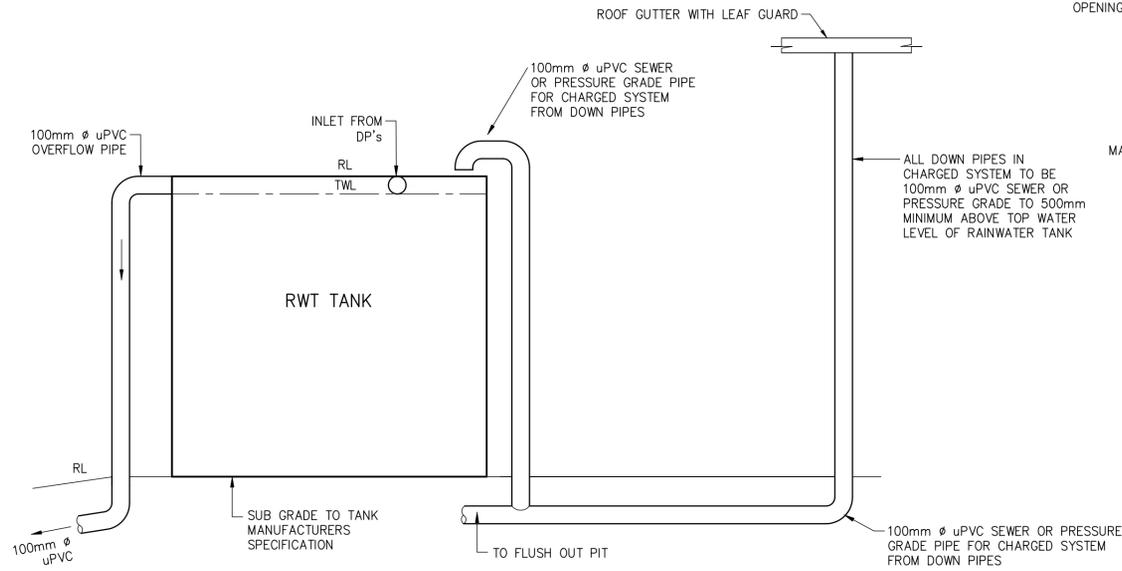
**NOTE:**  
 THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THAT THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.



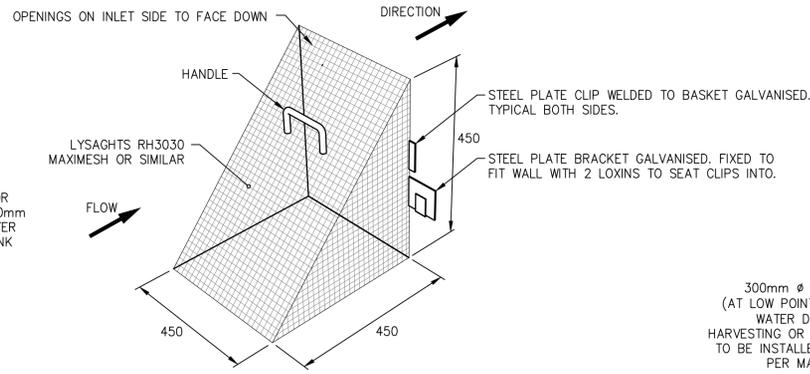
A1 ORIGINAL		Issued for: DEVELOPMENT APPLICATION	Title: DESIGN	Initial: R.M.	Date: 13.02.2019	 CIVIL CONSULTING ENGINEERS STORMWATER • CIVIL • FLOOD MITIGATION ABN: 81 615 065 588 Phone: 0490 507 300 Email: admin@rtscivil.com.au Web: rtscivil.com.au	Architect: _____	Project and Drawing Title: 52 LAUDERDALE AVENUE, FAIRLIGHT	Local Council: NORTHERN BEACHES COUNCIL		
B	23.04.19	STORMWATER MANAGEMENT PLAN FOR DA SUBMISSION	R.M.				Client: DAVID ALLEN & CASEY FAMILY TRUST	ROOF STORMWATER MANAGEMENT PLAN & DRAINAGE DETAILS	Project Number: 181204	Drawing ID: SW103	Issue: B
A	28.02.19	STORMWATER MANAGEMENT PLAN FOR REVIEW	R.M.								
Rev:	Date:	Description:	Reviewed:								

**NOTES:**  
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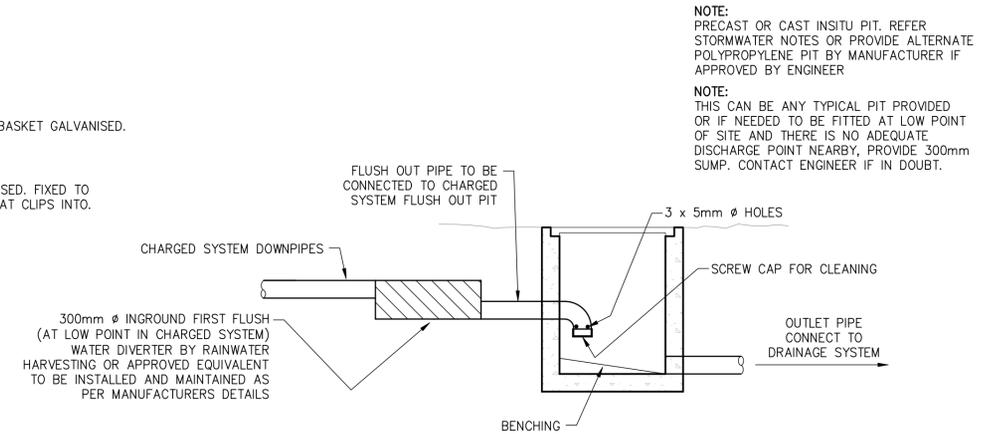
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**TYPICAL SECTION RAINWATER TANK**  
 NOT TO SCALE

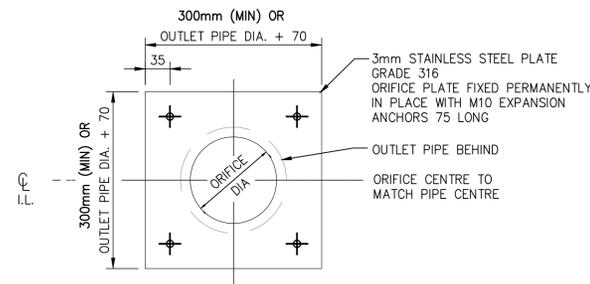


**MAXI MESH SCREEN DETAIL**  
 SCALE = N.T.S.

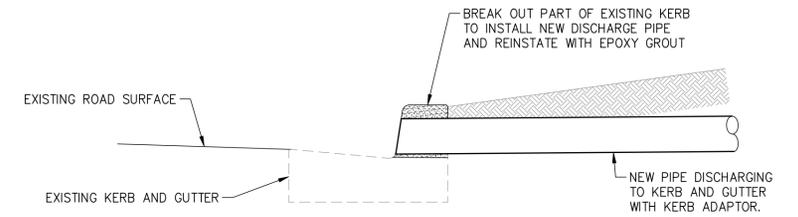


**OPTIONAL FIRST FLUSH DETAIL - INGROUND**  
 SCALE = 1 : 20

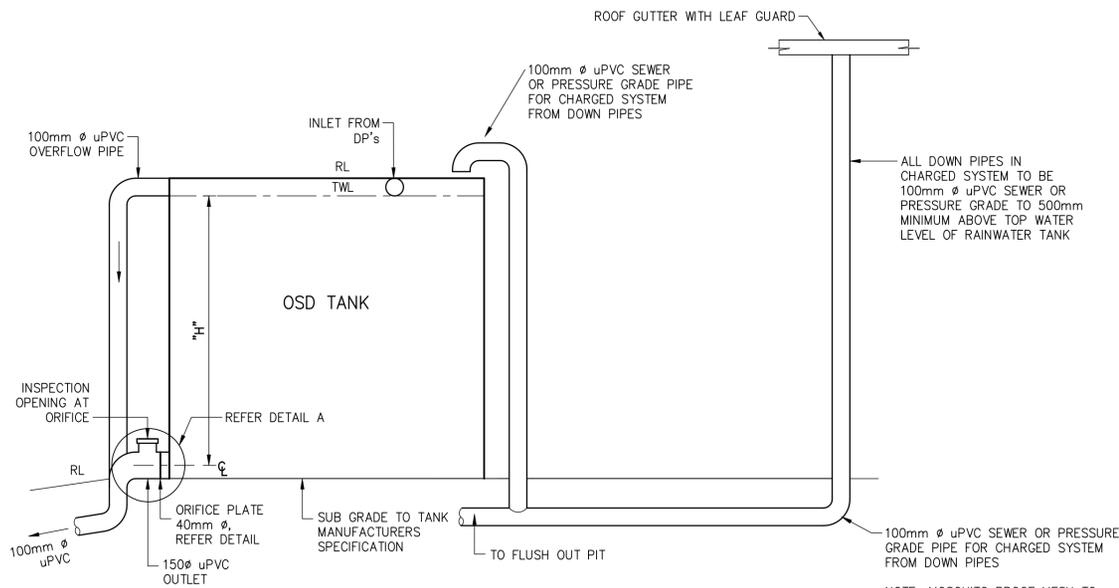
NOTE: MOSQUITO PROOF MESH TO BE PROVIDED AT ALL END POINTS OF CHARGED LINES AND RAINWATER TANK.



**ORIFICE PLATE DETAIL**  
 SCALE = N.T.S.



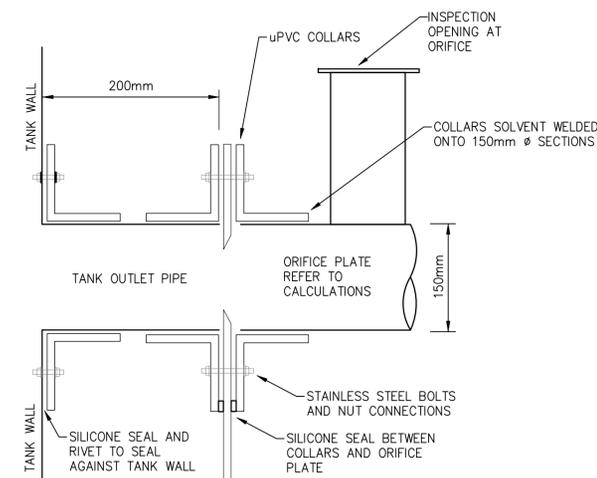
**NEW PIPE CONNECTION TO EXISTING KERB AND GUTTER**  
 SCALE 1:20



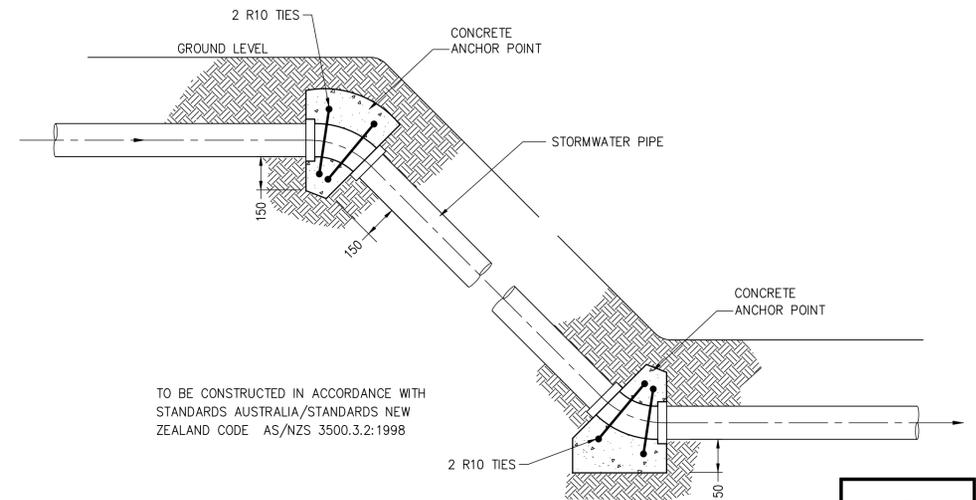
**TYPICAL SECTION ONSITE DETENTION TANKS**  
 NOT TO SCALE

NOTE:  
 H = 1.5m (SHOULD HEIGHT TO ORIFICE CHANGE, BUILDER TO NOTIFY ENGINEER FOR ORIFICE ADJUSTMENT)

NOTE: MOSQUITO PROOF MESH TO BE PROVIDED AT ALL END POINTS OF CHARGED LINES AND RAINWATER TANK.



**ORIFICE PLATE - DETAIL A**  
 N.T.S.



TO BE CONSTRUCTED IN ACCORDANCE WITH STANDARDS AUSTRALIA/STANDARDS NEW ZEALAND CODE AS/NZS 3500.3.2:1998

**CONCRETE ANCHOR POINT DETAIL FOR EARTH SLOPE GREATER THAN 1 V. TO 3 H.**  
 ANCHOR BLOCKS TO BE LOCATED AT THE BEND OR JUNCTION AT THE TOP AND BOTTOM OF THE INCLINED SITE STORMWATER DRAIN AND AT INTERVALS NOT EXCEEDING 3.0m  
 SCALE = 1 : 20



**NOTE:**  
 THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THAT THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.

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B	23.04.19	STORMWATER MANAGEMENT PLAN FOR DA SUBMISSION	DRAWN	S.M.	13.02.2019		Client: DAVID ALLEN & CASEY FAMILY TRUST	Project Number: 181204	Drawing ID: SW104	Issue: B
A	28.02.19	STORMWATER MANAGEMENT PLAN FOR REVIEW	CHECKED	R.M.	18.02.2019					
Rev:	Date:	Description:	APPROVED	R.M.	23.04.2019					

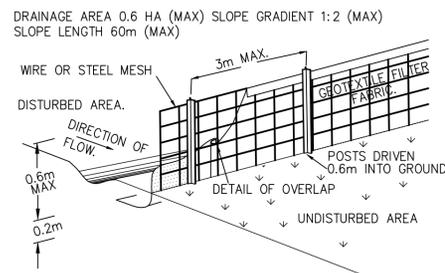
- NOTES:**
1. U.N.O REFER TO THE COVERPAGE CP-1 FOR DETAILED NOTES AND CALCULATIONS.
  2. ALL DIMENSIONS SHALL BE VARIFIED ONSITE BY BUILDER BEFORE COMMENCING WITH WORK.

**SEDIMENT AND EROSION CONTROL NOTES:**

1. SILT FENCE AND ASSOCIATED WORKS INCLUDING INTERCEPTOR DRAIN IS TO BE INSTALLED BEFORE THE COMMENCEMENT OF ANY EXCAVATION.
2. GEOTECHNICAL ENGINEER IS TO PROVIDE SITE STABILITY REQUIREMENTS. CUTS ARE TO BE EXECUTED TO THE REQUIRED LEVEL USING CONVENTIONAL EXCAVATION MACHINERY. AS A GUIDE, INITIALLY THE DEPTH OF FILL/CLAY IS TO BE ESTABLISHED TO ENSURE NEIGHBOURING PROPERTIES ARE NOT ADVERSELY AFFECTED. EARTH BATTERS TO BE A MAXIMUM SLOPE OF 1.0m VERT. TO 1.7m HORIZ. (AS PER GEOTECHNICAL REPORT). ANY BATTERS GREATER THAN 1.0m VERT. TO 1.7m HORIZ. ARE TO BE ADEQUATELY SHORED IN ACCORDANCE WITH GEOTECHNICAL ENGINEERS DETAILS AND INSTRUCTIONS.
3. ANY PERMANENT RETAINING STRUCTURE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERS DETAILS AND INSTRUCTIONS.
4. ALL PERMANENT RETAINING STRUCTURES ARE TO BE COMPLETED WITH MINIMUM DELAY FOLLOWING EXCAVATION.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
6. CONTRACTOR TO MINIMISE DISTURBED AREAS.
7. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
8. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
9. ROADS AND FOOTPATH TO BE SWEEP DAILY.
10. CONSTRUCTION VEHICLES ARE TO LEAVE AND ENTER THE SITE OVER AN ALL WEATHER SURFACE CONSISTING OF COURSE CRUSHED STONE OR BLUE METAL CONSTRUCTED WITHIN THE FRONT SETBACK AREA OPPOSITE THE EXISTING FOOTPATH CROSSING UNLESS NOTED OTHERWISE.
11. EXCAVATION MACHINERY ARE TO BE UNLOADED AND LOADED UPON THIS ALL WEATHER SURFACE. CONCRETE PUMPS AND TRUCKS WILL ALSO UTILISE THE ALL WEATHER SURFACE FOR THEIR OPERATIONS.
12. MATERIALS WILL BE UNLOADED UPON THE ALL WEATHER SURFACE WITHIN THE FRONT SETBACK AREA BY MEANS OF CRANES MOUNTED ON THE BACK OF DELIVERY TRUCKS OR UNLOADED BY HAND. A MOBILE CRANE MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS.
13. SOME STOCKPILING OF TOPSOIL REMOVED FROM THE BUILDING AREA MAY BE STORED ON THE SITE DURING THE CONSTRUCTION WITHIN THE PROPERTY IN AN AREA ENCLOSED WITHIN THE SEDIMENT CONTROL FENCING.
14. ALL EXCAVATED & CONSTRUCTION MATERIALS, SHED, SKIP BINS, TEMPORARY WATER CLOSETS, SPOIL AND EQUIPMENT, ETC SHALL BE KEPT WITHIN THE PROPERTY. NO VEHICLES OR MACHINES SHALL BE KEPT WITHIN THE PROPERTY. NO VEHICLES OR MACHINES SHALL STAND ON COUNCIL FOOTPATHS FOR LARGE LENGTHS OF TIME.
15. ALL RUBBISH & RECYCLABLE MATERIAL SHALL BE STOCKPILED IN WASTE BINS IN THE AREA NOMINATED ON THE SITE PLAN WITHIN THE SITE BOUNDARY. PUBLIC PROPERTY SHALL BE KEPT FREE OF RUBBISH AND RECYCLABLES AT ALL TIMES ANY WASTE MATERIALS SHALL BE REGULARLY COLLECTED FROM THE SITE AND DISPOSED OF IN AN APPROPRIATE FASHION.
16. ANY BUILDING OR DEMOLITION WORKS INVOLVING ASBESTOS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT STANDARDS.
17. VEHICLES LEAVING THE SITE WILL DO SO VIA THE ALL WEATHER BALLAST DRIVEWAY MADE OF COURSE AGGREGATE OR SIMILAR LOCATED WITHIN THE FRONT SETBACK AREA OF THE DEVELOPMENT. ANY DIRT OR MATERIAL DEPOSITED ON THE ROAD RESERVE OR ROADWAY IS TO BE PROMPTLY CLEANED.
18. ANY EXCAVATED AREA REQUIRING SUPPORT WILL BE UNDERTAKEN BY THE OWNER USING STRUCTURALLY APPROVED RETAINING STRUCTURES.
19. ADEQUATE SAFETY SIGNAGE MUST BE ERECTED IN A PROMINENT POSITION ON THE WORK SITE, WARNING OF UNAUTHORISED ENTRY TO WORK SITE AND INTENDING DANGERS.
20. SAFETY FENCES SHALL BE PROVIDED AROUND ALL BOUNDARIES UNLESS A CONTINUOUS STRUCTURALLY ADEQUATE FENCE PRESENTLY EXISTS. THE FENCING SHALL BE ADEQUATE TO RESTRICT PUBLIC ACCESS TO THE SITE WHEN BUILDING WORK IS NOT IN PROGRESS OR THE SITE IS UNOCCUPIED.
21. NOISE LEVELS SHALL NOT EXCEED COUNCIL REGULATION LEVELS. BUILDING AND DEMOLITION WORKS SHALL ONLY BE CARRIED OUT BETWEEN HOURS AND DAYS SPECIFIED BY COUNCIL.
22. GEOTEXTILE FABRIC SHALL BE PLACED ON THE INSIDE OF THE SITE FENCING PRIOR TO SITE DISTURBANCE TO PREVENT SEDIMENT WASHING FROM CLEARED AND DISTURBED AREAS OF THE SITE INTO THE STORMWATER SYSTEM. DURING CONSTRUCTION, UNLESS OTHERWISE NOTED, UNCONTAMINATED RUNOFF FROM CLEARED OR DISTURBED AREAS ARE TO BE DIRECTED TO A TEMPORARY SILT ARRESTOR PIT THAT SHALL BE PROVIDED WITHIN THE SITE AT THE STREET BOUNDARY PROCESSING SITE STORMWATER BEFORE IT IS DISCHARGED TO THE STREET DRAINAGE SYSTEM OR WATERCOURSE.
23. ALL TOP SOIL STRIPPED & STOCKPILED ONSITE IS TO BE PLACED IN NOMINATED AREAS ON PLAN OR TO COUNCIL REQUIREMENTS. ALL DISTURBED AREAS ARE TO BE STABILISED UPON THE COMPLETION OF BUILDING WORKS.
24. ALL SEDIMENT CONTROL STRUCTURES ARE TO BE CONTINUALLY MAINTAINED DURING CONSTRUCTION AND INSPECTED FOR STRUCTURAL DAMAGE AFTER EACH RAINFALL EVENT, WITH TRAPPED SEDIMENT BEING REMOVED TO THE TOPSOIL STOCKPILE.
25. WHERE THERE IS THE POTENTIAL OF SITE EROSION TO PRODUCE EXCESSIVE SEDIMENT RUNOFF, SUITABLE GEOTEXTILE BARRIERS SHALL BE PLACED TO ALLEVIATE THE RISK ACCORDINGLY. BARE SURFACES SHALL BE KEPT MOIST TO REDUCE DUST LEVELS. GEOTEXTILE FABRIC LOCATED ON THE INSIDE OF FENCES SHALL ALSO BE UTILISED FOR DUST CONTROL WHERE NECESSARY.

**SCHEDULE OF WORKS:**

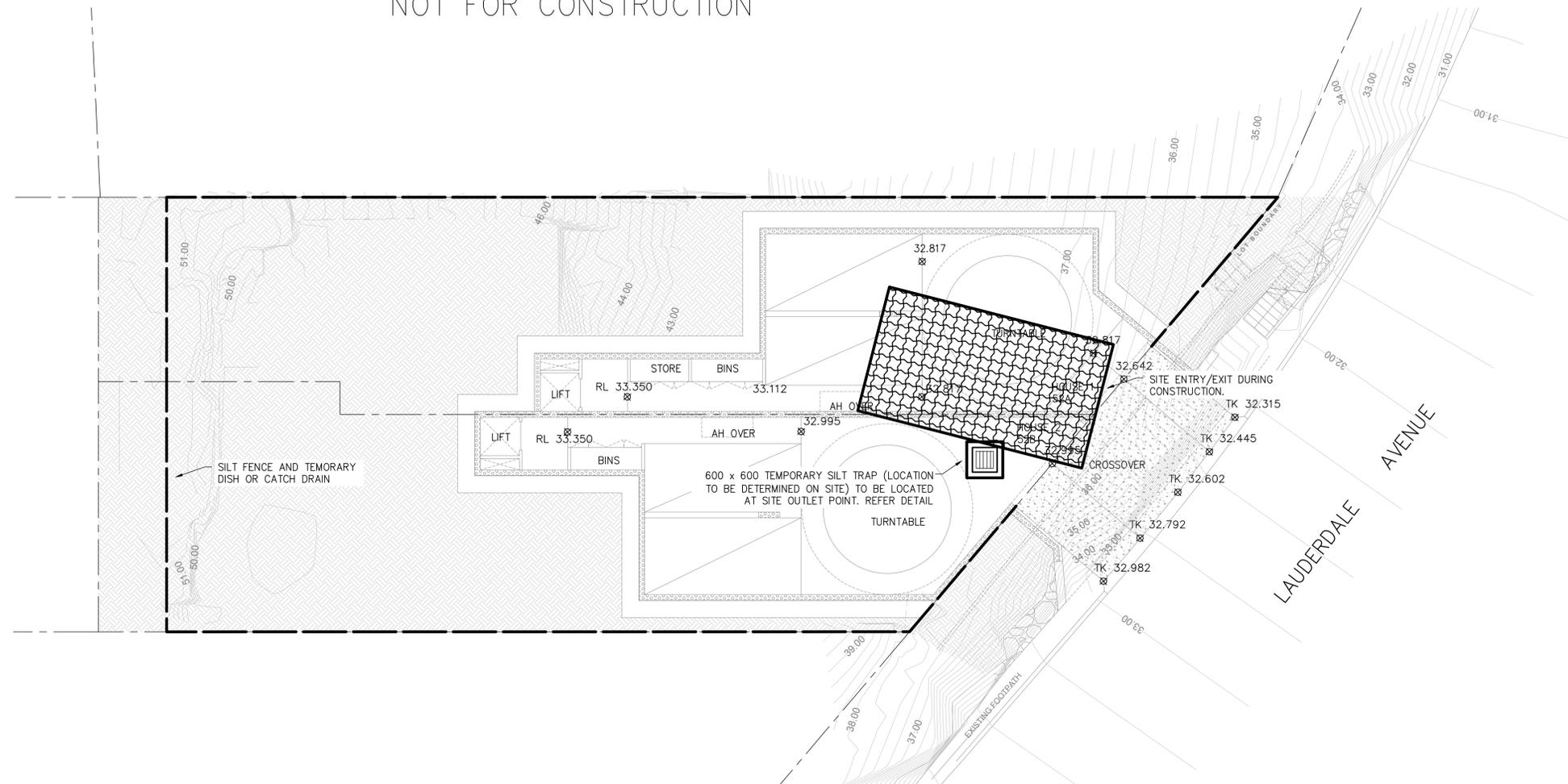
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2. CUTS TO BE EXECUTED TO THE REQUIRED LEVEL USING CONVENTIONAL EXCAVATION MACHINERY. INITIALLY THE DEPTH OF FILL/CLAY IS TO BE ESTABLISHED TO ENSURE NEIGHBOURING PROPERTIES ARE NOT ADVERSELY AFFECTED. EARTH BATTERS TO BE A MAXIMUM SLOPE OF 1.0 m VERT. TO 1.7 m HORIZ. (AS PER GEOTECHNICAL REPORT). ANY BATTERS GREATER THAN 1.0 m VERT. TO 1.7 m HORIZ. ARE TO BE ADEQUATELY SHORED IN ACCORDANCE WITH THE ENGINEERS DETAILS AND INSTRUCTIONS.
3. ANY PERMANENT RETAINING STRUCTURE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERS DETAILS AND INSTRUCTIONS.
4. ALL PERMANENT RETAINING STRUCTURES ARE TO BE COMPLETED WITH MINIMUM DELAY FOLLOWING EXCAVATION.



**TYPICAL TEMPORARY SEDIMENT (SILT) FENCE**

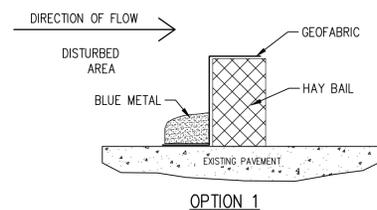
- NOTE:**
1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
  2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART.
  3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
  4. BACKFILL TRENCH OVER BASE OF FABRIC.
  5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
  6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.

NOT FOR CONSTRUCTION

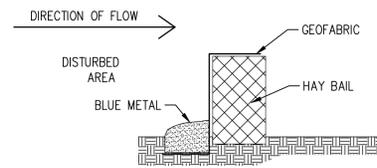


**SITE SEDIMENT AND EROSION CONTROL PLAN**

SCALE = 1 : 100



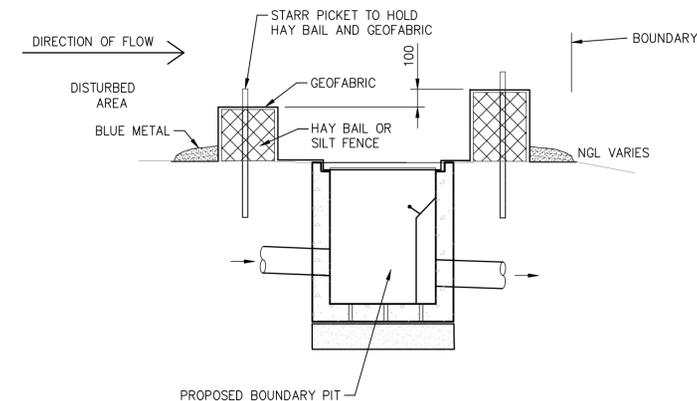
OPTION 1



OPTION 2

**REMOVABLE HAY BAIL DETAIL**

SCALE = N.T.S.



**SEDIMENT TRAP CONSTRUCTION SPECIFICATION:**

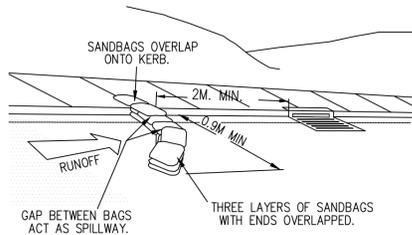
- 1 - SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- 2 - THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRED AS NEEDED.
- 3 - CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN A MANNER, THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
- 4 - THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



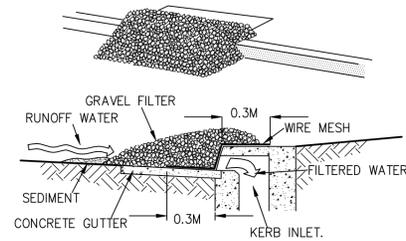
A1 ORIGINAL		Issued for: DEVELOPMENT APPLICATION	Title: DESIGN	Initial: R.M.	Date: 29.04.2019		Architect: _____	Project and Drawing Title: 52 LAUDERDALE AVENUE, FAIRLIGHT SITE SEDIMENT AND EROSION CONTROL PLAN 1 OF 2	Local Council: NORTHERN BEACHES COUNCIL		
A		Approved by: <i>R. Mikhail</i>	DRAWN	S.M.	29.04.2019		Client: DAVID ALLEN & CASEY FAMILY TRUST				
Rev:	Date:	Description:	Checked:	R.M.	29.04.2019	ABN: 81 615 065 588 Phone: 0490 507 300 Email: admin@rtscivil.com.au Web: rtscivil.com.au	Project Number: 181204		Drawing ID: SE100	Issue: A	
		SITE SEDIMENT & EROSION CONTROL PLAN	APPROVED:	R.M.	29.04.2019	The document is produced by RTS Civil Consulting Engineers Pty Ltd (RTS) solely for the benefit of and use by the client in accordance with the terms and conditions of RTS. RTS does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.		Project Number: 181204		Drawing ID: SE100	Issue: A

**NOTES:**  
 1. U.N.O REFER TO THE COVERPAGE CP-1 FOR DETAILED NOTES AND CALCULATIONS.  
 2. ALL DIMENSIONS SHALL BE VARIFIED ONSITE BY BUILDER BEFORE COMMENCING WITH WORK.

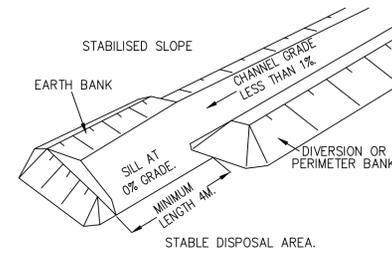
NOT FOR CONSTRUCTION



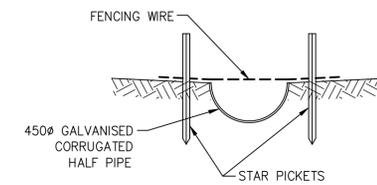
**SEDIMENT TRAP SANDBAGS AT KERB INLETS**  
 SCALE = N.T.S.



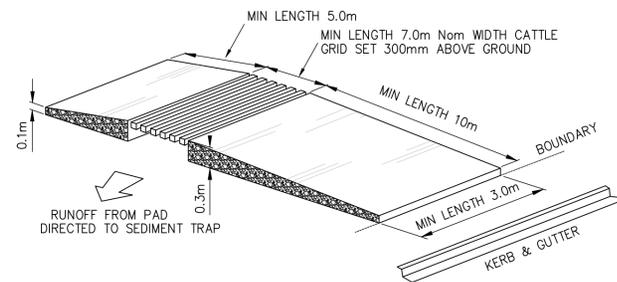
**GRAVEL KERB INLET SEDIMENT TRAP**  
 SCALE = N.T.S.



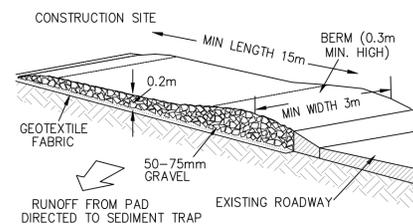
**TYPICAL SPREADER DETAIL**  
 SCALE = N.T.S.



**TEMPORARY DISH DRAIN**  
 SCALE = N.T.S.



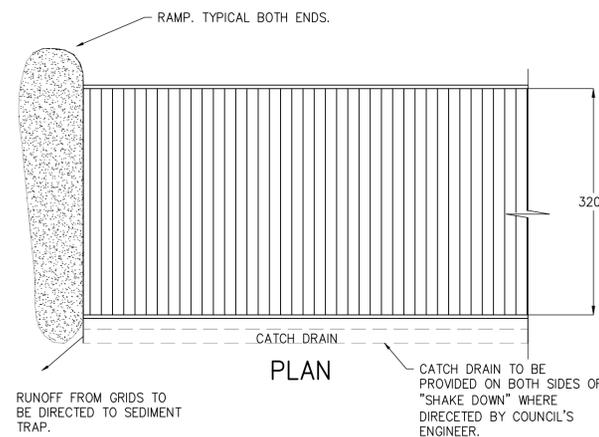
**NOTE: WHEEL WASH OR SPRAY MAY BE REQUIRED DURING WET WEATHER.**  
**TYPICAL TEMPORARY CONSTRUCTION ENTRY & EXIT DETAIL (TYPE 2)**



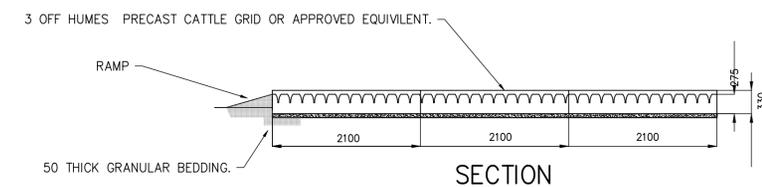
**NOTE: WHEEL WASH OR SPRAY MAY BE REQUIRED DURING WET WEATHER. GRAVEL SHALL BE CLEANED/REMOVED WHEN THE EXPOSED HEIGHT OF THE GRAVEL IS LESS THAN 30mm.**

**TYPICAL TEMPORARY CONSTRUCTION ENTRY & EXIT DETAIL (TYPE 1)**

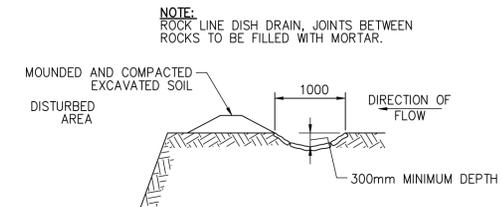
- NOTE:**
1. STRIP TOPSOIL AND LEVEL SITE.
  2. COMPACT SUBGRADE AS REQUIRED.
  3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
  4. CONSTRUCT 200mm THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3m.
  5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.
  6. OR CONSTRUCT A CATTLE GRID LOCATED AT ANY POINT WHERE TRAFFIC ENTERS OR LEAVES THE SITE.



**CATTLE GRID ENTRY & EXIT ALTERNATIVE**  
 SCALE = 1:20



- NOTES:**
1. EXCAVATE AREA APPROX. 3.3m WIDE BY 2.2m LENGTH. THE FLOOR OF THE EXCAVATION MUST BE FLAT, WITHOUT HIGH POINTS. AN EXCAVATED DEPTH OF 100mm ACCOMMODATES A BEDDING LAYER 50mm THICK AND GRID SET DOWN OF 50mm. THE LATTER MINIMISES SILT UP OF GRID AND SLOWS DOWN TRAFFIC.
  2. BEDDING MATERIAL SHALL BE SAND OR OTHER SUITABLE APPROVED MATERIAL. BEDDING MATERIAL SHALL BE EVENLY RAKED OVER FLOOR OR EXCAVATION TO A DEPTH SLIGHTLY MORE THAN 50mm. ENSURE BEDDING IS LEVEL IN BOTH DIRECTIONS.
  3. LOWER CATTLE GRID ONTO THE PREPARED BASE. ENSURE THAT NO PART OF THE UNIT IS SITTING ON ANY HIGH POINTS.
  4. BACKFILL AND COMPACT AROUND GRID. GRADE EXCAVATED ROAD MATERIAL UP TO GRID EACH SIDE TO FORM A RAMP. IF DEPRESSIONS OCCUR ON THESE RAMPS WITH USE, ADD ADDITIONAL MATERIAL.



**CATCH DRAIN - ROCK LINED**  
 SCALE = N.T.S.



A1 ORIGINAL		Issued for: DEVELOPMENT APPLICATION		Title:	Initial:	Date:	Architect:		Project and Drawing Title:		Local Council:	
		Approved by:		DESIGN	R.M.	29.04.2019	_____		52 LAUDERDALE AVENUE, FAIRLIGHT		NORTHERN BEACHES COUNCIL	
		Date: 29.04.19		DRAWN	S.M.	29.04.2019	Client:		SITE SEDIMENT AND EROSION CONTROL PLAN 2 OF 2		Project Number:	Drawing ID:
		Rhys Mikhail		CHECKED	R.M.	29.04.2019	DAVID ALLEN & CASEY FAMILY TRUST				181204	SE101
Rev:	Date:	Description:	Reviewed:	APPROVED	R.M.	29.04.2019						A

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 Client: DAVID ALLEN & CASEY FAMILY TRUST

Project and Drawing Title:  
 52 LAUDERDALE AVENUE, FAIRLIGHT  
 SITE SEDIMENT AND EROSION CONTROL PLAN 2 OF 2

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