

**GRATED DRAIN TO FRONT OF GARAGE  
BY OWNER AFTER HANDOVER.**  
OWNER TO SEEK ADVICE FROM A HYDRAULIC ENGINEER  
FOR THE SIZE OF THE GRATE

**LOT A**  
**D.P: 22055**  
**L.G.A: NORTHERN BEACHES**

**SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
WARRINGAH DCP 2011**

SITE AREA	411.3 m²
ROOF AREA	159.6 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	202.4 m²
(MIN. DIMENSION OF 2.0m)	49.2 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	99.6 m²
(MIN. DIMENSION OF 5.0m)	
MIN. REQUIRED BY COUNCIL:	60 m²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 5.0m AT BOUNDARY	

SITE COVERAGE	
STORMWATER CALCULATION	
ROOF FOOTPRINT:	159.6m²
DRIVEWAY/ PAVED AREAS:	25.5m²
TOTAL:	185.1m²
	45.0 %
MAX SITE COVERAGE FOR OSD:	40%

**Maximum 1000mm CUT**  
DROP EDGE BEAM TO NATURAL GROUND  
NO EXPOSED FILL PERMITTED OUTSIDE  
BUILDING PERIMETER

WIND CLASSIFICATION: "N2"  
SLAB CLASSIFICATION: "M "

**NOTE:**  
ALL GROUND LINES ARE APPROXIMATE.  
EXTENT OF FILL & BATTER WILL BE  
DETERMINED ON SITE. SEDIMENT BARRIERS  
ARE TO BE CUSTOMISED SITE SPECIFIC

**NOTE:**  
OWNER TO DEMOLISH & REMOVE FROM  
SITE EXISTING HOUSE, INCLUDING  
FOOTINGS & SERVICES ABOVE & BELOW  
GROUND, PATHS, DRIVE, TREES &  
FENCES ETC. PRIOR TO COMMENCEMENT  
OF CONSTRUCTION.

**STORMWATER TO  
STREET VIA  
RAINWATER TANK**  
REFER TO HYDRAULIC DETAILS


**SITE PLAN**

SCALE 1:200  
GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.


**DRIVEWAY GRADIENT PROFILE**

SCALE - N.T.S



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/0289**

CLIENT'S SIGNATURE: _____ DATE: _____		PRODUCT: <b>PADDINGTON 29 MKII</b> Hamptons R/H Garage  Sapphire Specification		CLIENT: Mrs. ALEXANDER  SITE ADDRESS: Lot A No.129 D.P: 22055 Wyadra Avenue NORTH MANLY 2100		DA DRAWINGS		
 <p>BL No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</p>		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS TO BE READ IN PREFERENCE TO SCALING.		DRAWN: BG RATIO @ A3: 1:200 SHEET: 2		DATE: 26.11.19 CHECKED: BG JOB No: 29913993		Rev: F NSW

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

DP o DOWN PIPE LOCATION  
TAP X GARDEN TAP LOCATION  
L.O.B LIFT OFF HINGES  
EXHAUST FAN  
SP o STEEL POST  
TSP o TELESCOPIC STEEL POST

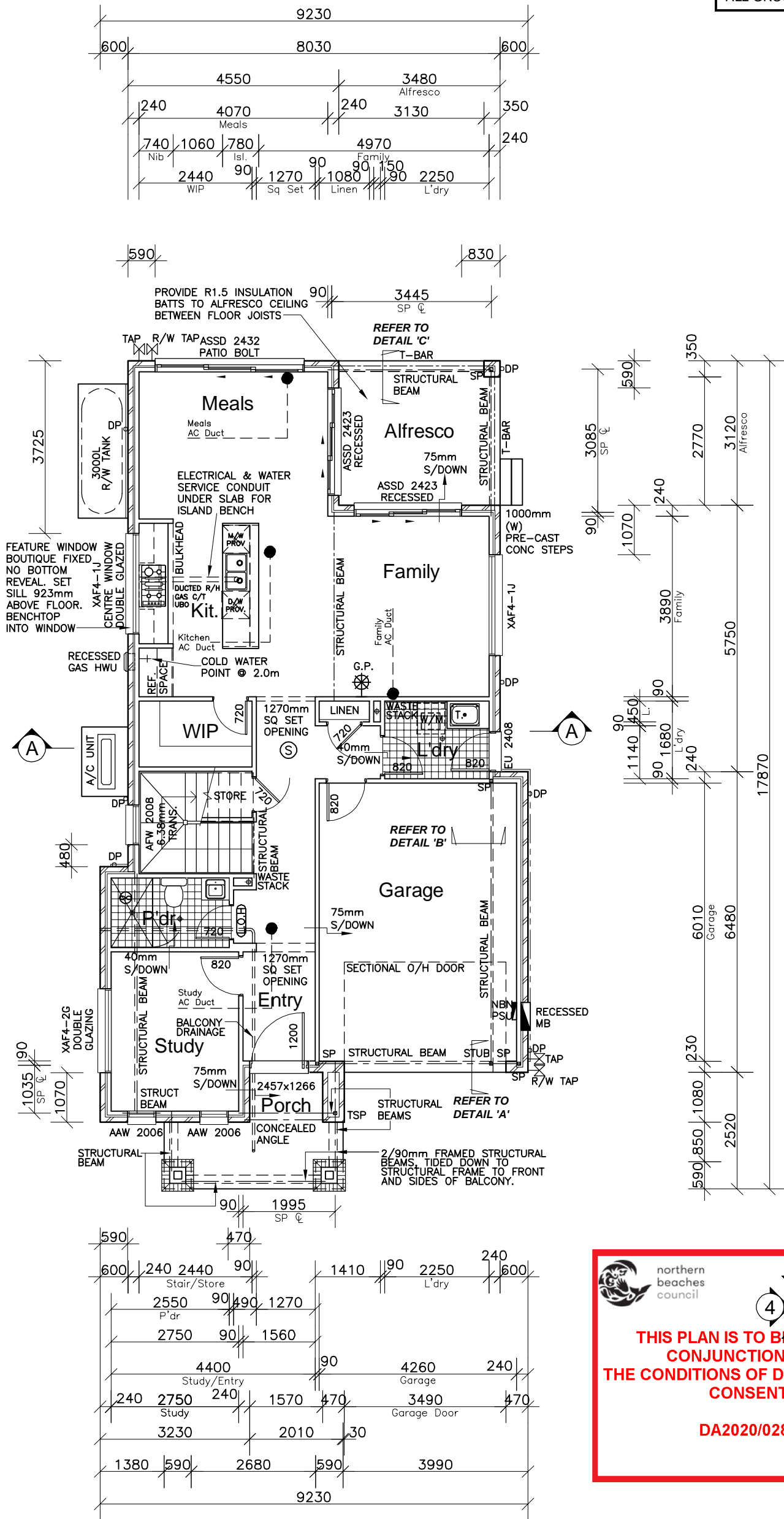
NOTE:  
INTERNAL DOOR LEAF HEIGHTS TO  
GROUND FLOOR TO BE 2340mm(H)

NOTE:  
PROVIDE (x4) 450mm DEEP MELAMINE  
SHELVING TO W.I.P

NOTE:  
PROVIDE 40MM RECESSED FLOORS  
ALL GROUND FLOOR WET AREAS

NOTE:  
(UNLESS NOTED OTHERWISE)  
300 DEEP BULKHEADS & SQ.  
SETS. 150 DROPPED CEILINGS

## GROUND FLOOR PLAN



 northern  
beaches  
council

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PRODUCT:  
**PADDINGTON 29 MKII**  
Hamptons  
R/H Garage  
  
Sapphire Specification

CLIENT:  
Mrs. ALEXANDER  
  
SITE ADDRESS:  
Lot A No.129 D.P: 22055  
Wyadra Avenue  
NORTH MANLY 2100

### DA DRAWINGS

DRAWN: PG.	DATE: 12.12.19	Rev: F
RATIO @ A3: 1:100	CHECKED: MCA	
SHEET: 3	JOB No: 29913993	NSW

SMOKE ALARM

AIR CONDITIONING DUCT

DOWN PIPE LOCATION

GARDEN TAP LOCATION

LIFT OFF HINGES

STEEL POST

TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

EXHAUST FAN

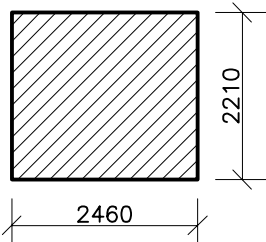
NOTE:  
PROVIDE 40MM RECESSED FLOORS  
ALL FIRST FLOOR WET AREAS

NOTE:  
(UNLESS NOTED OTHERWISE)

300 DEEP BULKHEADS & SQ.  
SETS. 150 DROPPED CEILINGS

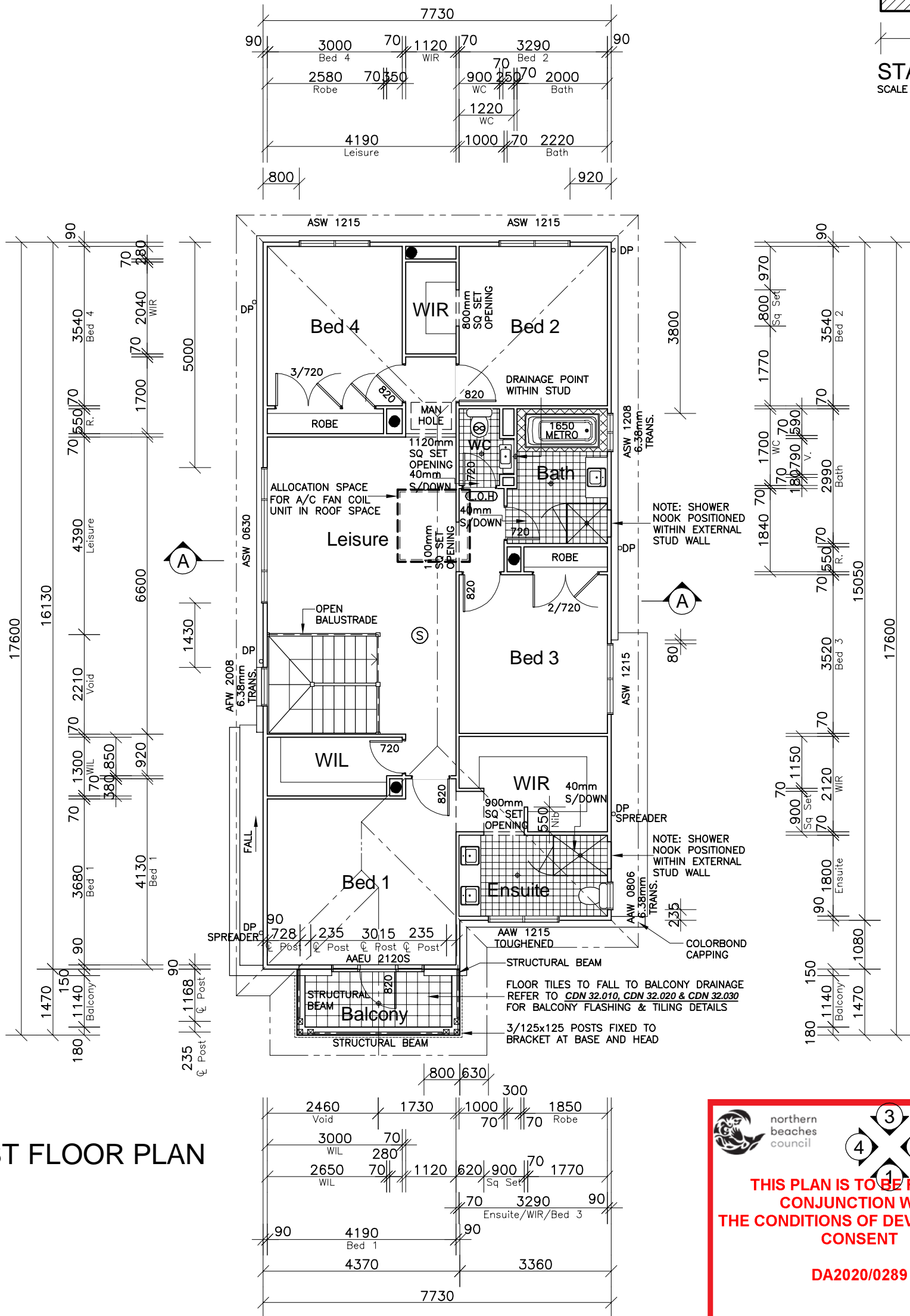
NOTE:  
ALL FIRST FLOOR BEDROOM & LIVING  
WINDOWS TO BE FITTED WITH A  
RESTRICTING DEVICE COMPLIANT  
WITH PART 3.9.2.5 OF THE B.C.A -  
PROTECTION OF OPENABLE WINDOWS

NOTE:  
SHOWER NOOK/RECESS REFER TO  
**CDN 54.240** & SHEET 10 FOR DETAILS



STAIR CUTOUT  
SCALE 1:100

## FIRST FLOOR PLAN



CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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
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DRAWN: PG.	DATE: 12.12.19	Rev: F
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SHEET: 4	JOB No: 29913993	NSW

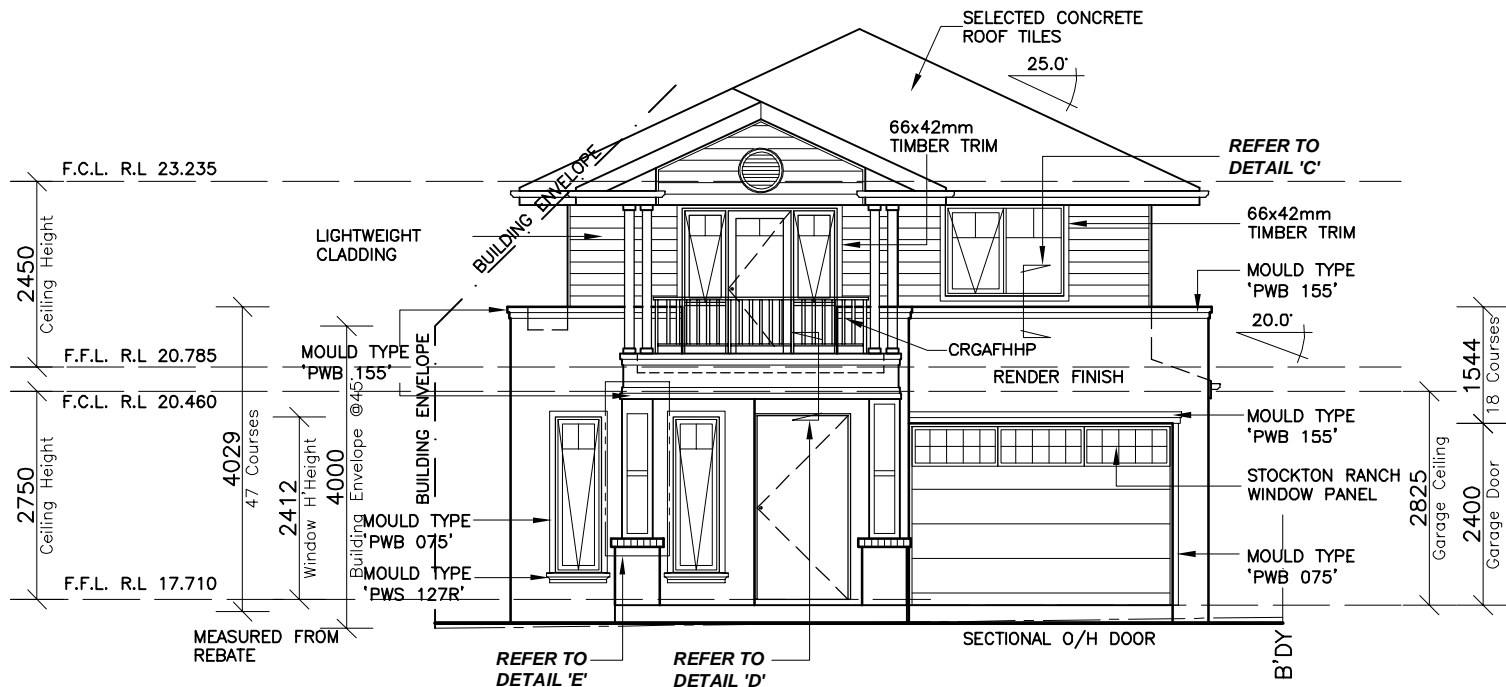


**NOTE:**  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

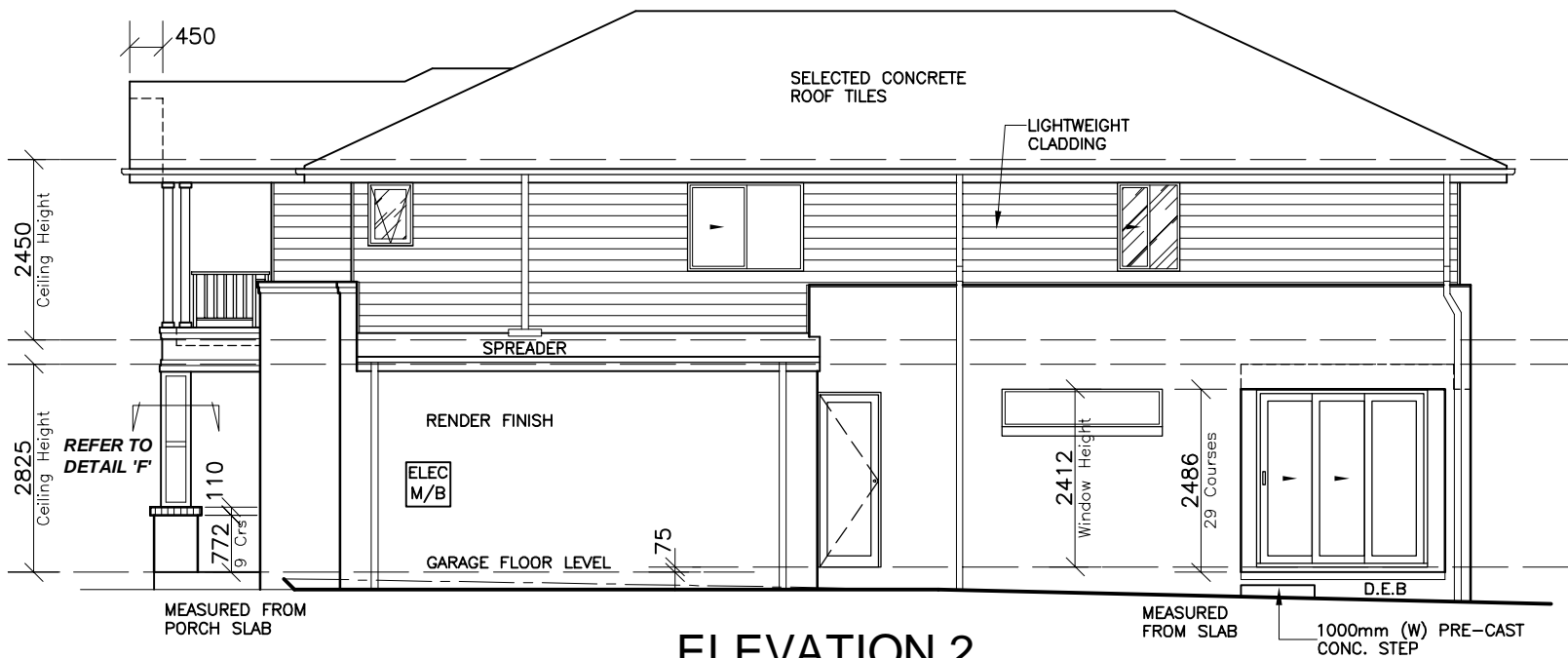
**NOTE:**  
NUMBER OF STEPS REQUIRED MAY  
VARY DEPENDING ON SITE  
CONDITIONS

 DENOTES WINDOWS WITH  
6.38mm TRANSLUCENT  
LAMINATED GLAZING

**NOTES:**  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**



ELEVATION 1  
-SOUTH-



ELEVATION 2  
-EAST-



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
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Wyadra Avenue  
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DA DRAWINGS

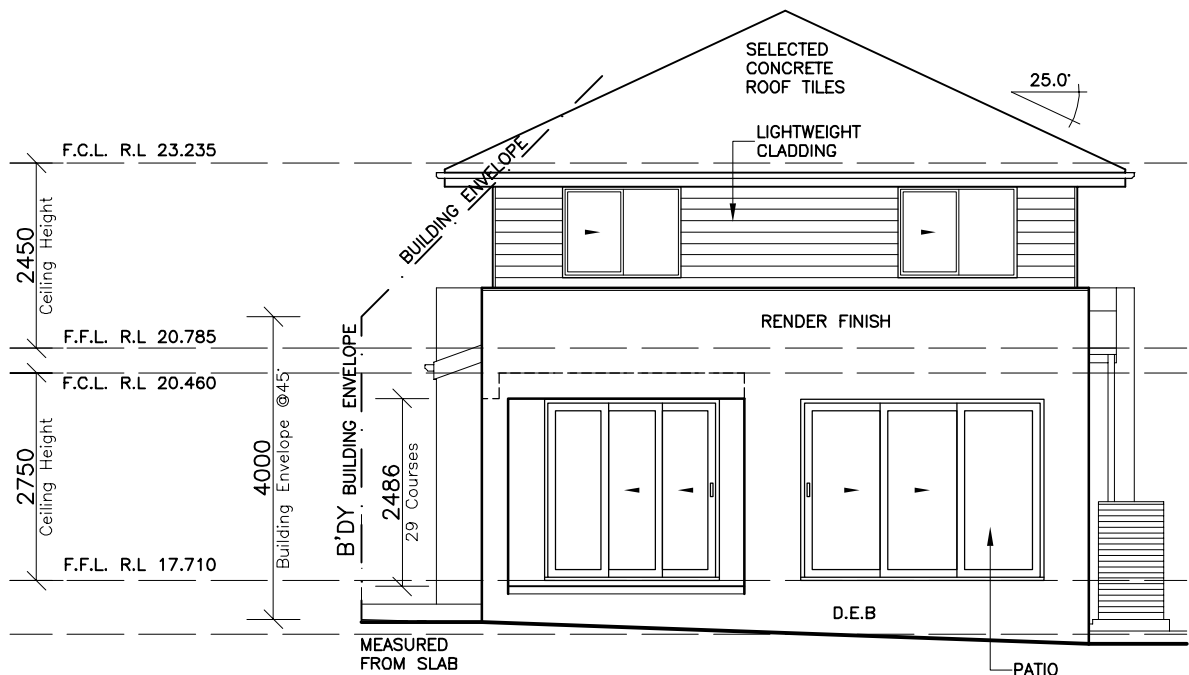
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RATIO @ A3: 1:100	CHECKED: MCA	
SHEET: 5	JOB No: 29913993	NSW

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VARY DUE TO SITE CONDITIONS  
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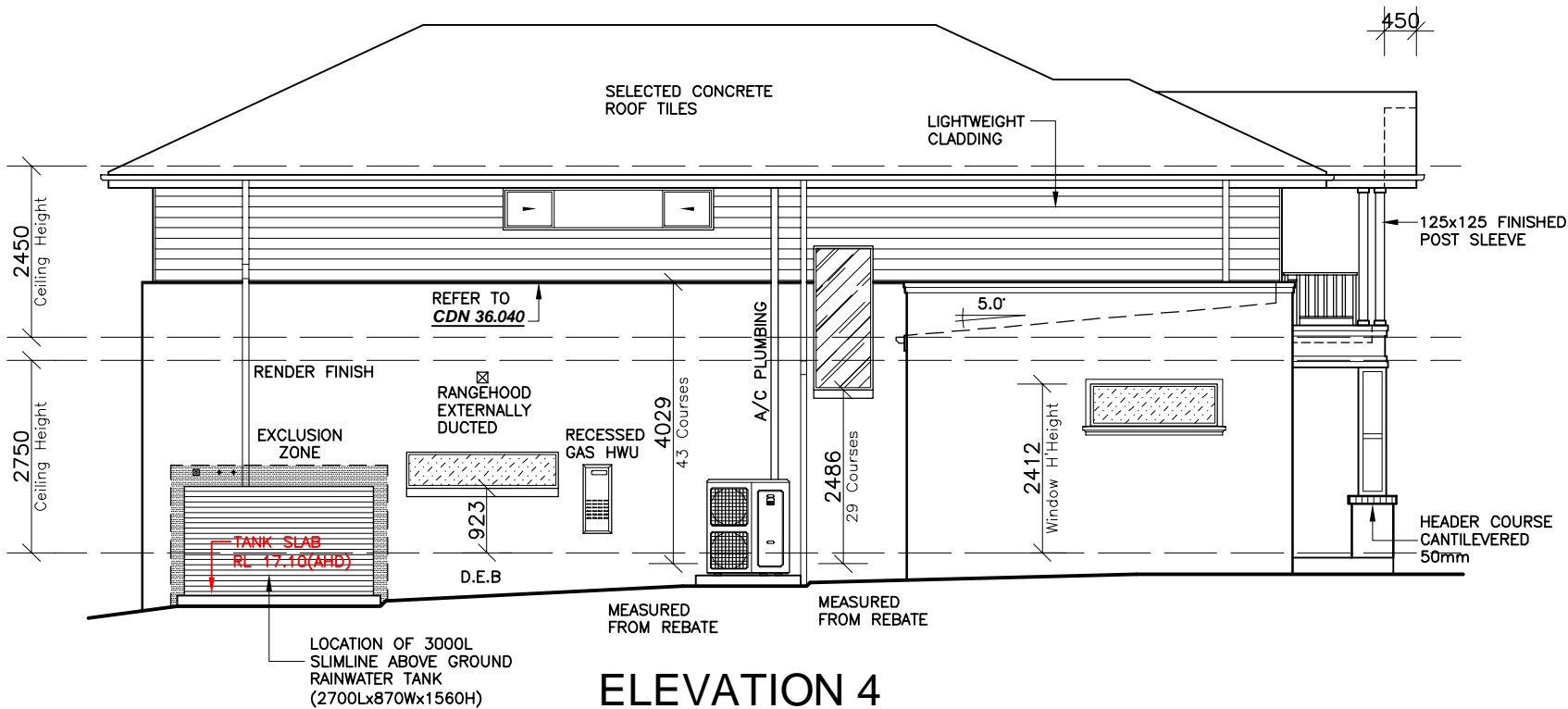
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ELEVATION 3  
-NORTH-



ELEVATION 4  
-WEST-



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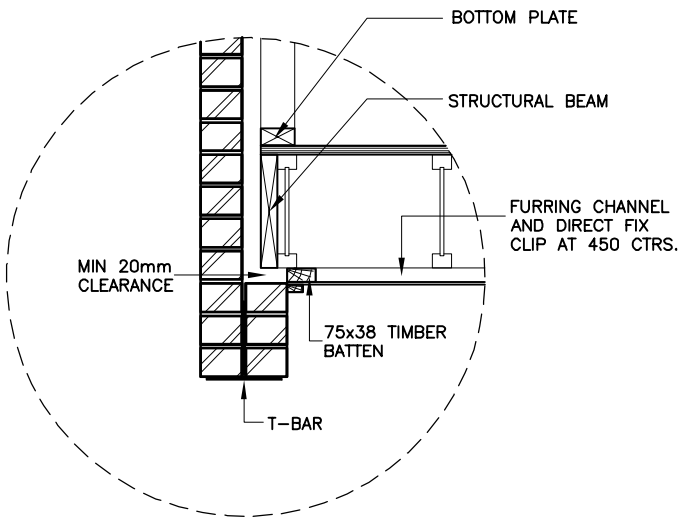
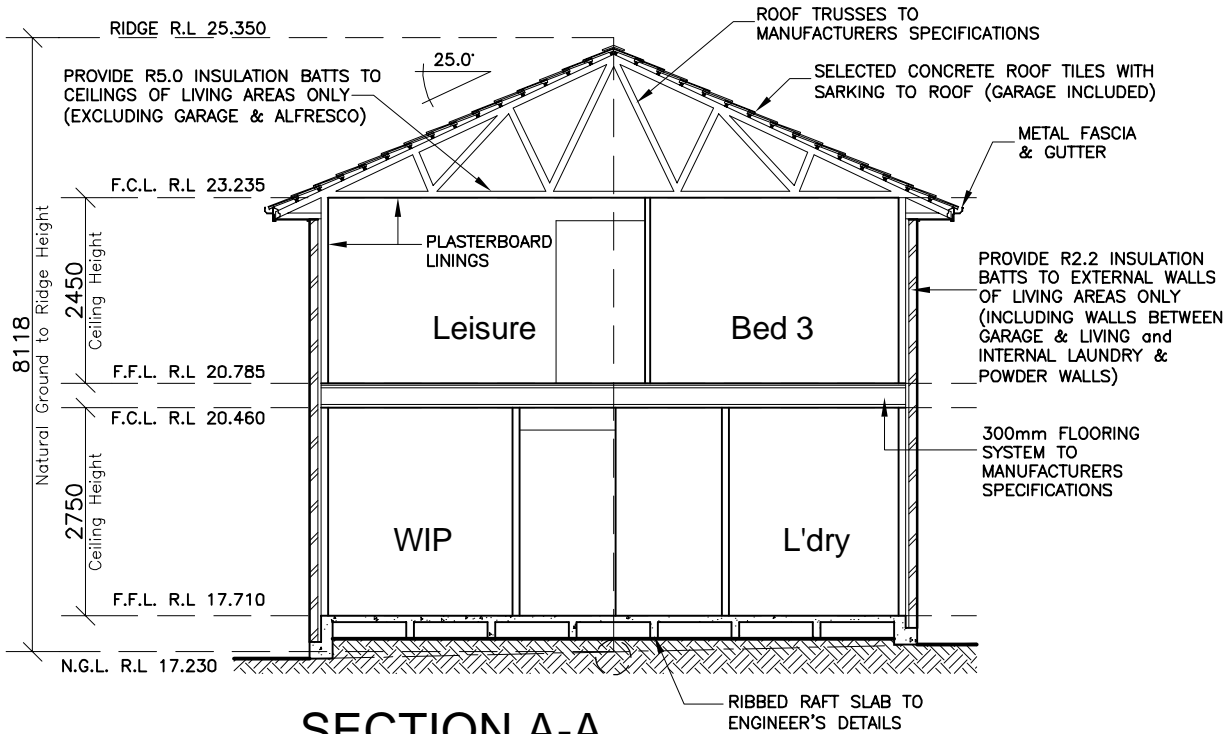
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RATIO @ A3: 1:100	CHECKED: MCA	
SHEET: 6	JOB No: 29913993	NSW

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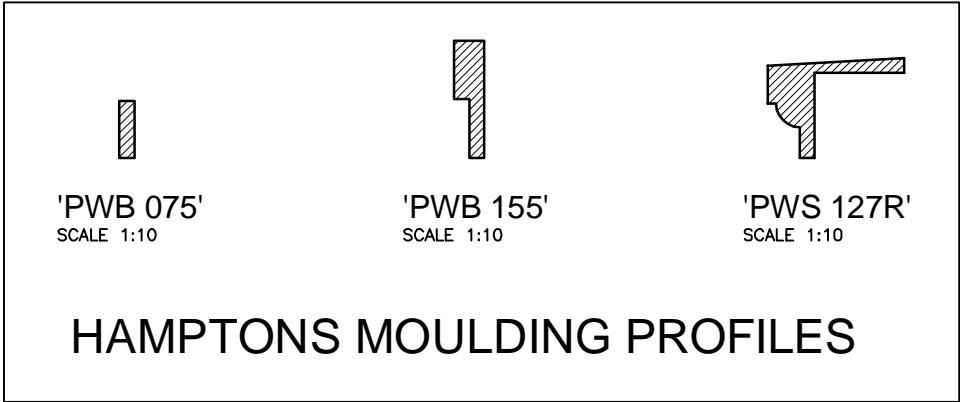
**NOTE:**  
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**NOTES:**  
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**CDN 21.010-21.080**

PROVIDE R2.2 INSULATION BATTS TO CEILING JOISTS BETWEEN GARAGE & FIRST FLOOR and PORCH & FIRST FLOOR CANTILEVER (BED 1)



SCALE: 1:20



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SHEET: 7	JOB No: 29913993	NSW	